

FAIRMOUNT SOUTH 10TH STREET APARTMENTS

ENVIRONMENTAL REVIEW RECORD (ERR)

SUBMITTED TO THE

NEW JERSEY HOUSING AND MORTGAGE
FINANCE AGENCY (HMFA)



MARCH 2014

SUBMITTED TO:

NEW JERSEY HOUSING AND MORTGAGE FINANCE AGENCY
637 SOUTH CLINTON AVENUE
P.O. BOX 18550
TRENTON, NJ 08650

PREPARED BY:

LEWIS CONSULTING GROUP
2517 HIGHWAY 35, BUILDING P, SUITE 202
MANASQUAN, NJ 08736

MEMORANDUM.....New Jersey Housing and Mortgage Finance Agency

To: Kevin Roddy
NJ Department of Community Affairs
Sandy Recovery Division
Office of Compliance and Monitoring – Room 635

Date: 8/7/2014

From: Laura Swartz]
Special Needs Housing Officer

Subject: Fairmount S. 10th Street Apartments, HMFA #02890, SSNHF # 26

With regard to the above project, I have enclosed the following documents for your approval:

- 1) Phase I Environmental Study and Environmental Assessment
- 2) The completed Environmental Review Record;
- 3) The historical review as completed by the Historic Preservation Office
- 4) The completed HUD Form 7015.15.

The above project has the following non- HUD funding sources:

City of Newark HOME	\$1,000,000.00
Essex County HOME	\$500,000.00
Owner Equity	\$245,301.00

Also Attached:

We have also posted the *Notice of Finding No Significant Impact and Intent To Release Funds*. We expect the Affidavit of Publication to be sent to us within the next week. When the Agency receives the Affidavit of Publication, we will forward to your attention. It is understood that the environmental process may change for CDBG projects. Please note that before the package is sent to HUD, an Affidavit of Publication will need to be attached.

Should you require any additional information or have any questions, please do not hesitate to call me at (609) 278-7662. Thank you.

Enclosures

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TABLE OF CONTENTS

ENVIRONMENTAL REVIEW RECORD	SECTION A
FIGURES	SECTION B
PHOTOGRAPHS	SECTION C
CITY OF NEWARK MEMORIALIZATION	SECTION D
PROJECT NARRATIVE & SITE PLANS	SECTION E
COMPLIANCE DOCUMENTATION	SECTION F
NOISE ASSESSMENT DOCUMENTATION	SECTION G
PHASE I ENVIRONMENTAL SITE ASSESSMENT	SECTION H
ASBESTOS SURVEY	SECTION I
LEAD INSPECTION REPORT	SECTION J
UST TANK EXPLORATION LETTER & GEOPHYSICAL SUMMARY REPORT	SECTION K
AFFIRMATIVE FAIR HOUSING MARKETING PLAN	SECTION L
QUALIFICATIONS OF KEY PERSONNEL	SECTION M

SECTION A



U.S. Department of Housing and Urban
Development
451 Seventh Street, SW
Washington, DC 20410
www.hud.gov
espanol.hud.gov

ENVIRONMENTAL ASSESSMENT DETERMINATIONS AND COMPLIANCE FINDINGS FOR HUD-ASSISTED PROJECTS 24 CFR PART 58

Project Information

Project Name: Fairmount South 10th Street Apartments

Responsible Entity: Fairmount South 10th Street Apartments LLC

Grant Recipient (if different than Responsible Entity): same

State/Local Identifier: HMFA #02890

Preparer: Jeanne M. Valente, Lewis Consulting Group

Certifying Officer Name and Title: _____

Consultant (if applicable): Lewis Consulting Group

Direct Comments to: Ms. Kristen Ford

Project Location: 128-134 South 10th Street / 101 South 9th Street (Block 1827, Lots 12 & 70), City of Newark, Essex County, New Jersey

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The Fairmount South 10th Street Apartments project is the adaptive reuse of a vacant building and development on an abutting vacant lot into twenty-three (23) units of permanent supportive and affordable housing. Located in the Fairmount Heights Neighborhood of Newark's West Ward, this site is part of the *Abandoned Properties Initiative*. Sponsored by West Ward Councilman Ronald Rice Jr. and the City of Newark's Department of Economic and Housing Development, the Initiative implements the New Jersey Abandoned Properties Statute to redevelop blighted sites, develop City-owned vacant land, encourage owners to improve their properties, facilitate expansion of Newark-based businesses, and increase economic opportunity for residents of the Fairmount Heights Neighborhood.

10th Street Building Site

The four and half story building facing South 10th Street has a flat roof, an elevator, front green space, and a partially submerged basement that includes a large activity room with internal and external entrances. The property has been vacant for over ten years and is uninhabitable in its current condition: ceilings have fallen, windows are broken, doors broken and removed, debris from falling plaster and decay is strewn throughout the building. There is some water damage and mold in the building. The building is constructed of brick masonry façade with concrete floor slab and columns. The fourth floor is a later addition constructed of concrete masonry unit (CMU) with a cement plaster coating and steel roof structure.

To renovate this building, all interior debris will be removed. All remaining lead paint and mold will be removed, abated, and remediated. Any hazardous materials found will be removed within the guidelines of the City of Newark and State of New Jersey. The buildings' primary layout of the corridor will remain; however, the rooms will be reconfigured to house five (5) permanent housing units on floors one through four. Each unit will have its own heating and air conditioning units, a tank-less water heater and electric utilities. Windows and appliances will be energy star rated and provide as much energy efficiency as possible to keep consumption of electricity low. The first floor will also house a lobby and secure access doors for security as well as mailboxes for the tenants. A new ramp for people with disabilities will be built to access the main doors of the building. The current paved sections in the front courtyard will be removed to allow for better drainage and a larger green area. No parking will be provided.

The partially submerged basement will house the buildings meters and mechanical equipment, a laundry facility for tenants, an apartment for a live in superintendent, an office for support service and owner's use and a public kitchenette and bathroom for tenants to use while in the Activity Room. The Activity Room will have two outside access points in addition to interior access for persons with disabilities. The current use for the room is for support service workshops and recreation for tenants.

The building will contain four (4) studio, nine (9) one-bedroom, and eight (8) two-bedroom units on floors 1 through 4. The studio unit size is approximately 416 square feet, one-bedroom average size is 660 square feet and the two-bedroom average size is 850 square feet. Fifteen (15) of the units will be permanent housing allocated for formerly homeless individuals and families with special needs. Support services will be provided by Apostles' House, Newark, New Jersey to all residents in the building as needed.

9th Street Building Site

The contiguous, vacant lot abutting the South 10th Street property with frontage along South 9th Street will be developed into a two-family home with two (2) stacked car garage parking spaces on the first level and two (2) three-bedroom units on floors two and three. Units will have an eating/dining kitchen and living area with a master suite with two additional bedrooms and full bath. The second level unit will have the same layout as the second floor. Each unit will have a laundry area and walk in closets in the master suite. The façade of the building was designed to keep the street line consistent with other buildings in the neighborhood. Each unit size is approximately 1,500 square feet. Additional parking will be available on the driveway. A green area will also be provided in the front and back of the building.

The building plans were approved by the City of Newark in 2012. These units will house larger families and be reserved for low income persons. Families living in these units will have access to support services as needed through Apostles' House.

Tenancy and Support Services

This project will house formerly homeless individuals and families as well as low income individuals and families. There is no age restriction on tenants, however fifteen units will be reserved for formerly homeless individuals. These tenants will be sourced through Apostles' House transitional programs and housing, the Housing Authority of Essex County, County agencies and local nonprofit groups including the Urban League of Essex County. Preference will be given to individuals and families currently residing in neighborhood or from the neighborhood. Support services will be available for all residents in the building, with private office space available for tenants to meet with case workers, and the basement room available as an activity room. Services will be provided as needed based on in depth interviews and needs assessments and will include life skills training, counseling for tenant's rights, referrals to appropriate agencies, budget counseling, food provisions and child care. The goal is to ensure residents are successful in transitioning to and maintaining permanent housing.

Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:

To provide affordable and supportive housing to individuals and families who are formerly homeless.

Existing Conditions and Trends [24 CFR 58.40(a)]:

The proposed project consists of two (2) contiguous properties improved with one (1) four-story vacant building located along South 10th Street and South 9th Street in the City of Newark, Essex County, New Jersey. Originally built as a psychiatric hospital and subsequently used as state offices and then transitional housing, rehabilitation of this property is vital to the redevelopment and stabilization of the neighborhood. The building has been vacant for more than ten years and deterioration has accelerated over the last two years due to a damaged roof. Currently the property is blighted, provides a haven for transiency and drug use, and is a major handicap to the continued improvement and renewal of the neighborhood which includes recently renovated homes, street lamps, and a new playground.

With the continued focus by the City of Newark to stabilize the Fairmount Heights Neighborhood, the redevelopment and conversion of the building to permanent multifamily housing on present-day standards of construction, completion, and service, will implement the goals of the City's Abandoned Properties Initiative as well as the neighborhood goals for social and economic revitalization. The project will complement other neighborhood improvement efforts: more than twenty-five single family homes recently built or in renovation, the 13th Avenue growing garden, the new Kaboom! Playground, streetscape and lighting improvements, and an Arbor Day planting of two hundred trees. The rehabilitated property will act as a catalyst for additional redevelopment of buildings and houses and will make the neighborhood newly attractive both as a residential and a retail commercial location within the City of Newark.

Funding Information

Grant Number	HUD Program	Funding Amount
	Vento McKinney Grant	\$420,000
	Continuum of Care Grant	\$400,000
	HOME (Essex County, Newark, DCA)	\$2,500,000
	HMI/A CDBG Special Needs	\$1,100,000

Estimated Total HUD Funded Amount: \$ 3,600,000

Estimated Total Project Cost: \$4,500,000
(HUD and non-HUD funds)
[24 CFR 58.32(d)]

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6		
Airport Hazards 24 CFR Part 51 Subpart D	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The proposed project is not located within 3,000 feet of the end of a civil airport runway, or within 2-1/2 miles from the end of a runway at a military airfield. The proposed project is not located in an Airport Runway Clear Zone or Clear Zone. <i>[Reference, page(s) 22 & 165-166]</i>
Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The John H. Chafee Coastal Barrier Resources System (CBRS) is a collection of specific units of land and associated aquatic habitats that serve as barriers protecting the Atlantic, Gulf, and Great Lakes coasts. There are a total of 585 system units, encompassing approximately 1.3 million acres of land and associated aquatic habitat. According to the New Jersey CBRS map, there are no CBRS units located on or near the project area. In addition, based on a review of the New Jersey Department of Environmental Protection (NJDEP) Coastal and Coastal Area Facility Review Act (CAFRA) Centers Map and the NJDEP Coastal Planning Areas Map, the proposed project is not located within a coastal management zone. The proposed project is not located within a coastal barrier designated on a current FEMA flood map (PANEL 34013C0152F). <i>[Reference, page(s) 167-170]</i>
Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	Based on a review of FEMA Flood Plain maps (PANEL 34013C0152F), the proposed project is located in Zone X (unshaded). Zone X is a moderate to minimal risk flood area. The Federal Emergency Management Agency (FEMA) defines Zones C, X (unshaded) as follows:

USC 4001-4128 and 42 USC 5154a]		<p><i>Minimal risk areas outside the 1-percent and .2-percent-annual-chance floodplains. No Base Flood Elevations or depths are shown within this zone. Insurance purchase is not required by regulation in these zones.</i></p> <p><i>[Reference, page(s) 171-173]</i></p>
<p>Clean Air</p> <p>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to the USEPA Nonattainment Areas Map, the proposed project is located within a nonattainment area for 8-hour ozone and fine particulate matter (PM_{2.5}); however, there are no major emitting facilities on or near the subject site. While the air quality on-site will be temporarily impacted during redevelopment activities, the project will not have an adverse impact on the surrounding air quality. The development will adhere to the state's air quality standards (N.J.A.C. 7:27-1 et seq). The project will meet applicable emission standards and regulations contained in the State Air Pollution Control Code.</p> <p><i>[Reference, page(s) 175-178]</i></p>
<p>Coastal Zone Management</p> <p>Coastal Zone Management Act, sections 307(c) & (d)</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Based on a review of the New Jersey Department of Environmental Protection (NJDEP) Coastal and Coastal Area Facility Review Act (CAFRA) Centers Map and the NJDEP Coastal Planning Areas Map, the proposed project is not located within a coastal management zone.</p> <p><i>[Reference, page(s) 167-170]</i></p>
<p>Contamination and Toxic Substances</p> <p>24 CFR Part 50.3(i) & 58.5(i)(2)</p>	<p>Yes No <input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>Review of the NJDEP GeoWeb online mapping program and DataMiner indicates the proposed project is not currently listed on the NJDEP's Known Contaminated Sites database. There are no hazardous operations on or near the proposed project site. Additional New Jersey Environmental Management System (NJEMS) sites are identified in the surrounding area; however, these sites do not appear to have an effect on the proposed project area.</p> <p>A portion of the proposed project is identified by the NJDEP as a New Jersey Environmental Management System (NJEMS) site. A review of NJDEP records on their DataMiner online database identified the referenced site as <i>Newark House</i> located at 134 South 10th Street. The site is assigned a NJDEP Program Interest number designated as PI#015982 pursuant to a previously removed 3,000-gallon No. 2 heating oil underground storage tank (UST). According to NJDEP records, the site formerly contained a registered 3,000-gallon heating oil UST removed in January 1995 and the UST registration was subsequently terminated in August 2001.</p> <p>Two (2) vent pipes were observed on the exterior wall of the existing four-story, vacant building located at</p>

		<p>No evidence of erosion was visible at the proposed project sites.</p> <p><i>[Reference, page(s) 26-28]</i></p> <p>The structures will discharge waste water to the municipal sewer system which is present in the project area.</p> <p><i>Newark Master Plan, Volume 1, Chapter 07: Utilities & Infrastructure: Wastewater</i></p> <p><i>[Reference, page(s) 213]</i></p>
Hazards and Nuisances including Site Safety and Noise	2	<p>The proposed project is located within a developed urban area; the proposed project will not be affected by natural hazards. The contiguous properties are located on residential streets with normal traffic conditions; therefore, the proposed project should not be affected by built hazards. The proposed project will include adequate lighting and safety features for the development.</p> <p><i>[Reference, page(s) 22-23 & Project Narrative, pages 41-43 City of Newark Memorialization Resolution, pages 30-39]</i></p> <p>The proposed use for the properties will comply with the established city noise ordinances. Noise calculations obtained using the IIUD Day/Night Noise Level (DNL) Calculator indicates a combined noise level below the acceptable level of 65 decibels.</p> <p><i>[Noise Assessment Documentation, page(s) 231-238 & City of Newark Memorialization Resolution, pages 30-39]</i></p>
Energy Consumption	2	<p>The redevelopment of the currently vacant structure and construction of a two-family residence will result in an increase in energy consumption. In addition, the project will be consistent with the certification requirements of the New Jersey Energy Star Multifamily High Rise Program.</p> <p><i>[Project Narrative, pages 41-43 & Project Site Plans, pages 44-163]</i></p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
SOCIOECONOMIC		
Employment and Income Patterns	2	<p>The proposed project will have no effect on employment or income patterns in the project area and no employment will be lost as a result of the proposed project.</p> <p><i>[City of Newark Memorialization, pages 30-39 & Project Narrative, pages 41-43 Reference, page(s) 214-215]</i></p>
Demographic Character Changes and	2	<p>Currently, the proposed project is improved with one (1) four-story, vacant building and the remaining portion of the project site consists of vacant land. The proposed project will be occupied and used for primarily residential purposes; therefore, no demographic character changes are expected.</p>

Displacement		<p>Currently, the proposed project site is improved with one (1) four-story, vacant building and the remaining portion of the project site consists of vacant land; therefore, the proposed project would not displace any tenants. The proposed project will provide affordable and supportive housing in the City of Newark.</p> <p style="text-align: right;"><i>[City of Newark Memorialization, pages 30-39 & Project Narrative, pages 41-43 Reference, page(s) 211 & 214-215]</i></p>
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Environmental Assessment Factor	Impact Code	Impact Evaluation
COMMUNITY FACILITIES AND SERVICES		
Educational and Cultural Facilities	2	<p>Due to the low unit density of the proposed redevelopment, the project will have no adverse impact to the local school system. Education facilities are located in close proximity to the project area. Cultural facilities are located in the City of Newark and available to residents of the project area.</p> <p><i>Newark Master Plan, Volume I, Chapter 08: Community, Cultural & Educational Resources</i></p> <p style="text-align: right;"><i>[Project Narrative, pages 41-43 Reference, page(s) 216-217]</i></p>
Commercial Facilities	2	<p>Commercial facilities are within a reasonable walking distance of the proposed project site. Public transportation is readily available to transport residents to and from commercial facilities.</p> <p style="text-align: right;"><i>[Project Narrative, pages 41-43 Reference, page(s) 218-219]</i></p>
Health Care and Social Services	2	<p>Non-emergency and emergency health care providers are located within reasonable proximity to the proposed project area. Social services are available within the City of Newark. The proposed project is not expected to overburden existing social services.</p> <p><i>Newark Master Plan, Volume I, Chapter 08: Community, Cultural & Educational Resources</i></p> <p style="text-align: right;"><i>[Project Narrative, pages 41-43 Reference, page(s) 220-221]</i></p>
Solid Waste Disposal / Recycling	2	<p>Trash collection and solid waste disposal will be provided by the City of Newark.</p> <p><i>Newark Master Plan, Volume I, Chapter 07: Utilities & Infrastructure: Waste</i></p> <p style="text-align: right;"><i>[Project Site Plans, pages 44-163 & Reference, page(s) 222-223]</i></p>
Waste Water / Sanitary Sewers	2	<p>The proposed structures will discharge waste water to the municipal sewer system which is present in the project area. The proposed project will result in the creation of some impervious</p>

		<p>surfaces; however, the existing storm water facilities are expected to adequately service the proposed redevelopment.</p> <p><i>Newark Master Plan, Volume I, Chapter 07: Utilities & Infrastructure: Wastewater</i></p> <p><i>[Project Site Plans, pages 44-163 & Reference, page(s) 213]</i></p>
Water Supply	2	<p>Potable water for the proposed project will be provided through the Newark Water Department (PWSID #0714001), a public community water system consisting of one surface water intake, one purchased ground water source, and one purchased surface water source. The primary water source is Pequannock Supply via the Charlottesville Reservoir. The Newark Water Department system provides water to over 275,000 residents. The proposed project will not have an adverse effect on the water supply.</p> <p><i>[Reference, page(s) 225-228]</i></p>
Public Safety - Police, Fire and Emergency Medical	2	<p>Police, fire, and emergency medical services are located within reasonable proximity to the proposed project area. Existing organizations are adequate and equipped to service the proposed project.</p> <p>City of Newark Police Department Non-Emergency: 973-733-6000</p> <p>City of Newark Fire Department Non-Emergency: 973-733-7424</p> <p><i>Newark Master Plan, Volume I, Chapter 08: Community, Cultural & Educational Resources</i></p> <p><i>[Reference, page(s) 220-221]</i></p>
Parks, Open Space and Recreation	2	<p>Open space and recreational and cultural facilities are within close proximity of the site, including Liberty Park and Branch Brook Park located northeast of the proposed project area.</p> <p><i>[Reference, page(s) 22 & 229]</i></p>
Transportation and Accessibility	2	<p>Public transportation is readily available to the project area. The proposed project will not cause adverse impacts on the local or regional transportation system.</p> <p><i>[Project Narrative, pages 41-43 & Reference, page(s) 218]</i></p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
NATURAL FEATURES		
Unique Natural Features, Water Resources	2	<p>The proposed project is located near public scenic areas identified as Liberty Park and Branch Brook Park located northeast of the project area. Other natural resources are not visible on the site or in the immediate vicinity of the site. No agricultural land is located on the proposed project.</p> <p>No groundwater withdrawal is proposed from the project and no private wells will be used to supply potable water for the project. In addition, there are no surface bodies of water located on the project area.</p> <p style="text-align: right;"><i>[Reference, page(s) 22 & 229 Project Site Plans, pages 44-163]</i></p>
Vegetation, Wildlife	2	<p>The proposed project is currently improved with one (1) four-story, vacant building and the remaining portion of the project site consists of vacant land located within an urban area. No wildlife was observed during field investigations. Vegetation was limited to scattered shrubs, and weeds on the project area. No species are identified in the EPA Endangered Species Protection Program Database for the City of Newark, Essex County, New Jersey. In addition, there appears to be no areas of suitable habitat, priority concern, State threatened or Federal Threatened & Endangered species on or near the proposed project site. According to the USFWS Federally Listed and Candidate Species Occurrences in New Jersey by County and Municipality, the municipality of the City of Newark is not identified.</p> <p style="text-align: right;"><i>[Reference, page(s) 22-24 & 183-194]</i></p>
Other Factors	2	N/A

Additional Studies Performed:

A Phase I Environmental Site Assessment (ESA) was previously completed by TERMS Environmental Services, Inc. for the vacant building associated with the proposed project located at 128-134 South 10th Street, Newark, New Jersey. The Phase I ESA Report (*dated November 2013*) is provided in Section VIII, beginning on page 240.

An asbestos inspection was previously completed by Mandell Environmental Consulting for the vacant building associated with the proposed project located at 128-134 South 10th Street, Newark, New Jersey. The ACM Inspection Report (*dated October 2013*) is provided in Section IX, beginning on page 260.

A lead-based paint (LBP) assessment was previously completed by A. Scine Lighthouse Solutions, LLC for the vacant building associated with the proposed project located at 128-134 South 10th Street, Newark, New Jersey. The LBP Inspection Report (*dated December 2013*) is provided in Section X, beginning on page 285.

An electromagnetic survey was previously completed by A-I Tank Services, Inc. for the property located at 128-134 South 10th Street, Newark, New Jersey. The UST Tank Services Letter (*dated June 2013*) is provided in Section XI, beginning on page 291.

A geophysical investigation utilizing ground-penetrating radar (GPR) was previously completed by Lewis Consulting Group for the property located at 128-134 South 10th Street, Newark, New Jersey. The Geophysical Summary Report (*dated March 2014*) is provided in Section XI, beginning on page 292.

In addition, an Affirmative Fair Housing Marketing Plan was completed in March 2014 for the proposed project and is provided in Section XII, beginning on page 303.

Field Inspection (Date and completed by):

On December 17, 2013, representatives from Lewis Consulting Group (LCG), Ms. Jeanne M. Valente and Mr. Zachary Lewis performed an onsite inspection of the proposed project site identified as *Fairmount South 10th Street Apartments* located at 128-134 South 10th Street in the City of Newark, New Jersey for visible evidence of contamination of the site with hazardous toxic materials and any other *recognized environmental condition* (REC). LCG's findings from the site inspection are identified as the following:

- Based on a visual inspection of the two (2) contiguous properties, the project site is improved with one (1) four-story vacant building with the remaining portion of the site consisting of vacant land parcels.

List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:

The following agencies and groups were consulted during completion of this report. The sources are referenced throughout the Environmental Assessment report and provided in Section V.

- City of Newark
- Environmental Protection Agency (EPA)
- Federal Aviation Administration (FAA)
- Federal Emergency Management Agency (FEMA)
- Housing and Urban Development (HUD)
- National Wild and Scenic Rivers System
- New Jersey Department of Environmental Protection (NJDEP)
- New Jersey Department of Transportation (NJDOT)
- New Jersey State Historic Preservation Office (SHPO)
- New Jersey Transit (NJT)
- United States Department of Agriculture (USDA)
- United States Fish and Wildlife Service (FWS)

List of Permits Obtained: N/A

Public Outreach [24 CFR 50.23 & 58.43]: N/A

Cumulative Impact Analysis [24 CFR 58.32]:

A cumulative impact is defined as the impact on the environment, which results from the incremental impact of the action when added to other past, present, and reasonably foreseeable future actions regardless of what agency (Federal or non-Federal) or person undertakes such other actions. Cumulative impacts can result from individually minor but collectively significant actions taking place over a period of time. (40 CFR § 1508.7)

This Environmental Assessment considered the potential environmental effects resulting from the proposed redevelopment activities of the proposed project. Based upon the proposed action, no significant cumulative impacts on biological or socioeconomic resources are anticipated. Best Management Practices should be implemented as part of standard operations, landscape maintenance and general building maintenance.

Alternatives [24 CFR 58.40(e); 40 CFR 1508.9] :

The intended use of the properties associated with the proposed project is the adaptive reuse of a vacant building and development on an abutting vacant lot into twenty-three (23) units of permanent supportive and affordable housing; therefore, other uses of the site were not considered.

No Action Alternative [24 CFR 58.40(e)]:

If the project was not considered (No Project) then the community would be under served and the site would not be utilized to its full potential and subsequently go into disrepair.

Summary of Findings and Conclusions:

The proposed project will create no significant impact to the environment or community. The proposed project will provide affordable residential housing, which is needed in the City of Newark.

The preparers have complied with all provisions of 24 CFR Part 58, Subpart E – Environmental Review Process: Environmental Assessments, examining alternatives to the projects themselves, feasible ways to modify the projects to eliminate adverse impacts, and based on steps (a) through (f) found in the regulations, determined a Finding of No Significant Impact (FONSI).

Mitigation Measures and Conditions [40 CFR 1505.2(c)]

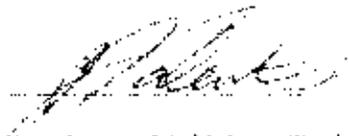
Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

The proposed project is the adaptive reuse of a vacant building and development on an abutting vacant lot into twenty-three (23) units of permanent supportive and affordable housing. No significant impact on the environment is anticipated.

Law, Authority, or Factor	Mitigation Measure
Contamination and Toxic Substances 24 CFR Part 50.3(i) & 58.5(i)(2)	Removal and subsequent closure of one (1) GPR anomaly indicative of a UST situated on the western-central portion of the site beneath the perpendicular fence line traversing from the sidewalk towards the vacant site building in accordance with current NJDEP regulations and UST closure activities.

Determination:

- Finding of No Significant Impact** [24 CFR 58.40(g)(1), 40 CFR 1508.27]
The project will not result in a significant impact on the quality of the human environment.
- Finding of Significant Impact** [24 CFR 58.40(g)(2), 40 CFR 1508.27]
The project may significantly affect the quality of the human environment.

Preparer Signature:  Date: 5-14-2014
Name/Title/Organization: Jeanne M. Valente/Project Manager, Environmental Scientist/Lewis Consulting Group

Certifying Officer Signature: _____ Date: _____
Name/Title: _____

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref. 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

Request for Release of Funds and Certification

U.S. Department of Housing and Urban Development
Office of Community Planning and Development

OMB No. 2506-0087
(exp. 10/31/2014)

This form is to be used by Responsible Entities and Recipients (as defined in 24 CFR 58.2) when requesting the release of funds, and requesting the authority to use such funds, for HUD programs identified by statutes that provide for the assumption of the environmental review responsibility by units of general local government and States. Public reporting burden for this collection of information is estimated to average 36 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This agency may not conduct or sponsor, and a person is not required to respond to, a collection of information unless that collection displays a valid OMB control number.

Part 1. Program Description and Request for Release of Funds (to be completed by Responsible Entity)

1. Program Title(s) Community Development Block Grant - Disaster Recovery (CDBG-DR)	2. HUD/State Identification Number B-13-DS-34-00001	3. Recipient Identification Number (optional) HMFA #02890, SSNH #26
4. OMB Catalog Number(s) 14.218	5. Name and address of responsible entity N.J. Department of Community Affairs 101 South Broad Street Trenton, NJ 08625-0800	
6. For information about this request, contact (name & phone number) Stacy Bonnaffons, Assistant Commissioner, Sandy Recovery (609)-292-3647	7. Name and address of recipient (if different than responsible entity) New Jersey Housing and Mortgage Finance Agency 637 South Clinton Avenue P.O. Box 18550 Trenton, NJ 08650-2085	
8. HUD or State Agency and office unit to receive request DRS - HUD 451 7th Street, SW Washington, D.C. 20410		

The recipient(s) of assistance under the program(s) listed above requests the release of funds and removal of environmental grant conditions governing the use of the assistance for the following

9. Program Activity(ies)/Project Name(s) JBG - DR	10. Location (Street address, city, county, State) 128-134 S. 10th Street and 101 S. 9th Street, Newark, Essex County, NJ
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11. Program Activity/Project Description

Fairmount S. 10th Street Apartments is located at 128-134 S. 10th Street and 101 S. 9th Street, Block 1827, Lots 70 and 12, Newark, Essex County, NJ (the "Project"). The Project involves the acquisition of an existing vacant 4-story building which will be renovated to 21 apartments (including a 1 bedroom unit for the superintendant), and the acquisition of an abutting parcel of vacant land for the new construction of a three-story two-family home. The site area is .32 acres, and the completed square footage of the two buildings will be 29,210 square feet. The 10th St. site will contain 4 studio units will average 406 square feet, the 9 one-bedroom units will average 618 square feet, the 8 two-bedrooms will average 838 square feet, and the 2 three-bedroom units, located on the 9th St. site, will average 1,831 square feet. Eleven of the 23 units will provide permanent affordable supportive housing for homeless households, and the rest will also be affordable to low income households. Projected CDBG funding is \$1,100,000.

Part 2. Environmental Certification (to be completed by responsible entity)

With reference to the above Program Activity(ies)/Project(s), I, the undersigned officer of the responsible entity, certify that:

1. The responsible entity has fully carried out its responsibilities for environmental review, decision-making and action pertaining to the project(s) named above.
2. The responsible entity has assumed responsibility for and complied with and will continue to comply with, the National Environmental Policy Act of 1969, as amended, and the environmental procedures, permit requirements and statutory obligations of the laws cited in 24 CFR 58.5; and also agrees to comply with the authorities in 24 CFR 58.6 and applicable State and local laws.
3. The responsible entity has assumed responsibility for and complied with and will continue to comply with Section 106 of the National Historic Preservation Act, and its implementing regulations 36 CFR 800, including consultation with the State Historic Preservation Officer, Indian tribes and Native Hawaiian organizations, and the public.
4. After considering the type and degree of environmental effects identified by the environmental review completed for the proposed project described in Part 1 of this request, I have found that the proposal did did not require the preparation and dissemination of an environmental impact statement.
5. The responsible entity has disseminated and/or published in the manner prescribed by 24 CFR 58.43 and 58.55 a notice to the public in accordance with 24 CFR 58.70 and as evidenced by the attached copy (copies) or evidence of posting and mailing procedure.
6. The dates for all statutory and regulatory time periods for review, comment or other action are in compliance with procedures and requirements of 24 CFR Part 58.
7. In accordance with 24 CFR 58.71(b), the responsible entity will advise the recipient (if different from the responsible entity) of any special environmental conditions that must be adhered to in carrying out the project.

As the duly designated certifying official of the responsible entity, I also certify that:

8. I am authorized to and do consent to assume the status of Federal official under the National Environmental Policy Act of 1969 and each provision of law designated in the 24 CFR 58.5 list of NEPA-related authorities insofar as the provisions of these laws apply to the HUD responsibilities for environmental review, decision-making and action that have been assumed by the responsible entity.
9. I am authorized to and do accept, on behalf of the recipient personally, the jurisdiction of the Federal courts for the enforcement of all these responsibilities, in my capacity as certifying officer of the responsible entity.

Signature of Certifying Officer of the Responsible Entity

Title of Certifying Officer

**Richard E. Constable, III
Commissioner N.J.D.C.A**

Date signed

X

Address of Certifying Officer

101 South Broad Street, Trenton, New Jersey 08625

Part 3. To be completed when the Recipient is not the Responsible Entity

The recipient requests the release of funds for the programs and activities identified in Part 1 and agrees to abide by the special conditions, procedures and requirements of the environmental review and to advise the responsible entity of any proposed change in the scope of the project or any change in environmental conditions in accordance with 24 CFR 58.71(b).

Signature of Authorized Officer of the Recipient

Title of Authorized Officer

**Anthony L. Marchetta
Executive Director NJHMFA**

Date signed

X

Anthony L. Marchetta
April 16, 2014

Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)



13-1977
HPO 52013-109
Richard E. Constable, III
Chairman

Anthony L. Marchetta
Executive Director

September 12, 2013

Meghan MacWilliams Baratta
Principal Historic Preservation Specialist
Mail Code 501-04B
State of New Jersey
Department of Environmental Protection
Historic Preservation Office
P.O. Box 420
Trenton, NJ 08625-0420

RE: Fairmount S. 10th Street Apartments
HMFA #02890
SSNHP #26
CDBG-DR

Dear Ms. Baratta:

In accordance with the National Historic Preservation Act, I am enclosing photos, a location map and a short narrative description of the above-captioned project. Please review and comment as to any historic significance.

Fairmount S. 10th Street Apartments is located in the Fairmount Heights neighborhood in the West Ward of Newark, Essex County, New Jersey. The project includes two adjoining parcels which extend from South 10th Street to South 9th Street, on Block 1827, lots 12 and 70. The parcel located at 128-134 South 10th Street is the site of an abandoned psychiatric hospital, built in 1931. This 11,648 square foot, .27 acre site contains a 14,000 square foot brick masonry building, which has been vacant for over 10 years. It would be substantially rehabilitated to contain 21 apartments. The contiguous parcel, 101 S. 9th Street, is a 2,500 square foot, .05 acre vacant lot located between two occupied 2-family homes. The lot has been cleared of pre-existing structures. A new two-family home would be constructed on the site, and would contain two 3-bedroom apartments and a ground floor garage space.

For your information, this project is to be insured by the U.S. Department of Housing and Urban Development. Thank you for your kind and prompt attention to this matter. Should you have any questions, I can be reached at (609) 278-7662, or LSwartz@NJHMFA.state.nj.us.

I concur with your finding that there are no historic properties located within the project's area of potential effects. Consequently, pursuant to 36 CFR 800.4(d)(1), no further Section 106 consultation is required unless additional resources are discovered during project implementation pursuant to 36 CFR 800.13.

[Signature] 10/22/13
DANIEL B. SAUNDERS
Director, Historic Preservation Office

Sincerely,
[Signature]
Special Needs Housing Officer

NEW JERSEY HOUSING AND MORTGAGE FINANCE AGENCY

**NOTICE OF FINDING OF NO SIGNIFICANT IMPACT
AND
NOTICE OF INTENT TO REQUEST RELEASE OF FUNDS**

Date of Notice

New Jersey Housing and Mortgage Finance Agency
637 S. Clinton Avenue
PO Box 18550
Trenton, NJ 08650
(609) 278-7400

These notices shall satisfy two separate but related procedural requirements for activities to be undertaken by the New Jersey Department of Community Affairs.

REQUEST FOR RELEASE OF FUNDS

On or about (one day after date of 15 day comment period) the New Jersey Department of Community Affairs (NJCA), on behalf of the New Jersey Housing and Mortgage Finance Agency (NJHMFA) will submit a request to the U. S. Department of Housing and Urban Development (HUD) for the release of Community Development Block Grant – Disaster Recovery (CDBG-DR) program funds pursuant to the Disaster Relief Appropriations Act of 2013 (Public Law 113-2, approved January 29, 2013), to undertake a project known as Fairmount S. 10th Street Apartments.

Approximately 25th Street Apartments is located at 106-124 10th Street and 10th Street West Street from 10th to 12th between Essex Street and 10th Street. The project involves the acquisition of an existing vacant 4-story building which will be renovated to 24 apartments (including a 1 bedroom unit for the streetfront) and the acquisition of an adjacent parcel of vacant land for the new construction of a three-story two-family home. The site area is .32 acres, and the completed square footage of the two buildings will be 29,210 square feet. The 10th St. site will contain 4 studio units will average 406 square feet, the 9 one-bedroom units will average 616 square feet, the 5 two-bedrooms will average 856 square feet, and the 3 three-bedroom units, located on the 9th St. Str. will average 1,034 square feet. Eleven of the 25 units will provide permanent affordable supportive housing for homeless households, and the rest will also be affordable to low income households. Projected CDBG funding is \$1,500,000.

FINDING OF NO SIGNIFICANT IMPACT

The NJHMFA has determined that the project will have no significant impact on the human environment. Therefore, an Environmental Impact Statement under the National Environmental Policy Act of 1969 (NEPA) is not required and one combined FONSI/NOI-RRDF has been published. Additional project information is contained in the Environmental Review Record (ERR) on file at NJHMFA, 637 S. Clinton Avenue, Trenton, NJ 08650 where the ERR is available for review and may be examined or copied weekdays ___ A.M. to ___ P.M.

PUBLIC COMMENTS

Any individual, group, or agency disagreeing with this determination or wishing to comment on the project may submit written comments to NJCA, ATTN: Stacy Bonaffons, Assistant Commissioner, 181 S. Broad Street, Trenton, NJ 08650. All comments received will be considered and neither NJCA nor NJHMFA will not take any action on this project prior to (notice date plus fifteen days) and will be considered by NJCA prior to authorizing submission of a request for release of funds. Comments should specify which Notice they are addressing.

RELEASE OF FUNDS

The NJDCA certifies to HUD that Richard E. Constable, in his capacity as Commissioner of NJDCA consents to accept the jurisdiction of the Federal Courts if an action is brought to enforce responsibilities in relation to the environmental review process and that these responsibilities have been satisfied. HUD's approval of the certification satisfies its responsibilities under NEPA and related laws and authorities, and allows NJHMFA to use Program funds.

OBJECTIONS TO RELEASE OF FUNDS

HUD will accept objections to its release of funds and the NJDCA's certification for a period of fifteen days following the anticipated submission date or its actual receipt of the request (whichever is later) only if they are on one of the following bases: (a) the certification was not executed by the Certifying Officer of NJDCA; (b) NJDCA has omitted a step or failed to make a decision or finding required by HUD regulations at 24 CFR Part 58; (c) the grant recipient has committed funds or incurred costs not authorized by 24 CFR Part 58 before approval of a release of funds by HUD; or (d) another Federal agency acting pursuant to 40 CFR Part 1504 has submitted a written finding that the project is unsatisfactory from the standpoint of environmental quality. Objections must be prepared and submitted in accordance with the required procedures (24 CFR Part 58) and shall be addressed to Tennille Smith Parker, DRA, Acting Division Director, HUD, 451 Seventh Street SW, Washington, D. C. 20410. Potential objectors should contact HUD to verify the actual last day of the objection period.

Commissioner Richard E. Constable
New Jersey Department of Community Affairs

NOTIFICACIÓN DE CONCLUSIÓN DE IMPACTO NO SIGNIFICATIVO
Y
NOTIFICACIÓN DE LA INTENCIÓN DE SOLICITAR LA LIBERACIÓN DE FONDOS

Fecha de la notificación:

New Jersey Housing and Mortgage Finance Agency
637 S. Clinton Avenue
PO Box 18550
Trenton, NJ 08650
(609) 278-7400

Estas notificaciones deberán cumplir con dos requisitos de procedimiento independientes pero relacionados para las actividades que emprenderá el Departamento de Asuntos Comunitarios de New Jersey.

SOLICITUD PARA LA LIBERACIÓN DE FONDOS

El mismo día o en una fecha cercana a (un día después del periodo de 15 días para enviar comentarios), el Departamento de Asuntos Comunitarios de New Jersey (New Jersey Department of Community Affairs, NJDCA), en nombre de la New Jersey Housing and Mortgage Finance Agency (NJHMFA) presentará una solicitud ante el Departamento de Vivienda y Desarrollo Urbano de EE. UU. (Department of Housing and Urban Development, HUD) para la liberación de los fondos del programa de subvención en bloque para el desarrollo comunitario, recuperación frente a desastres (Community Development Block Grant - Disaster Recovery, CDBG-DR) conforme a la Ley de Asignaciones de Fondos Para Desastres (Disaster Relief Appropriations Act) de 2013 (Ley Pública 113-2, aprobada el 29 de enero de 2013), para emprender un proyecto denominado (título del proyecto, con el propósito de naturaleza/alcance del proyecto, financiación estimada, y ubicación del proyecto).

Fairmount 5, 10th Street Apartments está ubicado en 126-124 S. 10th Street y 101 S. 9th Street, cuadro 1837, lotes 70 y 72, Newark, condado de Essex, Nueva Jersey (el "Proyecto"). El Proyecto consiste en la adquisición de un edificio de ocupación existente de 4 pisos que será renovado para obtener 23 apartamentos (incluida una unidad de 1 dormitorio para el supervisor) y la adquisición de una parcela adyacente de terreno sin construir para la nueva construcción de una vivienda de tres pisos para dos familias. El área del terreno es de 8,32 acres y los dos edificios ocuparán un total de 29,210 pies cuadrados. El terreno de 10th St. incluirá 4 unidades de un ambiente que tendrán un promedio de 406 pies cuadrados, las 9 unidades de un dormitorio tendrán un promedio de 612 pies cuadrados, las 8 unidades de dos dormitorios tendrán un promedio de 838 pies cuadrados y las 2 unidades de tres dormitorios, ubicadas en el terreno de 9th St., tendrán un promedio de 1,231 pies cuadrados. Once de las 23 unidades serán viviendas asistenciales permanentes y asequibles para familias sin techo y las demás también serán viviendas asistenciales para familias de bajos ingresos. La financiación proyectada del programa CDBG es de ~~\$2,500,000~~

2,500,000.

CONCLUSIÓN DE IMPACTO NO SIGNIFICATIVO

La NJHMFA ha determinado que el proyecto no tendrá ningún impacto significativo en el medio ambiente humano. Por lo tanto, no es necesaria una Declaración de Impacto Ambiental en virtud de la Ley Nacional de Política Ambiental (National Environmental Policy Act, NEPA) de 1969 y se ha publicado una sola notificación de conclusión de impacto no significativo (NOTICE OF FINDING OF NO SIGNIFICANT IMPACT, FONSI) y notificación de la intención de solicitar la liberación de fondos (NOTICE OF INTENT TO REQUEST RELEASE OF FUNDS, NOI-RROF) combinadas. El Registro de Revisión Ambiental (Environmental Review Record, ERR) contiene información adicional sobre el proyecto en el archivo de la NJHMFA, 637 S. Clinton Avenue, Trenton, NJ 08650. Allí, el ERR está

disponible para su revisión y podrá examinarse y sacar copias de lunes a viernes, de a. m. a
.... p. m.

COMENTARIOS DEL PÚBLICO

Las personas, grupos o agencias que estén en desacuerdo con esta determinación o que deseen realizar comentarios sobre el proyecto, pueden presentar comentarios por escrito al NJDCA, ATTN.: Stacy Bonnaffons, Assistant Commissioner, 101 S. Broad Street, Trenton, NJ 08650. Todos los comentarios recibidos se tomarán en consideración y ni el NJDCA ni la NJHMFA tomarán ninguna medida con respecto a este proyecto antes de (dentro de los quince días después de la publicación del aviso de notificación). Además, el NJDCA considerará los comentarios antes de presentar la solicitud para autorizar la liberación de fondos. Los comentarios deben especificar a qué notificación se refieren.

LIBERACIÓN DE FONDOS

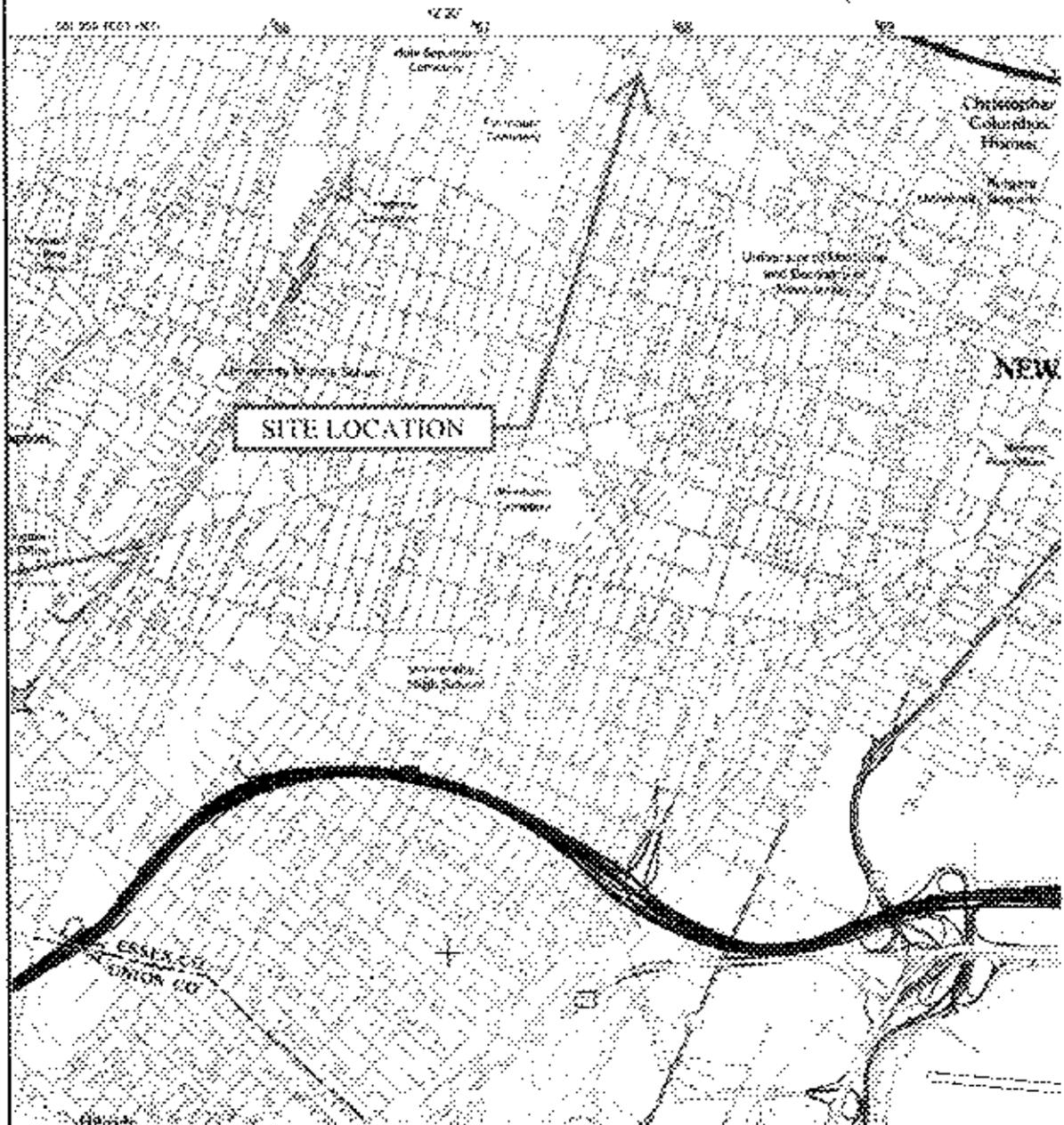
El NJDCA certifica al HUD que Richard E. Constable, en su calidad de comisionado del NJDCA, da consentimiento para aceptar la jurisdicción de los Tribunales Federales si se inicia una acción para hacer cumplir las responsabilidades relacionadas con el proceso de revisión ambiental y que estas responsabilidades se hayan cumplido. La aprobación de la certificación por parte del HUD cumple sus responsabilidades en virtud de la NEPA y leyes y autoridades relacionadas, y permite a la NJHMFA el uso de los fondos del programa.

OBJECIONES A LA LIBERACIÓN DE FONDOS

El HUD aceptará objeciones a la liberación de sus fondos y a la certificación del NJDCA durante un período de quince días después de la fecha de presentación anticipada o del recibo de la solicitud (lo que ocurra más tarde) únicamente si cuentan con los siguientes fundamentos: (a) la certificación no se llevó a cabo por el funcionario certificador del NJDCA; (b) el NJDCA omitió un paso, no tomó una decisión o no llegó a una conclusión según lo exigido por los reglamentos del HUD del título 24 del Código de Reglamentos Federales (Code of Federal Regulations, CFR), Parte 58; (c) el beneficiario de la subvención ha asignado fondos o incurrido en gastos no autorizados por el título 24 del CFR, Parte 58, antes de la aprobación de la liberación de fondos por parte del HUD; u (d) otra agencia federal actuando conforme al título 40 del CFR, Parte 1504, ha presentado una conclusión por escrito de que el proyecto no es satisfactorio desde el punto de vista de la calidad ambiental. Las objeciones deben prepararse y presentarse de acuerdo con los procedimientos exigidos (título 24 del CFR, Parte 58) y deberán dirigirse a Tennille Smith Parker, directora interna de la división DRA del HUD, 451 Seventh Street SW, Washington, D. C. 20410. Los posibles objetantes deben comunicarse con el HUD a fin de verificar el último día del período para efectuar objeciones.

Comisionado Richard E. Constable
Departamento de Asuntos Comunitarios de New Jersey

SECTION B



LEWIS
CONSULTING
GROUP

SITE LOCATION MAP

FAIRMOUNT SOUTH 10TH STREET APTS.
BLOCK 1827, LOTS 12 & 70
CITY OF NEWARK
ESSEX COUNTY, NEW JERSEY

MAP 61



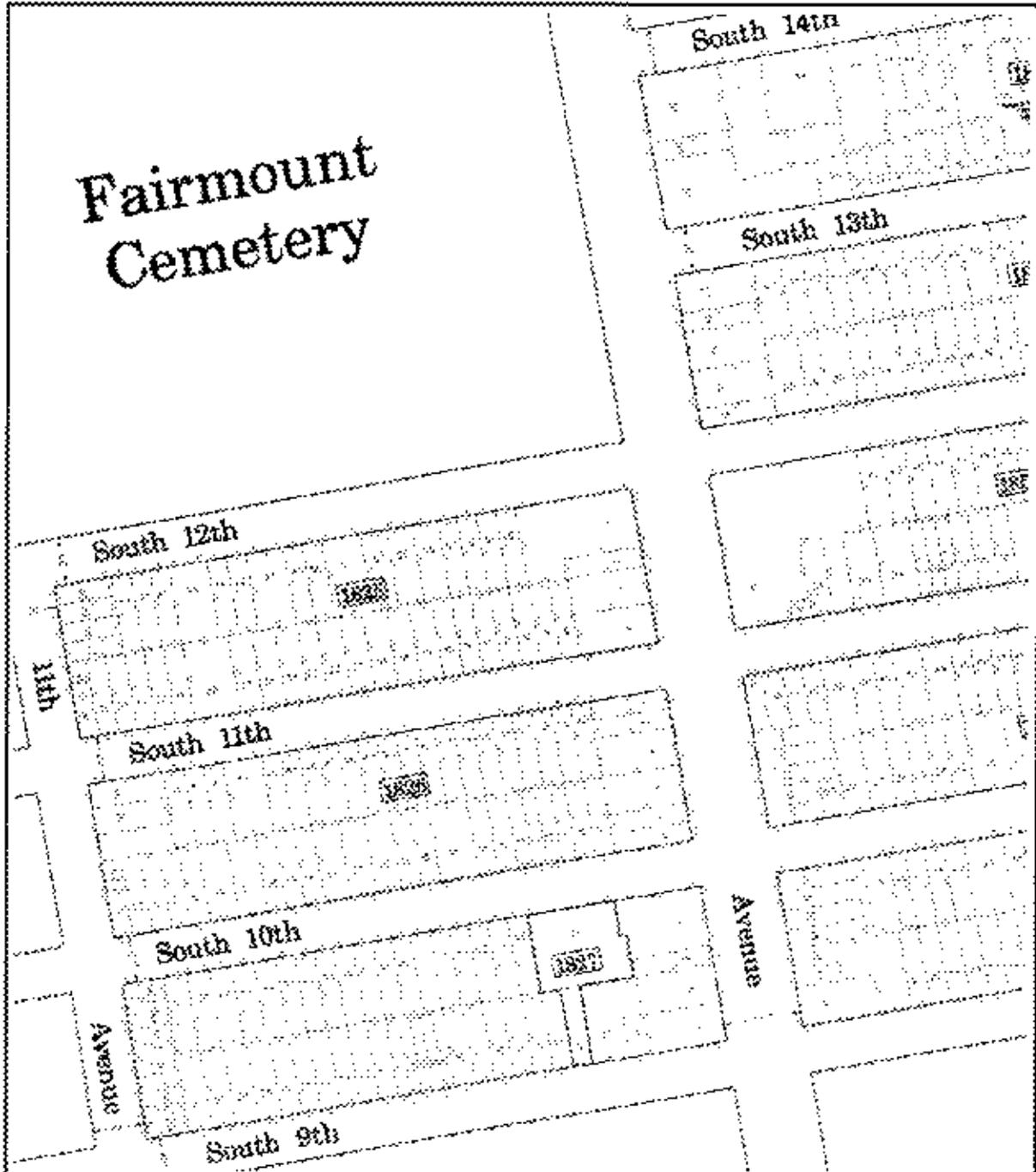
LEWIS
CONSULTING
GROUP

AERIAL SITE MAP

FAIRMOUNT SOUTH 10TH STREET APTS.
BLOCK 1827, LOTS 12 & 79
CITY OF NEWARK
ESSEX COUNTY, NEW JERSEY

MAP 42

Fairmount Cemetery



LEWIS
CONSULTING
GROUP

TAX MAP

FAIRMOUNT SOUTH 10TH STREET APES,
BLOCK 1827, LOTS 12 & 76
CITY OF NEWARK
ESSEX COUNTY, NEW JERSEY

MAP 53

SECTION C

PHOTOGRAPHIC LOG

PHOTOGRAPH NUMBER: 01
PROJECT NAME: S. 10th STREET APTS.
LOCATION: CITY OF NEWARK, NJ
DATE: DECEMBER 17, 2013

Eastern view of the proposed project site along South 10th Street, depicting a four-story vacant structure at 128-134 South 10th Street (Block 1827, Lot 70).



PHOTOGRAPH NUMBER: 02
PROJECT NAME: S. 10th STREET APTS.
LOCATION: CITY OF NEWARK, NJ
DATE: DECEMBER 17, 2013

Eastern view of the proposed project site along South 10th Street, depicting a four-story vacant structure at 128-134 South 10th Street (Block 1827, Lot 70).



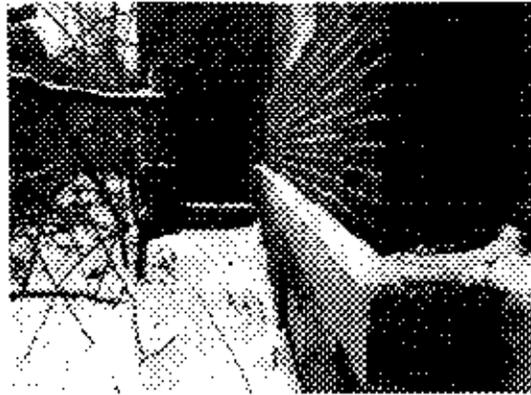
PHOTOGRAPH NUMBER: 03
PROJECT NAME: S. 10th STREET APTS.
LOCATION: CITY OF NEWARK, NJ
DATE: DECEMBER 17, 2013

Eastern view of the proposed project site along South 10th Street, depicting the northern property boundary.



PHOTOGRAPH NUMBER: 04
PROJECT NAME: S. 11TH STREET APTS
LOCATION: CITY OF NEWARK, NJ
DATE: DECEMBER 17, 2013

Southern view of the proposed project site, depicting the rear property boundary of the four-story, vacant structure.



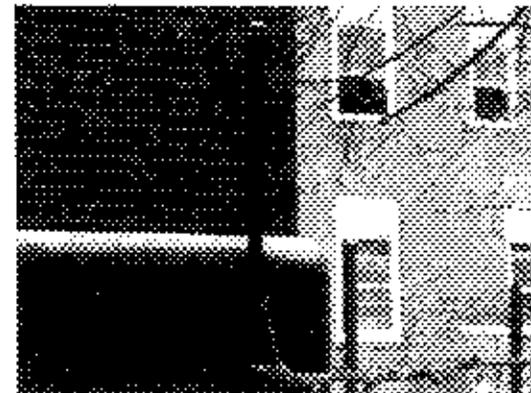
PHOTOGRAPH NUMBER: 05
PROJECT NAME: S. 10TH STREET APTS.
LOCATION: CITY OF NEWARK, NJ
DATE: DECEMBER 17, 2013

View of miscellaneous trash and debris observed on rear of four-story, vacant building.



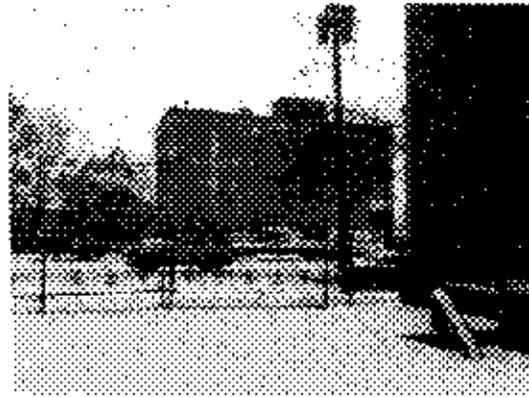
PHOTOGRAPH NUMBER: 06
PROJECT NAME: S. 10TH STREET APTS.
LOCATION: CITY OF NEWARK, NJ
DATE: DECEMBER 17, 2013

View of vent pipe observed on the northern wall of the vacant, four-story building located along South 10th Street.



PHOTOGRAPH NUMBER: 07
PROJECT NAME: S. 10th STREET APPTS.
LOCATION: CITY OF NEWARK, NJ
DATE: DECEMBER 17, 2013

Western view of the proposed project site along South 10th Street, depicting gated entrance to the property.



PHOTOGRAPH NUMBER: 08
PROJECT NAME: S. 10th STREET APPTS.
LOCATION: CITY OF NEWARK, NJ
DATE: DECEMBER 17, 2013

Western view of the proposed project site along South 9th Street, depicting vacant land at 101 South 9th Street (Block 1822, Lot 12).



SECTION D

Newark

Cory A. Becker
Mayor

Department of Economic & Planning Development
Division of Office of Records

99-Broad Street, Room 110
Newark, New Jersey 07102
Tel: 973-733-6782
Fax: 973-733-4889

Adam Tipton
Deputy Mayor

Arnoldo Aponte
Council of Directors

Acto Afonzi
Supervising Planner, LEED
Zoning Officer

September 27, 2013

Jennifer Lavelle-Pace, Esq.
Gloria A. Hunt, Chairman & Welfare
404 Third Street
Newark, New Jersey 07102

**RE: BOARD OF ADJUSTMENT APPLICATION # 14-13-D
101 & 99 STREET, NEWARK, NEW JERSEY**

Dear Mrs. Lavelle-Pace:

The Zoning Board of Adjustment, at its regular public hearing held on September 11, 2013, voted to **Grant Approval** to the above referenced application, and the decision was memorialized on September 27, 2013.

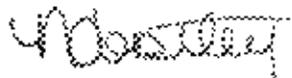
This approval is subject to compliance with the comments outlined in the Planner's Staff Report dated August 5, 2013 and the directives from the Department of Engineering and the Division of Water Resources Office.

Please revise plans (if applicable) accordingly and submit four (4) 24"x36" complete sets and one (1) 11" x 17" complete set to the Board of Adjustment. Under no circumstances are plans to be sent to the Department of Engineering.

Pursuant to the Municipal Land Use Law, N.J.A.C. 17:27, 19, the applicant must publish the decision of the Board pertaining to the application in a newspaper of general circulation within ten (10) days of the decision. A copy of the publication must be sent to the Zoning Board of Adjustment and made part of the permanent file.

Attached please find the **Resolution** regarding to the Board's decision.

Sincerely,



Nick Corley
Zoning Board Secretary

**BOARD OF ADJUSTMENT OF THE
CITY OF NEWARK, NJ**

APPEAL NO.: 14-1547
PREMISES: 101 E. 9th Street
APPLICANT: Fairmount E. 10th St. Apartments LLC
TO PERMIT: In the Fairmount Neighborhood Redevelopment Plan Area, proposed conversion of a former hospital into twenty-one units of Supportive Housing with services for formerly homeless individuals and families and low income families. Project does not conform to the requirements of the Redevelopment Plan.

This appeal coming on to be heard before the Board of Adjustment on statutory notice, and after inspection of the premises and locality and, WHEREAS, the Board after carefully considering the evidence presented by the appellant has made the following factual findings:

1. The premises are generally bounded by Central Avenue, South 10th Street, 11th Avenue. The lot area is approximately 11,648 square feet. The surrounding land uses consist of residential, commercial and institutional uses.
2. The use as proposed by applicant is permitted in the zone in which it is located.
3. No objectors present.
4. The site is located within the Fairmount Neighborhood Redevelopment Plan.
5. The site measures approximately 11,648 square feet (0.26 acres) and is developed with an existing 4 1/2 story T-shaped long corner building that formerly housed the West Ward Hospital.
6. The Applicant seeks Preliminary and Final Site Plan approval for the substantial rehabilitation of the site for the development of twenty-one (21) permanent supportive and affordable housing units of studios, 1-bedroom, and 2-bedroom apartments, an activity room, and associated support spaces.
7. The project will provide onsite support services from Apostle's House.
8. The Applicant requests an increase in the permitted density, a (1:1) variance, and "C" and "B" variances for minimum rear yard setback, fence height, and parking.
9. Extensive testimony was given regarding the number of units, affordability controls, and proposed support services.
10. Applicant presented testimony from Paul Kliche, Licensed professional planner. Based on that testimony the Board finds that the proposed use is one which is inherently beneficial.
11. The Applicant presented ample testimony from William C. Block, Licensed architect. Based on that testimony the Board finds that the site can accommodate the proposed number of dwelling units despite their being an excess of the maximum permitted.
12. The Applicant presented testimony demonstrating that sufficient on street parking exists in the vicinity of the site. Proximity of public transportation to the site presents good alternatives for residents and visitors. As such, the parking needs for the proposed use can be accommodated.
13. The other "C" variances required by the application are generally existing conditions which will not be worsened by proposed use.

14. The Applicant has agreed to conditions which will better integrate the use with the surrounding neighborhood.

And WHEREAS, the Board has determined that the relief requested by the applicant CAN be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the Zoning Plan and the Zoning Ordinance of the City of Newark for the following reasons:

1. The grant of the variance sought by the applicant will result in an inherently beneficial use with long standing service to community to continue to provide needed services to emergency residents.
2. The grant of a variance will result in an adaptive reuse of a large vacant building and return it to a viable use in the community.
3. The conditions agreed to by Applicant will serve to better integrate the proposed use into the surrounding community with the result that the benefits of allowing the use substantially outweigh any detriments.

Now, therefore, be it resolved by the Board of Adjustment of the City of Newark, New Jersey, that the variance sought by the applicant herein be GRANTED WITH CONDITIONS.

1. Applicant must conform to the comments and directives provided by the City Planner Michele Altona, P.P., ACP and the Department of Engineering in their respective reports.
2. The site shall be developed in accordance with the current plans and renderings as submitted to the Board, which have been made part of this application, except as modified by the Board as set forth herein.
3. The Applicant shall comply with any and all Federal, State, County and local laws, ordinances, codes, rules and regulations with regard to all aspects of construction of the project and such other applicable laws and codes, and shall be responsible for all costs and fees associated therewith and
4. The Applicant shall obtain all appropriate and applicable approvals and permits as required from other governmental agencies having jurisdiction over the property or the subject matter of this application, and shall comply with each and every requirement of every issued permit, and shall be responsible for all costs and fees associated with those approvals.

The site plan approval is subject to the following conditions and/or terms listed. Favorable review and approval of plans by the following agencies along with compliance with any conditions imposed by those agencies:

Fire Department
Department of Engineering
Department of Water & Sewer Utilities

ABSENT	YES	NO	ABSENT
COMMISSIONER ALTONA	COMMISSIONER BAKER	COMMISSIONER BAKER	COMMISSIONER BAKER
YES	YES	YES	YES
COMMISSIONER BAKER	COMMISSIONER BAKER	COMMISSIONER BAKER	COMMISSIONER BAKER
YES	YES	YES	YES
COMMISSIONER BAKER	COMMISSIONER BAKER	COMMISSIONER BAKER	COMMISSIONER BAKER

The Resolution is the result of a resolution adopted by the Board of Adjustment of the City of Newark, after hearing on September 12, 2011 and memorialized on September 26, 2011.

Michele Altona
Michele Altona, ACP
Board of Adjustment

Newark

Cory A. Booker
Mayor

Department of Economic & Housing Development

Adam Zipkin, Deputy Mayor/Director

Central Planning Board
320 Broad Street, Room 112
Newark, New Jersey 07102
Tel: 973-733-6339
Fax: 973-733-4989

Arcelio Aponte
Director of Operations

Michelle Alonso, AICP, PP
Principal Planner

June 12, 2012

Jennifer M. Carrillo-Perez
Genova, Burns & Glantonas
494 Broad Street
Newark, NJ 07102

RECEIVED

JUN 12

URS BUSINESS AGENCY
Newark, NJ

**RE: 101, 105, 111, 113, 117 1/2 -123, 127-135 South 9th Street
Newark, NJ 07102
Block: 1827 Lot(s): 12, 14, 17, 18, 21, 22, 23, 25, 27, 28, 29 and 65**

Dear Mrs. Carrillo-Perez, Esq.

The Central Planning Board, City of Newark, New Jersey, at its regular public hearing held on **June 11, 2012** voted to grant & memorialize a Preliminary & Final Site Plan Approval for the above referenced project.

However, this approval is subject to compliance with conditions listed in the memorandum from the Department of Engineering and any other conditions imposed by the Central Planning Board.

Please revise plans accordingly and submit **four (4) complete sets of 24" by 36" plans and one (1) 11" x 17" complete set** to the Central Planning Board. Under no circumstances are plans to be sent to the Department of Engineering.

Pursuant to the Municipal Land Use Law, C40: 95D, 10i the applicant must publish the decision of the Board pertaining to the application in a newspaper of general circulation within ten (10) days of the decision. A copy of this publication must be sent to the Central Planning Board and made part of the permanent file.

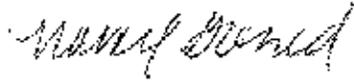
When filing for construction permits, please do not forget to include a copy of the resolution and the final approved site plan, if applicable, in all of your application materials that are submitted to the permit office. If you are required by the Board to post a bond, please contact the Department of Engineering after you have filed your revised plans with this office.

If you should need additional information pertaining to the above, please do not hesitate to call this office.

Attached please find the **Resolution** attesting to the Board's decision.

If you should need additional information pertaining to the above, please do not hesitate to call this office.

Sincerely,



Nancy Goudi
Acting Principal Planner
Central Planning Board

cc: Mr. John Abramo
Mr. William Slack

NG/nd

ADMINISTRATIVE RECORDATION

APPLICATION # Fairmount Homes II

ADDRESS: 101, 105, 111, 113, 117 ½ - 123, 127-135 South 9th Street
Block: 1827, Lot: 12, 14, 17, 18, 21, 22, 23, 25, 26, 27, 28,
29, and 65

SITE PLAN: Preliminary and Final Site Plan

VARIANCES: NONE

WAIVERS: NONE

APPLICANT: Fairmount Heights Development Company, LLC

OWNER: City of Newark

HEAR. DATE: June 11, 2012

PROJECT: Fairmount Homes II

SITE PLAN: Preliminary and Final Major Site Plan

VARIANCES: None

APPLICANT Fairmount Homes Development Company, LLC.

OWNER: City of Newark

WHEREAS, an application has been filed with the Central Planning Board, City of Newark, New Jersey; and

WHEREAS, the Central Planning Board, City of Newark, New Jersey, after considering the evidence presented by the applicant and/or representative, notification to adjoining property owners and the general public and after consulting with the appropriate municipal departments has made the following factual findings:

1. The project is comprised of 13 lots along South 9th Street, all of which are currently vacant.
2. The applicant is requesting a lot merger and subsequent minor subdivision of Lots 21, 22, 23 and 65 into two separate lots for the construction of two (2) two- or three-family dwellings. The applicant is also requesting a lot merger and subsequent major subdivision of Lots 25-29 into three (3) separate lots for the construction of three (3) two- or three-family homes.

Lots resulting from the merger and subdivision are as follows.

heaters and furnaces. There is an entryway on the left side of the building into the living/dining area, as well a main entryway at the front of the building. An interior stairwell provides access to the second floor of Unit 2 and an exterior stairwell at the rear of the building provides access to a second story deck. "Unit 1" is located on the third floor and a portion of the second floor of the building and contains three bedrooms, two full bathrooms, kitchen, dining/living area, laundry facilities and a mudroom which provides access to a deck. Unit 2 has a gross floor area of 2,314 square feet and Unit 1 has a gross floor area of 1,348 square feet.

7. For the three-family homes, parking will be provided either as: 1) 5 parking spaces located in a rear concrete driveway of 29 feet-3 inches by 24 feet or; 2) a two-car garage measuring 18 feet-10 inches by 18 feet-10 inches, with one additional space provided in the driveway area. A new curb cut of 10 feet and an apron of 15 feet are proposed to provide access to a 10 foot wide concrete driveway along left side of building. Each two-family home is proposed to provide two parking spaces in a garage measuring 34 feet by 13 feet (442 square feet). A brick paved driveway of 6 feet-2 inches in width is proposed, as is a new curb cut of 10 feet with an apron of 15 feet.
8. The lower floor of the front façade of the three-family homes will be clad with either brick or stone façade and the upper stories will be clad with cement plaster façade or composite siding. Casement windows with composite window surround and a shingle hipped roof is also proposed, as is a bay with casement windows and recessed composite panels. The side and rear elevations are proposed to be clad in vinyl siding with double hung windows.
9. The lower floor of the front façade of the two-family homes will be clad in either brick or stone façade and the upper levels will be clad in cement plaster or composite siding. Casement windows with composite window surround and a composite cornice is also proposed, as is a bay with casement windows and recessed composite siding. The main entryway to the building will be provided at ground level. The side and rear elevations are proposed to be clad with vinyl siding. The proposed deck on the second level and stairs will be made of wood with a wood or metal guard rail.
10. A four (4) foot high decorative metal fence with two five (5) foot gates at the driveway are proposed for the three-family homes, to extend along the front yard setback and the first five feet of the side yards; the remainder of the side and rear yards will have a chain link fence of six (6) feet in height. The two-family homes are proposed to have a four (4) foot high decorative metal fence with a three (3) foot gate along the front yard setback and the first five feet of side yards; the remainder of the side and rear yards will have a chain link fence of six (6) feet in height.
11. The landscaping plan proposes grass plantings in the side and rear yards, as well as in a planting strip in the public right-of-way. Street trees and grass will be planted in the planting strip. Shrubs will be planted in the front yard.

NOW, THEREFORE, BE IT RESOLVED BY THE CENTRAL PLANNING BOARD, CITY NEWARK, NEW JERSEY THAT the application presented by Fairmount Heights Development Company, LLC

Preliminary and Final Site Plan approval for property located at: 101, 105, 111, 113, 117 ½ - 123, 127-135 South 9th Street
Block: 1827, Lot: 12, 14, 17, 18, 21, 22, 23, 25, 26, 27, 28, 29, and 65

is approved for the following reasons:

1. The use is permitted in the R-3 District.
2. The development will bring a positive impact to the neighborhood.

However, this approval is subject to the following conditions and/or terms thereof:

- * Favorable review and approval of plans by the following agencies along with compliance with any conditions imposed by those agencies:

Engineering Department
Water/Sewer Utilities

- * Prior to the issuance of any construction permits, the applicant must post a Performance Guarantee/Bond assuring the installation for all necessary on- and off-tract improvements including landscaping, paving, fencing, site lighting, and decorative site features. A single guarantee shall be used for this entire project.
- * All property tax requirements of the City of Newark for this site must be met or arrangements must have been made through the Tax Collections office for the satisfaction of all requirements. This approval is null and void unless all property tax requirements are met.
- * Prior to the issuance of construction permits, the applicant must submit to the Central Planning Board office newly revised plans in the following format: four (4) full-sized and one (1) 11"x17" set of plans. These new sets shall be revised to reflect this approval's conditions as well as all revisions required. These sets shall be the final plans of record for this project. The previously reviewed plans are to be replaced with the aforementioned final sets. **Revised plan sets must be submitted to the Central Planning Board office within 60 days of this approval.**
- * All decorative and design elements of the proposed structures and the site depicted on the approved plans and/or described in this resolution including, but not limited to, architectural trim, lighting fixtures, paving, landscaping, signage, parking areas, site layout, and/or decorative windows must be constructed as approved and no certificate of occupancy shall be granted nor any bond/performance guarantee returned unless these features are properly constructed.

- Prior to the issuance of construction permits, the applicant must secure a Soil Erosion & Sedimentation Control Permit.
- In accordance with Section 18:12-5.1.b.7 of the Revised General Ordinances of the City of Newark, any security gate installed within the City, extending over or across a store front window or door, shall be of a grate or lattice type, with one hundred (100%) percent mesh or see-through composition. All gates and accompanying hardware shall be maintained in a state of good repair.
- In accordance with Title 38:10-55, upon completion of this project's construction, the applicant must submit certification to the Central Planning Board Secretary and the Engineering Department that it has completed all elements of this project's construction in accordance with this approval. This certification must be signed and sealed by a licensed architect or engineer.

This approval has the following unique conditions:

1. In the "3 Family Data" table on page A-101a of the plans, Unit 1 is listed as a two-bedroom unit with a garage area of 356 square feet, where a three bedroom unit with no garage area is proposed. Plans shall be revised for consistency.
2. Floor plans shall be revised such that each unit is labeled with the appropriate unit number.
3. Final site plans indicating the selected alternative (i.e., two- or three-family homes and façade) shall be submitted to planning staff for review and approval.

1 on page

CP612-34
Preliminary and Final Site Plan
101, 105, 111, 113, 117 1/2 - 129, 127-135 South 9th Street
Block: 1827, Lot: 12, 14, 17, 18, 21, 22, 23, 25, 26, 27, 28, 29, and 65

MEMBERS VOTING

MOTION MADE BY BOARD MEMBER

Waldrop

MOTION SECONDED BY BOARD MEMBER

Oliver

BOARD MEMBERS	YES	NO	N.Y.	ABSENT
AGUSTO ARMADOR				
BERNAINE JAMES	<i>[Handwritten mark]</i>			
CLIFTON E. JOHNSON	<i>[Handwritten mark]</i>			
JUANITA JORDAN				
PAUL L. OLIVER, JR.	<i>[Handwritten mark]</i>			
DAVID B. PIMENTEL	<i>[Handwritten mark]</i>			
WAYNE RICHARDSON	<i>[Handwritten mark]</i>			
CARLOS VALENTIN				
CHRISTINE VELEZ	<i>[Handwritten mark]</i>			
MELVINE WALDRUP	<i>[Handwritten mark]</i>			

CERTIFICATION

I, CLIFTON E. JOHNSON THE DULY APPOINTED AND QUALIFIED CHAIR OF THE CENTRAL PLANNING BOARD OF THE CITY OF NEWARK, NEW JERSEY, DO HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT RECORD OF VOTE RELATING TO THE MATTER AT HAND AND ON FILE AND /OR RECORD WITH THE CENTRAL PLANNING BOARD OF NEWARK, NEW JERSEY.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND THE SEAL OF SAID BOARD THIS 17th DAY OF June, 2012.

CLIFTON E. JOHNSON, CHAIR
CENTRAL PLANNING BOARD

MELVINE WALDRUP, SECRETARY
CENTRAL PLANNING BOARD

[Handwritten signature of Clifton E. Johnson]

[Handwritten signature of Melvina Waldrop]

SECTION E

Fairmount South 10th Street Apartments
101 S. 9th Street Newark, NJ 07103
Tel. 973-250-5468



The Fairmount South 10th Street Apartments project is the adaptive reuse of a vacant building and building on an abutting vacant lot into twenty three units of permanent supportive and affordable housing. Located in the Fairmount Heights Neighborhood of Newark's West Ward, this site is part of the Abandoned Properties Initiative. Sponsored by West Ward Councilman Ronald Rice Jr. and the City of Newark's Department of Economic and Housing Development, the Initiative implements the New Jersey Abandoned Properties Statute to redevelop blighted sites, develop City-owned vacant land, encourage owners to improve their properties, facilitate expansion of Newark for residents of the Fairmount Heights

based businesses, and increase economic opportunity Neighborhood.

Site Components and Current Conditions

10th Street Building Site

The four and half story building facing S. 10th Street has a flat roof, an elevator, front green space, and a partially submerged basement that includes a large activity room with internal and external entrances. The property has been vacant for over ten years and is uninhabitable in its current condition: ceilings have fallen, windows are broken, doors broken and removed, debris from falling plaster and decay is strewn throughout the building. There is some water damage and mold in the building. The building is constructed of brick masonry facade with concrete floor slab and columns. The fourth floor is a later addition constructed of CMU with a cement plaster coating and steel roof structure.

To renovate this building, all interior debris will need to be removed. All remaining lead paint and mold will be removed, abated, and remediated. Any hazardous materials found will be removed within the guidelines of the City of Newark and State of New Jersey. The buildings' primary layout of the corridor will remain, however the rooms will be reconfigured to house five permanent housing units on floors one through four. Each unit will have its own heating and air conditioning units, a tank-less water heater and electric utilities. Windows and appliances will be energy star rated and provide as much energy efficiency as possible to keep consumption of electricity low. The first floor will also house a lobby and secure access doors for security as well as mailboxes for the tenants. A new ramp for people with disabilities will be built to access the main doors of the building. The current paved sections in the front courtyard will be removed to allow for better drainage and a larger green area. No parking will be provided.

The partially submerged basement will house the buildings meters and mechanical equipment, a laundry facility for tenants, an apartment for a live in superintendent, an office for support service and owner's use and a public kitchenette and bathroom for tenants to use while in the Activity Room. The Activity Room will have two outside access points in addition to interior access for persons with disabilities. The current use for the room is for support service workshops and recreation for tenants.

The building will contain 4 studio, 9 1 bedroom, and 8 2 bedroom units on floors 1-4. The studio unit size is approximately 416 square feet, 1 bedroom average size is 660 square feet and the 2 bedroom average

size is 850 square feet. Fifteen of the units will be permanent housing allocated for formerly homeless individuals and families with special needs. Support services will be provided by Apostles' House, Newark, NJ to all residents in the building as needed.

9th Street Building Site

The vacant lot abuts the property facing S. 9th Street and will be developed into a two family home with two stacked car garage parking spaces on the first level and two 3 bedroom units on floors two and three. Units will have an eating/dining kitchen and living area with a master suite with two additional bedrooms and full bath. The second level unit will have the same layout as the second floor. Each unit will have a laundry area and walk in closets in the master suite. The façade of the building was designed to keep the street line consistent with other buildings in the neighborhood. Each unit size is approximately 1500 square feet. Additional parking will be available on the driveway. A green area will also be provided in the front and back of the building.

The building plans were approved by the City of Newark in 2012. These units will house larger families and be reserved for low income persons. Families living in these units will have access to support services as needed through Apostles' House.

Tenancy and Support Services

This project will house formerly homeless individuals and families as well as low income individuals and families. There is no age restriction on tenants, however fifteen units will be reserved for formerly homeless individuals. These tenants will be sourced through Apostles' House transitional programs and housing, the Housing Authority of Essex County, County agencies and local nonprofit groups including the Urban League of Essex County. Preference will be given to individuals and families currently residing in neighborhood or from the neighborhood. Support services will be available for all residents in the building, with private office space available for tenants to meet with case workers, and the basement room available as an activity room. Services will be provided as needed based on in depth interviews and needs assessments and will include life skills training, counseling for tenants rights, referrals to appropriate agencies, budget counseling, food provisions and child care. The goal is to ensure residents are successful in transitioning to and maintaining permanent housing.

Community Impact

Originally built as a psychiatric hospital and subsequently used as state offices and then transitional housing, rehabilitation of this property is vital to the redevelopment and stabilization of the neighborhood. The building has been vacant for more than ten years and deterioration has accelerated over the last two years due to a damaged roof. Currently the property is blighted, provides a haven for transiency and drug use, and is a major handicap to the continued improvement and renewal of the neighborhood which includes recently renovated homes, street lamps, and a new playground.

With the continued focus by the City of Newark to stabilize the Fairmount Heights Neighborhood, the redevelopment and conversion of the building to permanent multifamily housing on present-day standards of construction, completion, and service, will implement the goals of the City's Abandoned Properties Initiative as well as the neighborhood goals for social and economic revitalization. The project will complement other neighborhood improvement efforts: more than twenty-five single family homes recently built or in renovation, the 13th Avenue growing garden, the new Kaboom! Playground, streetscape and lighting improvements, and an Arbor Day planting of two hundred trees. The rehabilitated property will act as a catalyst for additional redevelopment of buildings and houses and will make the neighborhood newly attractive both as a residential and a retail commercial location within the City of Newark.

Development Team

Greater Newark Housing Partnership Inc. (GNHP)

The Greater Newark Housing Partnership is a 501(c)3 not-for-profit organization with offices located in the City of Newark that is dedicated to expand upon the work of its New York affiliate, Housing Partnership Development Corporation, which for 25 years has worked to revitalize urban neighbourhoods through the development of sponsored and workforce housing. GNHP's mission is to assist municipalities in the urban core of Northern New Jersey to facilitate development of affordable and supportive housing, and to create economic opportunity as part of publicly-sponsored community redevelopment programs. GNHP is currently active with several projects located in urban Essex and Hudson Counties, including rehabilitation of multiple homes in the West Ward and the Fairmount Heights Neighbourhood.

Parkmont Housing and Redevelopment LLC (Parkmont)

Parkmont Housing and Redevelopment, with offices in the City of Bloomfield, is dedicated to build and manage affordable multifamily housing and associated retail and community facilities, drawing on the partners' twenty-years of real estate experience in finance, acquisition, upgrade and management. The continuing need of under-served populations for quality housing calls for partnerships that bring together integrated real estate capacity with not-for-profit organizations, development agencies, and private funding sources, to secure suitable sites and finance for construction, completion and long term tenancy. Parkmont deploys private sector best practices in acquisition, finance, development and management to build up affordable multifamily facilities that deliver ample and safe housing and associated services.

FARMOUNT S. 10th STREET APARTMENTS

107 SOUTH 9th STREET
NEWARK, NJ

PROJECT DESCRIPTION

RENOVATION OF 107 SOUTH 9th STREET APARTMENTS, 107 SOUTH 9th STREET, NEWARK, NJ. PROJECT TO BE REHABILITATED TO MEET THE REQUIREMENTS OF THE NEWARK CITY CODE AND TO BE REHABILITATED TO MEET THE REQUIREMENTS OF THE NEWARK CITY CODE. THE PROJECT WILL BE REHABILITATED TO MEET THE REQUIREMENTS OF THE NEWARK CITY CODE AND TO BE REHABILITATED TO MEET THE REQUIREMENTS OF THE NEWARK CITY CODE. THE PROJECT WILL BE REHABILITATED TO MEET THE REQUIREMENTS OF THE NEWARK CITY CODE AND TO BE REHABILITATED TO MEET THE REQUIREMENTS OF THE NEWARK CITY CODE.

OWNER:
CIVIL ENGINEERS
2000 SOUTH 10th STREET
NEWARK, NJ 07102

APPLICANT:
ADAPTION S. 10th STREET
107 SOUTH 9th STREET
NEWARK, NJ 07102

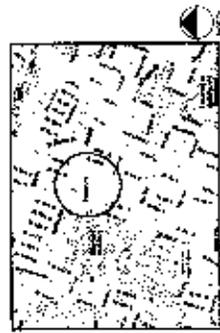
DATE:
APPROXIMATE DATE OF PREPARATION

ARCHITECT:
CIVIL ENGINEERS
2000 SOUTH 10th STREET
NEWARK, NJ 07102

MECHANICAL ENGINEER:
CIVIL ENGINEERS
2000 SOUTH 10th STREET
NEWARK, NJ 07102

SURVEYOR:
CIVIL ENGINEERS
2000 SOUTH 10th STREET
NEWARK, NJ 07102

CIVIL ENGINEER:
CIVIL ENGINEERS
2000 SOUTH 10th STREET
NEWARK, NJ 07102



LOCAL ON MAP

PROJECT SITE DATA TABLE

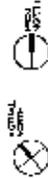
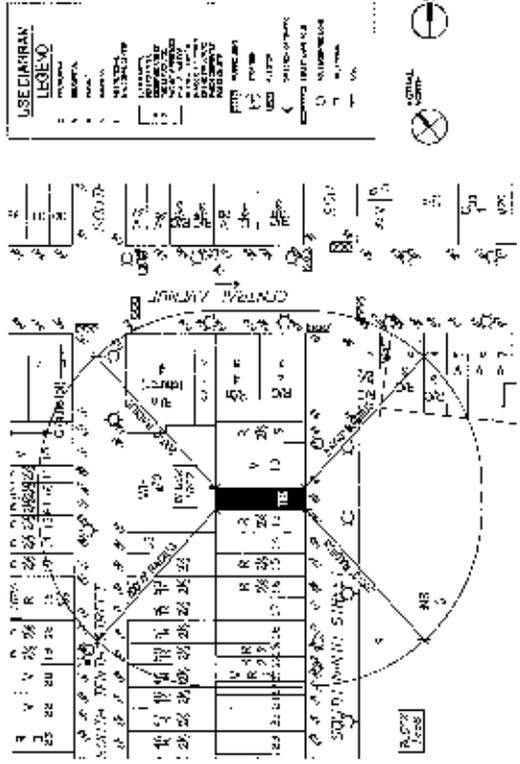
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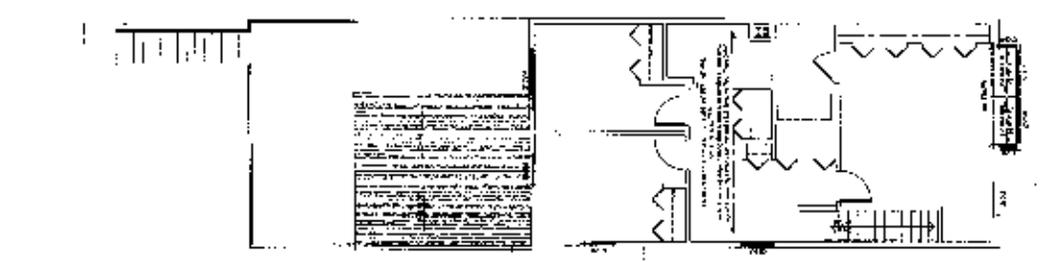
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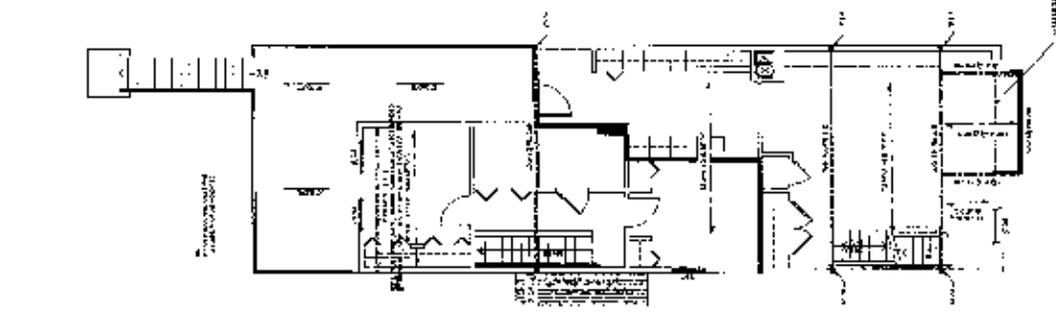
DRAWING LIST

NO.	DESCRIPTION
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4	FLOOR SLAB
5	CEILING
6	WALL
7	DOOR
8	WINDOW
9	MECHANICAL
10	ELECTRICAL
11	PLUMBING
12	MECHANICAL
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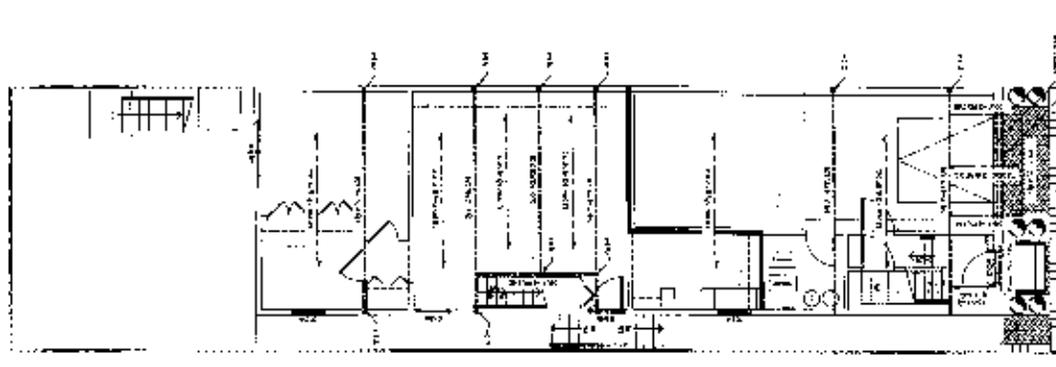




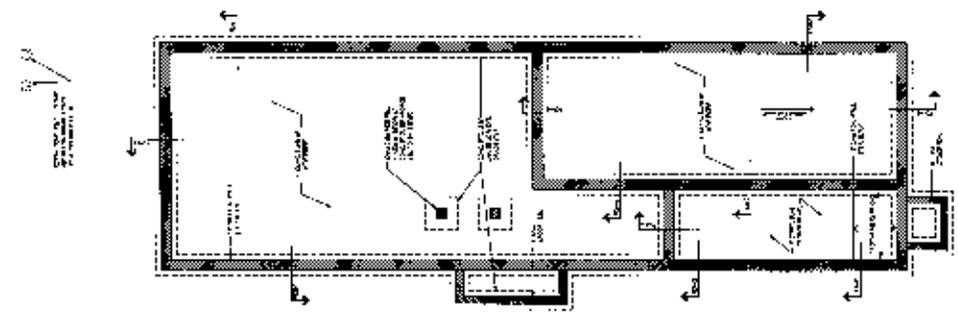
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2 SECOND FLOOR PLAN UNIT 1 & 2
 100'-0" x 100'-0"



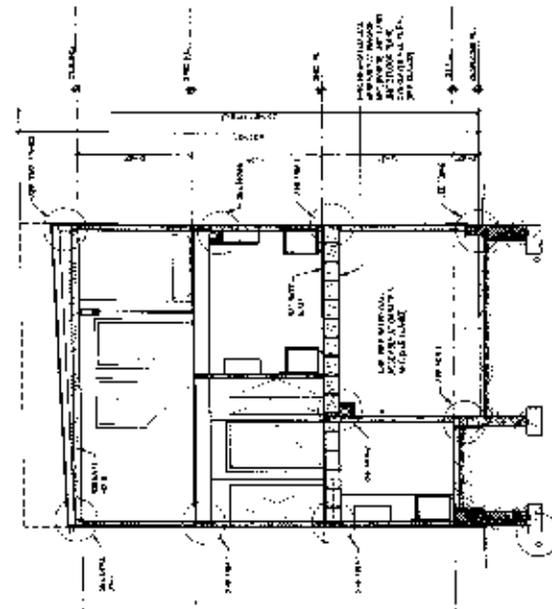
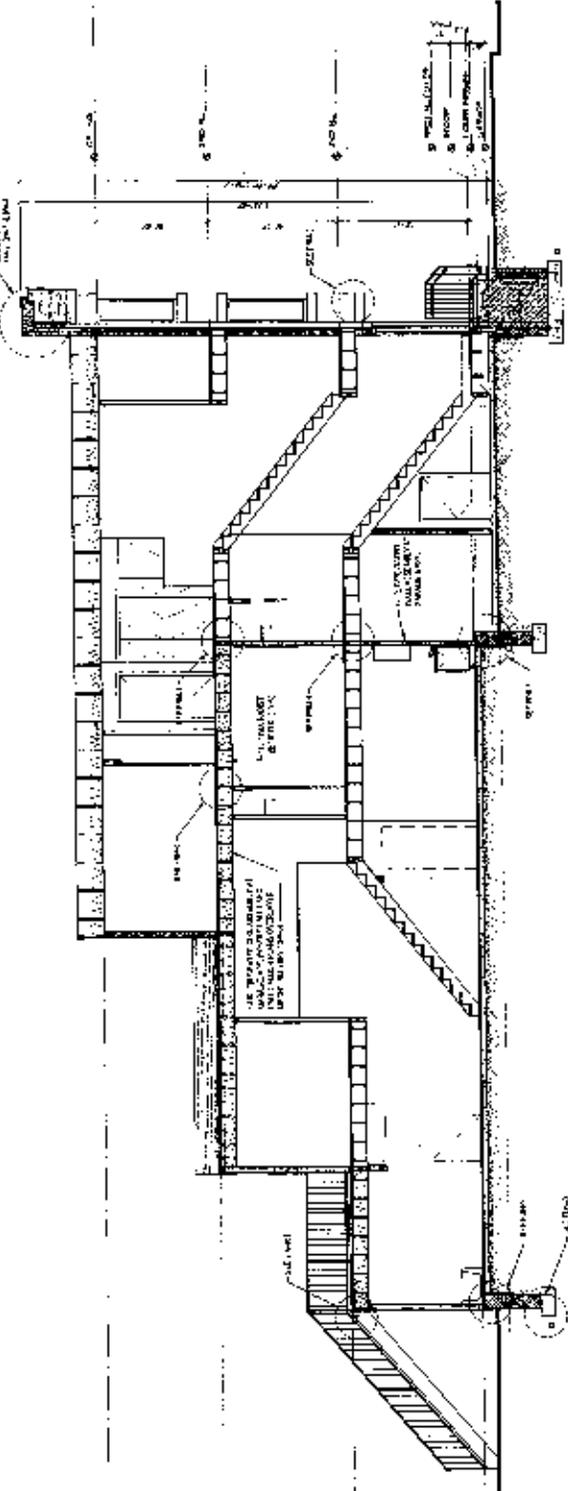
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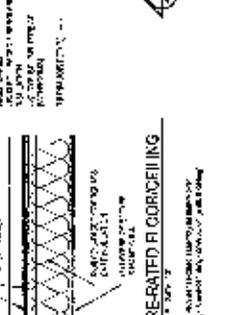
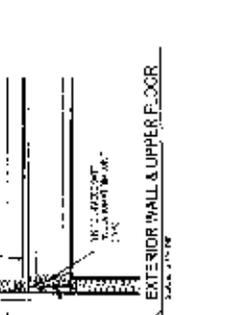
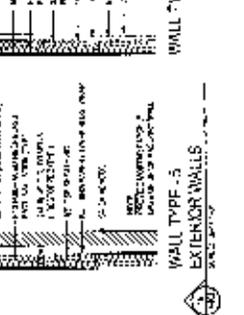
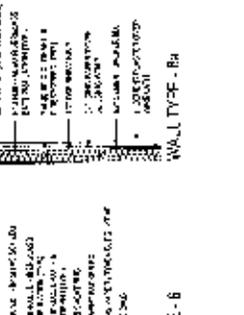
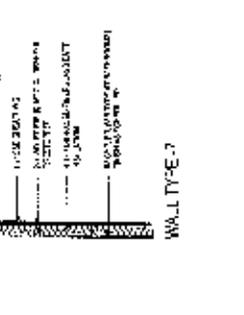
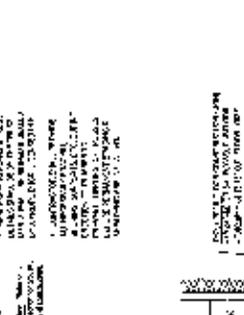
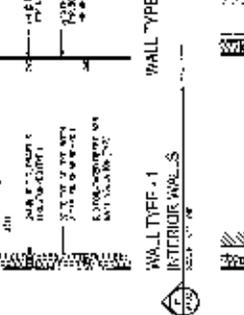
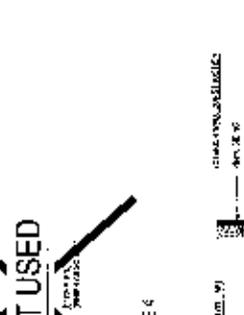
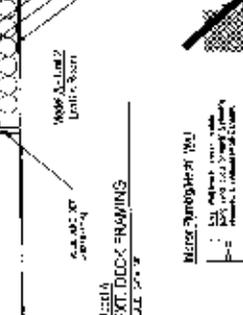
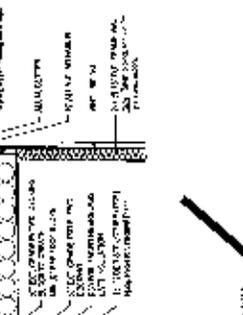
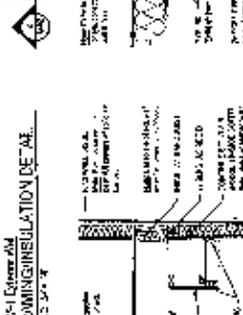
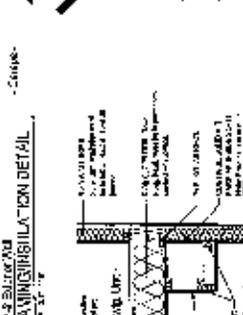
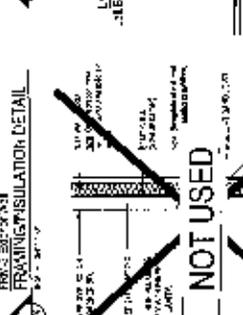
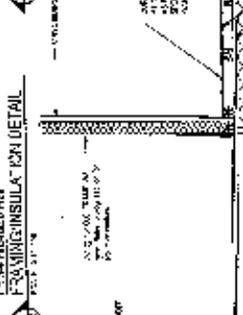
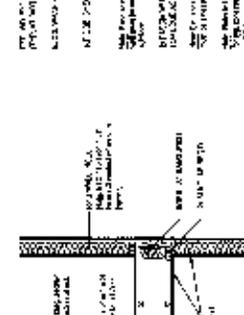
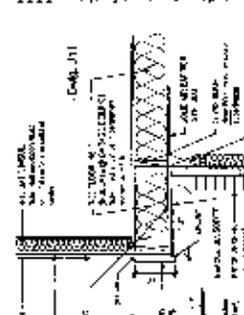
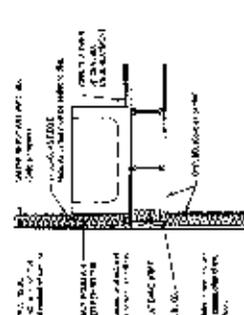
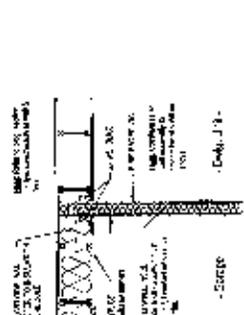
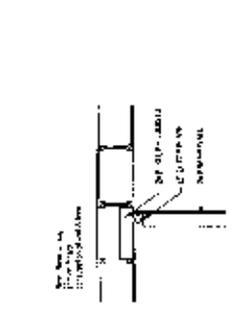


0 FOUNDATION PLAN
 100'-0" x 100'-0"

NOTES:

1. ALL DIMENSIONS SHOWN ON THIS DRAWING ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL WALLS TO BE CONCRETE UNLESS OTHERWISE NOTED.
3. ALL FLOORS TO BE CONCRETE UNLESS OTHERWISE NOTED.
4. ALL ROOFS TO BE CONCRETE UNLESS OTHERWISE NOTED.
5. ALL CEILING TO BE CONCRETE UNLESS OTHERWISE NOTED.
6. ALL DOORS TO BE 2'-0" X 6'-8" UNLESS OTHERWISE NOTED.
7. ALL WINDOWS TO BE 2'-0" X 4'-0" UNLESS OTHERWISE NOTED.
8. ALL STAIRS TO BE CONCRETE UNLESS OTHERWISE NOTED.
9. ALL ELEVATIONS TO BE FINISH UNLESS OTHERWISE NOTED.
10. ALL FINISHES TO BE AS SHOWN ON THE FINISH SCHEDULE.
11. ALL MATERIALS TO BE AS SHOWN ON THE MATERIAL SCHEDULE.
12. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IBC.
13. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IRC.
14. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IEBC.
15. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFC.
16. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFBC.
17. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFEC.
18. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFIC.
19. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFBC.
20. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFEC.
21. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFIC.
22. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFBC.
23. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFEC.
24. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFIC.
25. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFBC.
26. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFEC.
27. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFIC.
28. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFBC.
29. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFEC.
30. ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IFIC.





1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) SUPPLEMENT.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) SUPPLEMENT.

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) SUPPLEMENT.

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) SUPPLEMENT.

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) SUPPLEMENT.

6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) SUPPLEMENT.

7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) SUPPLEMENT.

8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) SUPPLEMENT.

9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) SUPPLEMENT.

10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) SUPPLEMENT.

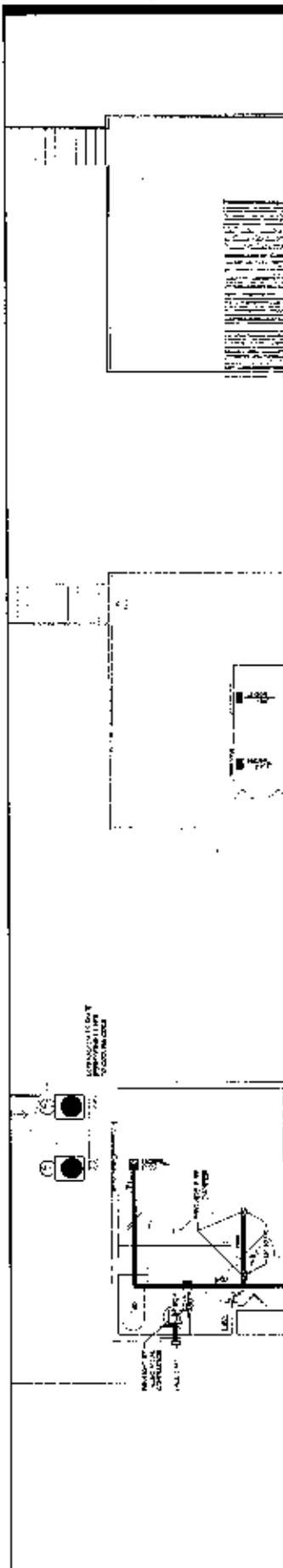
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12. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) SUPPLEMENT.

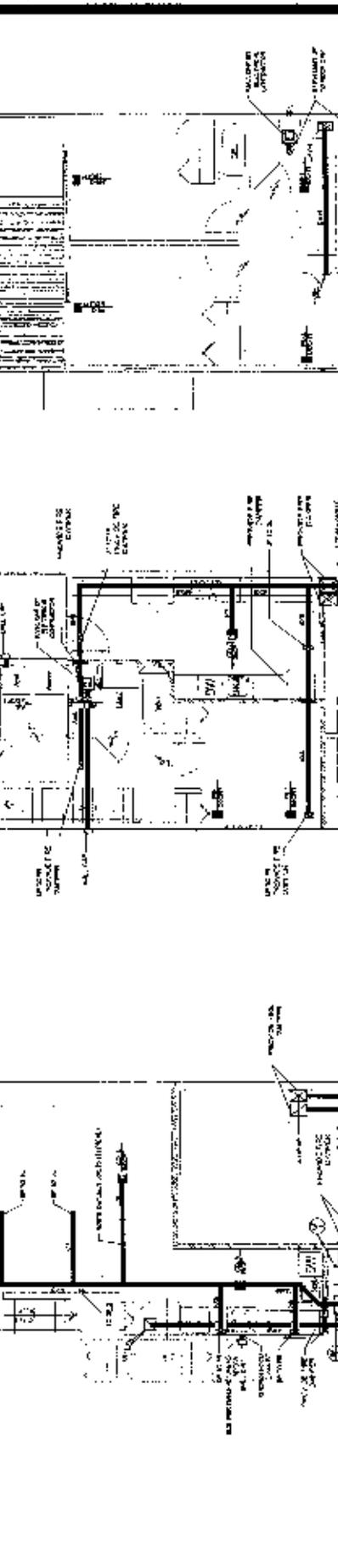
13. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) SUPPLEMENT.

14. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) SUPPLEMENT.

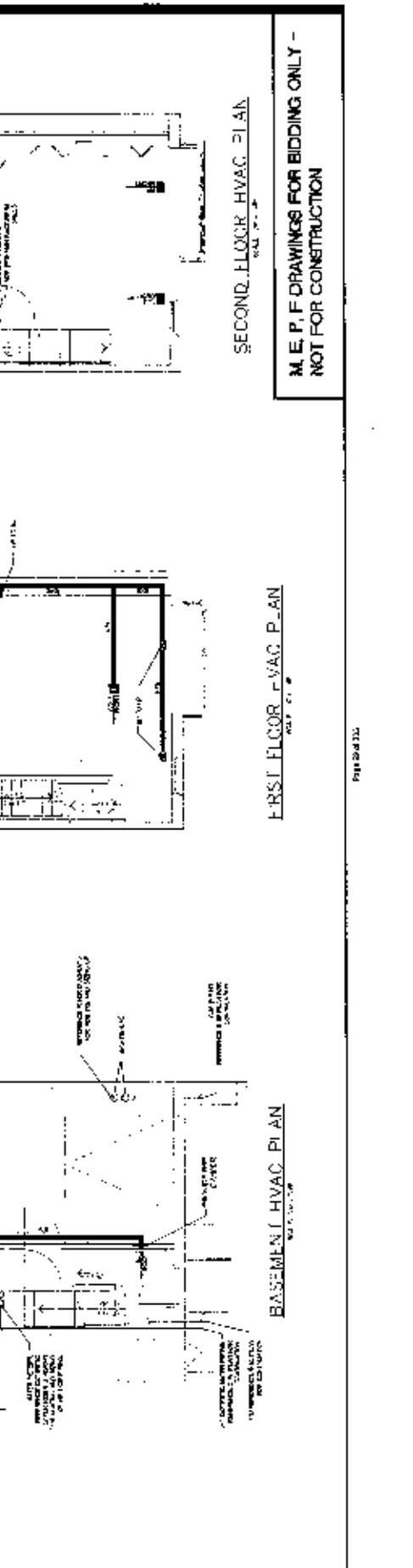
15. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) SUPPLEMENT.



BASEMENT HVAC PLAN
 10/11/2018

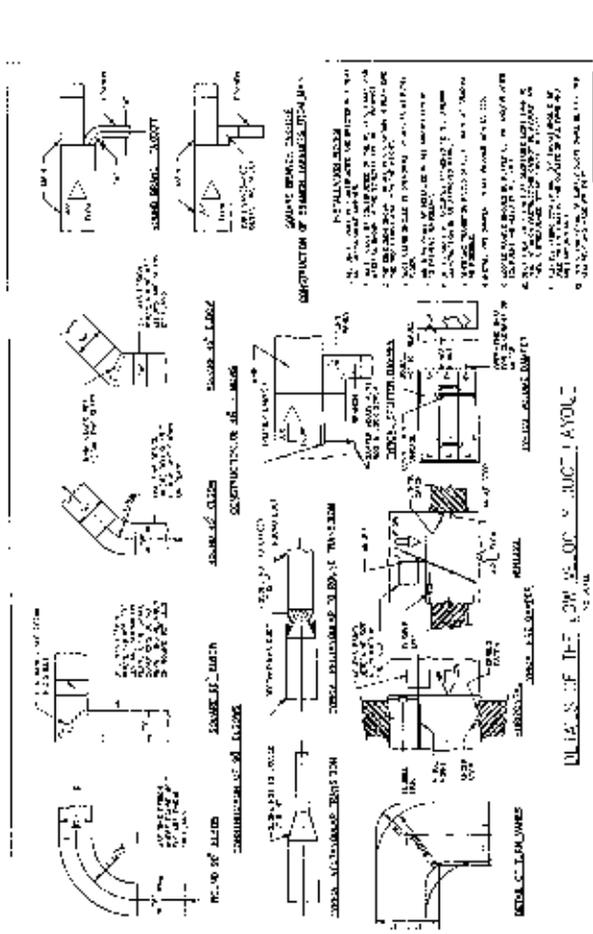


FIRST FLOOR HVAC PLAN
 10/11/2018

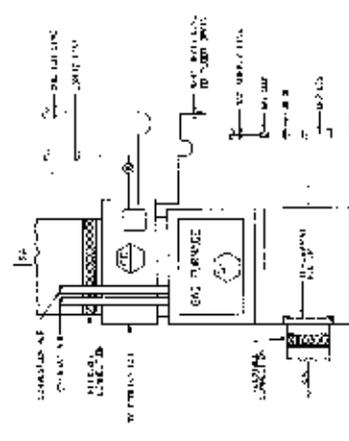


SECOND FLOOR HVAC PLAN
 10/11/2018

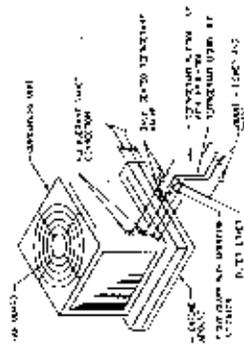
DUCT CONSTRUCTION MINIMUM SHEET METAL THICKNESS		RECYCLED GAS PIPES	
MINIMUM SHEET METAL THICKNESS	MINIMUM RECYCLED GAS PIPE THICKNESS	MINIMUM SHEET METAL THICKNESS	MINIMUM RECYCLED GAS PIPE THICKNESS
1/8" (0.125")	1/8" (0.125")	1/8" (0.125")	1/8" (0.125")
1/4" (0.250")	1/4" (0.250")	1/4" (0.250")	1/4" (0.250")
3/8" (0.375")	3/8" (0.375")	3/8" (0.375")	3/8" (0.375")
1/2" (0.500")	1/2" (0.500")	1/2" (0.500")	1/2" (0.500")
5/8" (0.625")	5/8" (0.625")	5/8" (0.625")	5/8" (0.625")
3/4" (0.750")	3/4" (0.750")	3/4" (0.750")	3/4" (0.750")
7/8" (0.875")	7/8" (0.875")	7/8" (0.875")	7/8" (0.875")
1" (1.000")	1" (1.000")	1" (1.000")	1" (1.000")
1 1/8" (1.125")	1 1/8" (1.125")	1 1/8" (1.125")	1 1/8" (1.125")
1 1/4" (1.250")	1 1/4" (1.250")	1 1/4" (1.250")	1 1/4" (1.250")
1 3/8" (1.375")	1 3/8" (1.375")	1 3/8" (1.375")	1 3/8" (1.375")
1 1/2" (1.500")	1 1/2" (1.500")	1 1/2" (1.500")	1 1/2" (1.500")
1 5/8" (1.625")	1 5/8" (1.625")	1 5/8" (1.625")	1 5/8" (1.625")
1 3/4" (1.750")	1 3/4" (1.750")	1 3/4" (1.750")	1 3/4" (1.750")
1 7/8" (1.875")	1 7/8" (1.875")	1 7/8" (1.875")	1 7/8" (1.875")
2" (2.000")	2" (2.000")	2" (2.000")	2" (2.000")
2 1/8" (2.125")	2 1/8" (2.125")	2 1/8" (2.125")	2 1/8" (2.125")
2 1/4" (2.250")	2 1/4" (2.250")	2 1/4" (2.250")	2 1/4" (2.250")
2 3/8" (2.375")	2 3/8" (2.375")	2 3/8" (2.375")	2 3/8" (2.375")
2 1/2" (2.500")	2 1/2" (2.500")	2 1/2" (2.500")	2 1/2" (2.500")
2 5/8" (2.625")	2 5/8" (2.625")	2 5/8" (2.625")	2 5/8" (2.625")
2 3/4" (2.750")	2 3/4" (2.750")	2 3/4" (2.750")	2 3/4" (2.750")
2 7/8" (2.875")	2 7/8" (2.875")	2 7/8" (2.875")	2 7/8" (2.875")
3" (3.000")	3" (3.000")	3" (3.000")	3" (3.000")
3 1/8" (3.125")	3 1/8" (3.125")	3 1/8" (3.125")	3 1/8" (3.125")
3 1/4" (3.250")	3 1/4" (3.250")	3 1/4" (3.250")	3 1/4" (3.250")
3 3/8" (3.375")	3 3/8" (3.375")	3 3/8" (3.375")	3 3/8" (3.375")
3 1/2" (3.500")	3 1/2" (3.500")	3 1/2" (3.500")	3 1/2" (3.500")
3 5/8" (3.625")	3 5/8" (3.625")	3 5/8" (3.625")	3 5/8" (3.625")
3 3/4" (3.750")	3 3/4" (3.750")	3 3/4" (3.750")	3 3/4" (3.750")
3 7/8" (3.875")	3 7/8" (3.875")	3 7/8" (3.875")	3 7/8" (3.875")
4" (4.000")	4" (4.000")	4" (4.000")	4" (4.000")
4 1/8" (4.125")	4 1/8" (4.125")	4 1/8" (4.125")	4 1/8" (4.125")
4 1/4" (4.250")	4 1/4" (4.250")	4 1/4" (4.250")	4 1/4" (4.250")
4 3/8" (4.375")	4 3/8" (4.375")	4 3/8" (4.375")	4 3/8" (4.375")
4 1/2" (4.500")	4 1/2" (4.500")	4 1/2" (4.500")	4 1/2" (4.500")
4 5/8" (4.625")	4 5/8" (4.625")	4 5/8" (4.625")	4 5/8" (4.625")
4 3/4" (4.750")	4 3/4" (4.750")	4 3/4" (4.750")	4 3/4" (4.750")
4 7/8" (4.875")	4 7/8" (4.875")	4 7/8" (4.875")	4 7/8" (4.875")
5" (5.000")	5" (5.000")	5" (5.000")	5" (5.000")



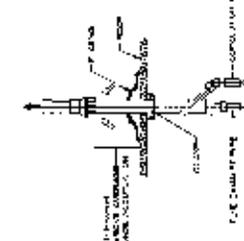
DETAILS OF THE LOW VOLUME DUCT SYSTEM



UPFLOW GAS FURNACE WITH DUCTWORK



CONDENSING UNIT MOUNTED AT GRADE



CONCENTRIC FLAT ROOF TERMINATION

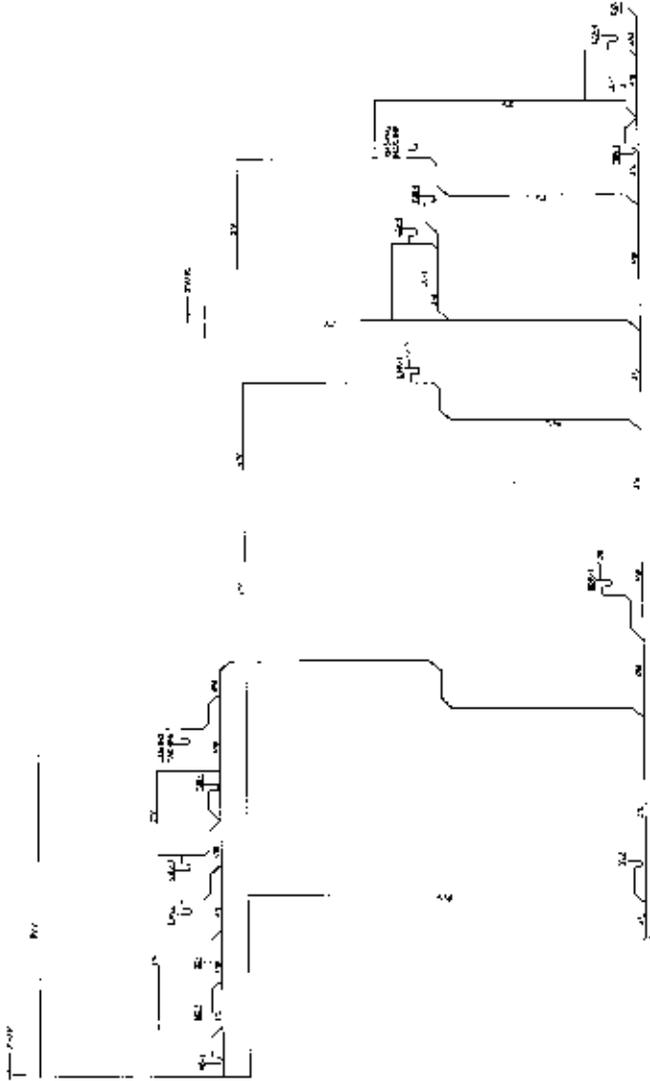
M, E, P, F DRAWINGS FOR BIDDING ONLY - NOT FOR CONSTRUCTION

P. J. MEING FIXTURE SCHEDULE

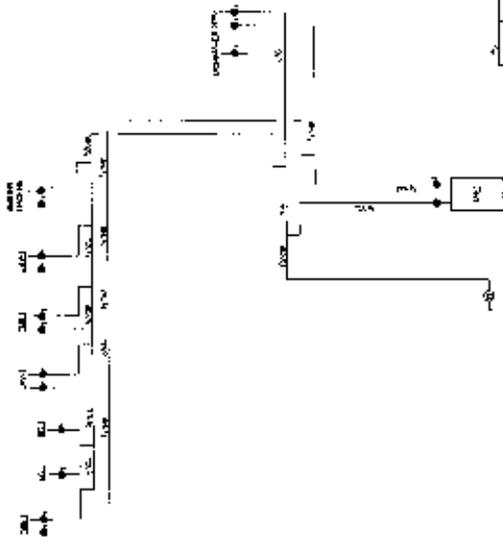
NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	W.C. TOILET	1	EA	
2	W.C. URINAL	1	EA	
3	W.C. SINK	1	EA	
4	W.C. SINK	1	EA	
5	W.C. SINK	1	EA	
6	W.C. SINK	1	EA	
7	W.C. SINK	1	EA	
8	W.C. SINK	1	EA	
9	W.C. SINK	1	EA	
10	W.C. SINK	1	EA	
11	W.C. SINK	1	EA	
12	W.C. SINK	1	EA	
13	W.C. SINK	1	EA	
14	W.C. SINK	1	EA	
15	W.C. SINK	1	EA	
16	W.C. SINK	1	EA	
17	W.C. SINK	1	EA	
18	W.C. SINK	1	EA	
19	W.C. SINK	1	EA	
20	W.C. SINK	1	EA	
21	W.C. SINK	1	EA	
22	W.C. SINK	1	EA	
23	W.C. SINK	1	EA	
24	W.C. SINK	1	EA	
25	W.C. SINK	1	EA	
26	W.C. SINK	1	EA	
27	W.C. SINK	1	EA	
28	W.C. SINK	1	EA	
29	W.C. SINK	1	EA	
30	W.C. SINK	1	EA	
31	W.C. SINK	1	EA	
32	W.C. SINK	1	EA	
33	W.C. SINK	1	EA	
34	W.C. SINK	1	EA	
35	W.C. SINK	1	EA	
36	W.C. SINK	1	EA	
37	W.C. SINK	1	EA	
38	W.C. SINK	1	EA	
39	W.C. SINK	1	EA	
40	W.C. SINK	1	EA	
41	W.C. SINK	1	EA	
42	W.C. SINK	1	EA	
43	W.C. SINK	1	EA	
44	W.C. SINK	1	EA	
45	W.C. SINK	1	EA	
46	W.C. SINK	1	EA	
47	W.C. SINK	1	EA	
48	W.C. SINK	1	EA	
49	W.C. SINK	1	EA	
50	W.C. SINK	1	EA	

GAS FIRED WATER HEATER SCHEDULE

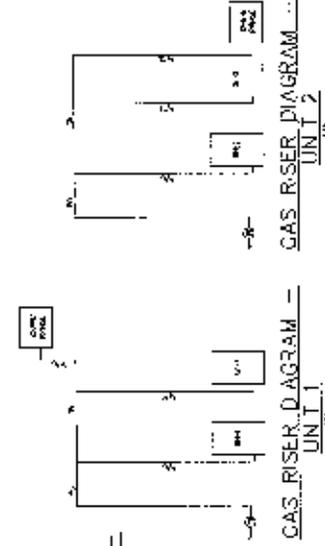
NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	WATER HEATER	1	EA	
2	WATER HEATER	1	EA	
3	WATER HEATER	1	EA	
4	WATER HEATER	1	EA	
5	WATER HEATER	1	EA	
6	WATER HEATER	1	EA	
7	WATER HEATER	1	EA	
8	WATER HEATER	1	EA	
9	WATER HEATER	1	EA	
10	WATER HEATER	1	EA	
11	WATER HEATER	1	EA	
12	WATER HEATER	1	EA	
13	WATER HEATER	1	EA	
14	WATER HEATER	1	EA	
15	WATER HEATER	1	EA	
16	WATER HEATER	1	EA	
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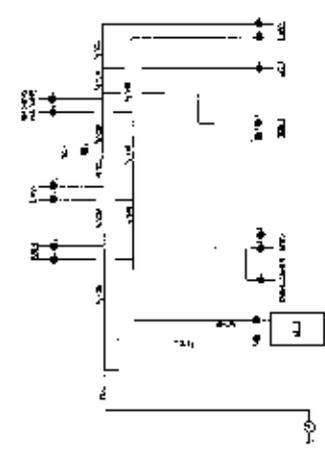
SANITARY WAST RISER DIAGRAM



DOMESTIC WATER RISER DIAGRAM - UNIT 1



GAS RISER DIAGRAM - UNIT 1



DOMESTIC WATER RISER DIAGRAM - UNIT 2

M. E. P. F DRAWINGS FOR BIDDING ONLY - NOT FOR CONSTRUCTION

121 & 129th STREET
APARTMENTS
MONTREAL, QUEBEC, CANADA
R. SER D. 668475
10-11

SHO P

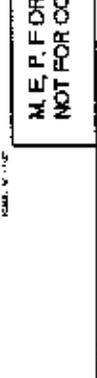
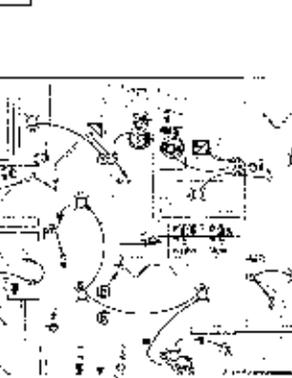
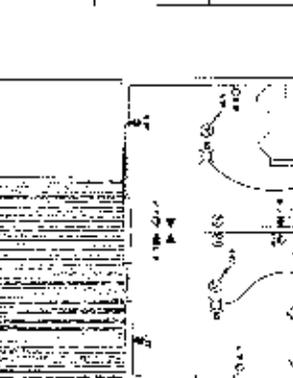
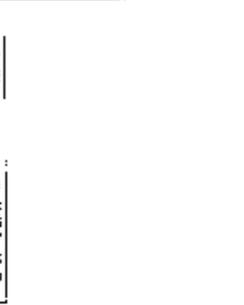
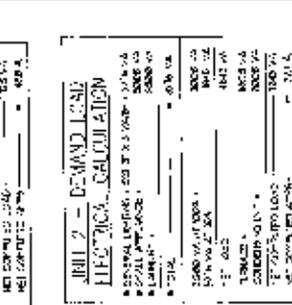
NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM CODE (NFPA).
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND THE CHICAGO ELECTRICAL CODE (CEC).
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE (IEC).
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS FIRE ALARM CODE (IFAC).
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS COMMUNICATIONS CODE (ICC).
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS TELEVISION AND VIDEO CODE (ITVC).
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS AUDIO VISUAL CODE (IAVC).
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS SECURITY SYSTEMS CODE (ISSC).
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS COMMUNITY ANTENNA TV SYSTEMS CODE (CATV).
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS COMMUNITY ANTENNA TV SYSTEMS CODE (CATV).

UNIT 1 - DEMAND LOAD ELECTRICAL CALCULATION

RECORDING EQUIPMENT	1000 VA
TELEVISION	1000 VA
VIDEO EQUIPMENT	1000 VA
COMMUNICATIONS EQUIPMENT	1000 VA
OTHER EQUIPMENT	1000 VA
TOTAL	5000 VA
DEMAND LOAD	1000 VA

UNIT 2 - DEMAND LOAD ELECTRICAL CALCULATION

RECORDING EQUIPMENT	1000 VA
TELEVISION	1000 VA
VIDEO EQUIPMENT	1000 VA
COMMUNICATIONS EQUIPMENT	1000 VA
OTHER EQUIPMENT	1000 VA
TOTAL	5000 VA
DEMAND LOAD	1000 VA



FAIRYOUNT S. 10th STREET APARTMENTS

571 SOUTH 9th STREET
NEWARK, NJ

OWNER:
CITY OF NEWARK
500 MARKET ST
NEWARK, NJ 07102

APPLICANT:
PARKWAY APARTMENT ASSOCIATES, LLC
1000 PARKWAY DRIVE
NEWARK, NJ 07102

WITH
CONSENT OF THE BOARD OF
CITY ENGINEERS

ARCHITECT:
THE ARCHITECT
1000 PARKWAY DRIVE
NEWARK, NJ 07102

MECHANICAL ENGINEER:
MERRILL B. BELL
1000 PARKWAY DRIVE
NEWARK, NJ 07102

STRUCTURAL ENGINEER:
THE CONSULTING
1000 PARKWAY DRIVE
NEWARK, NJ 07102

SURVEYOR:
FRANK J. DE LUCA
1000 PARKWAY DRIVE
NEWARK, NJ 07102

CIVIL ENGINEER:
FRANK J. DE LUCA
1000 PARKWAY DRIVE
NEWARK, NJ 07102

PROJECT DESCRIPTION:

TO REPAIR, MAINTAIN, AND IMPROVE THE EXISTING APARTMENT BUILDING TO MEET THE CITY OF NEWARK'S REQUIREMENTS FOR THE PROVISION OF SAFE AND SOUND HOUSING FOR THE CITY OF NEWARK.

THE BUILDING WILL CONTAIN 100 APARTMENT UNITS ON FLOORS 1-4. THE BUILDING WILL BE REPAIRED AND IMPROVED TO MEET THE CITY OF NEWARK'S REQUIREMENTS FOR THE PROVISION OF SAFE AND SOUND HOUSING FOR THE CITY OF NEWARK. THE BUILDING WILL BE REPAIRED AND IMPROVED TO MEET THE CITY OF NEWARK'S REQUIREMENTS FOR THE PROVISION OF SAFE AND SOUND HOUSING FOR THE CITY OF NEWARK.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEWARK AND THE STATE OF NEW JERSEY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEWARK AND THE STATE OF NEW JERSEY.

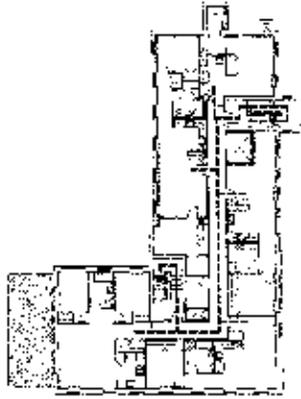
GENERAL NOTES:

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEWARK AND THE STATE OF NEW JERSEY.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEWARK AND THE STATE OF NEW JERSEY.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEWARK AND THE STATE OF NEW JERSEY.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEWARK AND THE STATE OF NEW JERSEY.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEWARK AND THE STATE OF NEW JERSEY.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEWARK AND THE STATE OF NEW JERSEY.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEWARK AND THE STATE OF NEW JERSEY.
8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEWARK AND THE STATE OF NEW JERSEY.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEWARK AND THE STATE OF NEW JERSEY.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEWARK AND THE STATE OF NEW JERSEY.

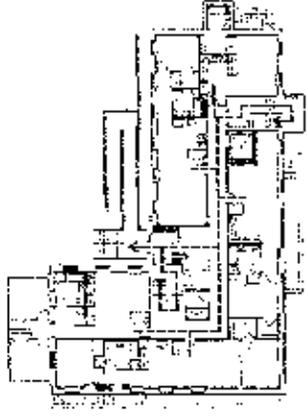
DETAILS LIST:

NO.	DESCRIPTION	DATE
1	GENERAL NOTES	10/1/00
2	FOUNDATION PLAN	10/1/00
3	FLOOR PLAN	10/1/00
4	SECTIONAL ELEVATION	10/1/00
5	MECHANICAL PLAN	10/1/00
6	STRUCTURAL PLAN	10/1/00
7	EXTERIOR FINISH PLAN	10/1/00
8	INTERIOR FINISH PLAN	10/1/00
9	MECHANICAL PLAN	10/1/00
10	STRUCTURAL PLAN	10/1/00
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24	INTERIOR FINISH PLAN	10/1/00
25	MECHANICAL PLAN	10/1/00
26	STRUCTURAL PLAN	10/1/00
27	EXTERIOR FINISH PLAN	10/1/00
28	INTERIOR FINISH PLAN	10/1/00
29	MECHANICAL PLAN	10/1/00
30	STRUCTURAL PLAN	10/1/00
31	EXTERIOR FINISH PLAN	10/1/00
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76	INTERIOR FINISH PLAN	10/1/00
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88	INTERIOR FINISH PLAN	10/1/00
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90	STRUCTURAL PLAN	10/1/00
91	EXTERIOR FINISH PLAN	10/1/00
92	INTERIOR FINISH PLAN	10/1/00
93	MECHANICAL PLAN	10/1/00
94	STRUCTURAL PLAN	10/1/00
95	EXTERIOR FINISH PLAN	10/1/00
96	INTERIOR FINISH PLAN	10/1/00
97	MECHANICAL PLAN	10/1/00
98	STRUCTURAL PLAN	10/1/00
99	EXTERIOR FINISH PLAN	10/1/00
100	INTERIOR FINISH PLAN	10/1/00

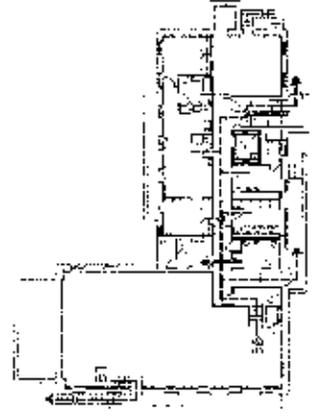
THE APPLICANT'S NAME, DATE, AND SIGNATURE



2 SECOND - COURTYARD FLOOR PLAN
 101' x 111' 0"

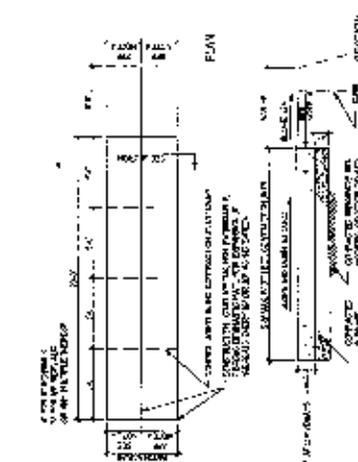


1 FIRST FLOOR PLAN
 101' x 111' 0"

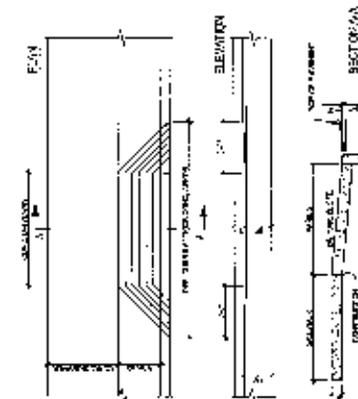


3 BASEMENT FLOOR PLAN
 101' x 111' 0"

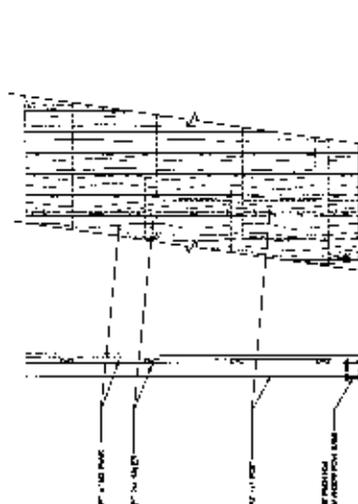
CODE REVIEW:
 10/15/18



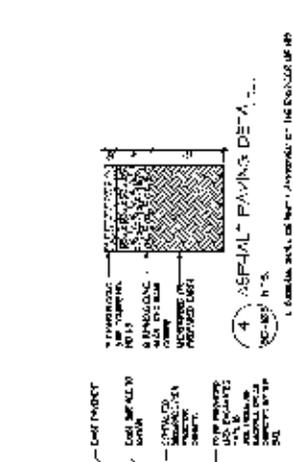
1 CONCRETE SIDEWALK / RAMP DETAIL
 GENERAL NOTES:
 1. ALL CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE WITH 4% CHLORIDE FREE AIR ENTRAINMENT.
 2. ALL CONCRETE SHALL BE CAST AND FINISHED TO THE FINISH SPECIFIED.
 3. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.
 4. ALL CONCRETE SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION AND MAINTENANCE.
 5. ALL CONCRETE SHALL BE REPAIRED TO MATCH THE ORIGINAL FINISH.



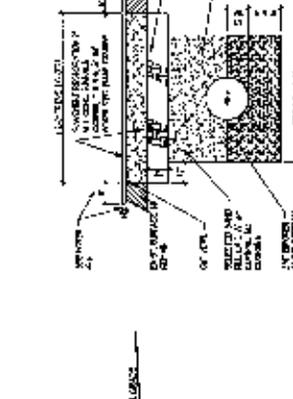
2 DEPRESSED CURB / RAMP DETAIL
 GENERAL NOTES:
 1. ALL CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE WITH 4% CHLORIDE FREE AIR ENTRAINMENT.
 2. ALL CONCRETE SHALL BE CAST AND FINISHED TO THE FINISH SPECIFIED.
 3. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.
 4. ALL CONCRETE SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION AND MAINTENANCE.
 5. ALL CONCRETE SHALL BE REPAIRED TO MATCH THE ORIGINAL FINISH.



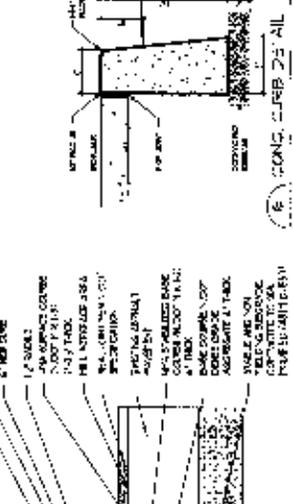
3 GARAGE ENCLOSURE DETAIL
 GENERAL NOTES:
 1. ALL CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE WITH 4% CHLORIDE FREE AIR ENTRAINMENT.
 2. ALL CONCRETE SHALL BE CAST AND FINISHED TO THE FINISH SPECIFIED.
 3. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.
 4. ALL CONCRETE SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION AND MAINTENANCE.
 5. ALL CONCRETE SHALL BE REPAIRED TO MATCH THE ORIGINAL FINISH.



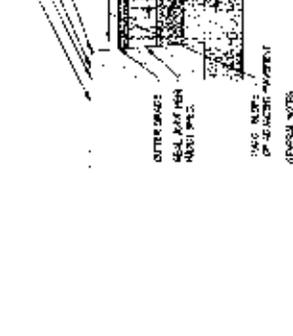
4 ASPHALT PAVING DETAIL
 GENERAL NOTES:
 1. ALL ASPHALT SHALL BE 5.5% OIL SET ASPHALT.
 2. ALL ASPHALT SHALL BE LAYED TO THE FINISH SPECIFIED.
 3. ALL ASPHALT SHALL BE COMPACTED TO THE FINISH SPECIFIED.
 4. ALL ASPHALT SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION AND MAINTENANCE.
 5. ALL ASPHALT SHALL BE REPAIRED TO MATCH THE ORIGINAL FINISH.



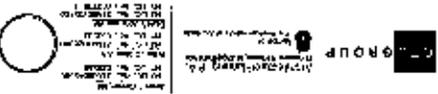
5 FIRE INSTALLATION / PAVEMENT RESTORATION DETAIL
 GENERAL NOTES:
 1. ALL CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE WITH 4% CHLORIDE FREE AIR ENTRAINMENT.
 2. ALL CONCRETE SHALL BE CAST AND FINISHED TO THE FINISH SPECIFIED.
 3. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.
 4. ALL CONCRETE SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION AND MAINTENANCE.
 5. ALL CONCRETE SHALL BE REPAIRED TO MATCH THE ORIGINAL FINISH.



6 CONCRETE CURB DETAIL
 GENERAL NOTES:
 1. ALL CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE WITH 4% CHLORIDE FREE AIR ENTRAINMENT.
 2. ALL CONCRETE SHALL BE CAST AND FINISHED TO THE FINISH SPECIFIED.
 3. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.
 4. ALL CONCRETE SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION AND MAINTENANCE.
 5. ALL CONCRETE SHALL BE REPAIRED TO MATCH THE ORIGINAL FINISH.



7 CURB DETAIL
 GENERAL NOTES:
 1. ALL CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE WITH 4% CHLORIDE FREE AIR ENTRAINMENT.
 2. ALL CONCRETE SHALL BE CAST AND FINISHED TO THE FINISH SPECIFIED.
 3. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.
 4. ALL CONCRETE SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION AND MAINTENANCE.
 5. ALL CONCRETE SHALL BE REPAIRED TO MATCH THE ORIGINAL FINISH.

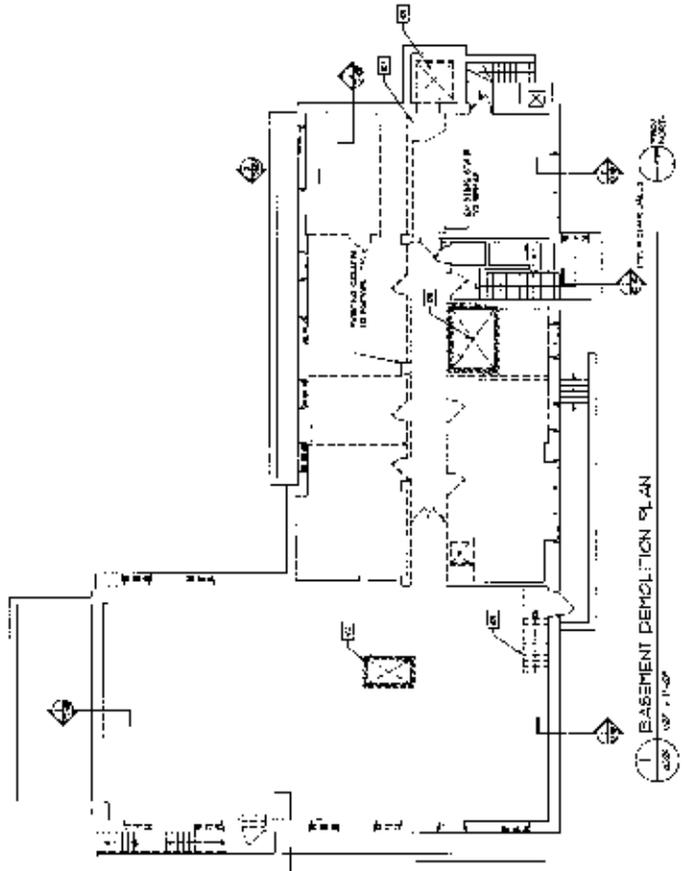
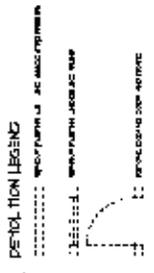


GENERAL DEMOLITION NOTES:

1. REMOVE ALL EXISTING CONCRETE FLOOR SLABS, WALLS, PARTITIONS, CEILING, AND ALL OTHER STRUCTURAL ELEMENTS.
2. REMOVE ALL EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
3. REMOVE ALL EXISTING INTERIOR FINISHES.
4. REMOVE ALL EXISTING EXTERIOR FINISHES.
5. REMOVE ALL EXISTING EXTERIOR WALLS AND FOUNDATIONS.
6. REMOVE ALL EXISTING EXTERIOR DOORS AND WINDOWS.
7. REMOVE ALL EXISTING EXTERIOR STAIRS AND RAMPWAYS.
8. REMOVE ALL EXISTING EXTERIOR LIGHT FIXTURES.
9. REMOVE ALL EXISTING EXTERIOR SIGNAGE.
10. REMOVE ALL EXISTING EXTERIOR UTILITIES.
11. REMOVE ALL EXISTING EXTERIOR LANDSCAPING.
12. REMOVE ALL EXISTING EXTERIOR PAVING.
13. REMOVE ALL EXISTING EXTERIOR CURBS AND GUTTERS.
14. REMOVE ALL EXISTING EXTERIOR DRIVEWAYS.
15. REMOVE ALL EXISTING EXTERIOR DRIVEWAYS.
16. REMOVE ALL EXISTING EXTERIOR DRIVEWAYS.
17. REMOVE ALL EXISTING EXTERIOR DRIVEWAYS.
18. REMOVE ALL EXISTING EXTERIOR DRIVEWAYS.
19. REMOVE ALL EXISTING EXTERIOR DRIVEWAYS.
20. REMOVE ALL EXISTING EXTERIOR DRIVEWAYS.

NOTED DEMOLITION NOTES:

1. REMOVE ALL EXISTING CONCRETE FLOOR SLABS, WALLS, PARTITIONS, CEILING, AND ALL OTHER STRUCTURAL ELEMENTS.
2. REMOVE ALL EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
3. REMOVE ALL EXISTING INTERIOR FINISHES.
4. REMOVE ALL EXISTING EXTERIOR FINISHES.
5. REMOVE ALL EXISTING EXTERIOR WALLS AND FOUNDATIONS.
6. REMOVE ALL EXISTING EXTERIOR DOORS AND WINDOWS.
7. REMOVE ALL EXISTING EXTERIOR STAIRS AND RAMPWAYS.
8. REMOVE ALL EXISTING EXTERIOR LIGHT FIXTURES.
9. REMOVE ALL EXISTING EXTERIOR SIGNAGE.
10. REMOVE ALL EXISTING EXTERIOR UTILITIES.
11. REMOVE ALL EXISTING EXTERIOR LANDSCAPING.
12. REMOVE ALL EXISTING EXTERIOR PAVING.
13. REMOVE ALL EXISTING EXTERIOR CURBS AND GUTTERS.
14. REMOVE ALL EXISTING EXTERIOR DRIVEWAYS.
15. REMOVE ALL EXISTING EXTERIOR DRIVEWAYS.
16. REMOVE ALL EXISTING EXTERIOR DRIVEWAYS.
17. REMOVE ALL EXISTING EXTERIOR DRIVEWAYS.
18. REMOVE ALL EXISTING EXTERIOR DRIVEWAYS.
19. REMOVE ALL EXISTING EXTERIOR DRIVEWAYS.
20. REMOVE ALL EXISTING EXTERIOR DRIVEWAYS.



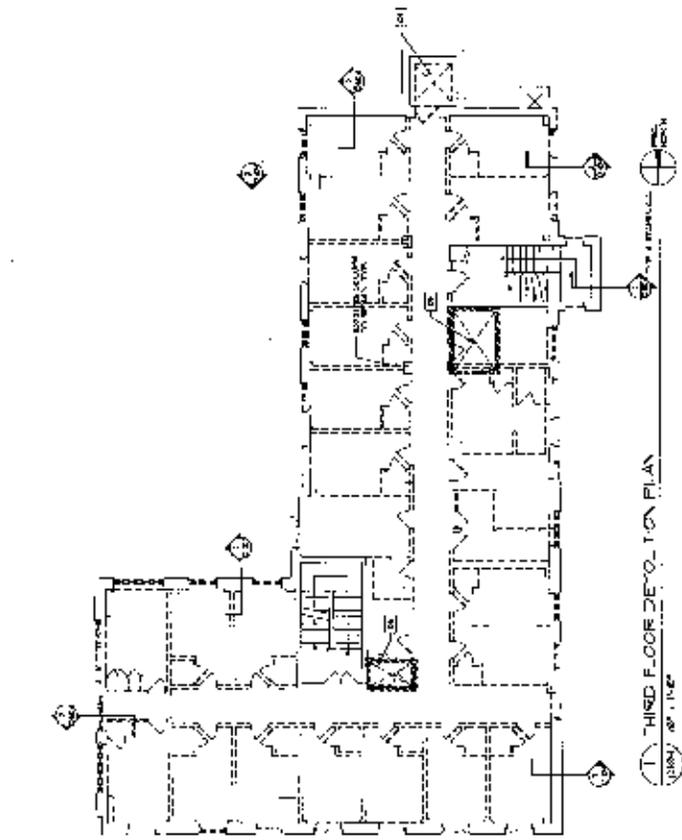
7. DEMO AT EXTERIOR / STAIR WELL
 100% 10/1/10

- GENERAL DEMOLITION NOTES:**
1. REMOVE ALL EXISTING PARTS OF THE BUILDING AS SHOWN ON THIS PLAN.
 2. ALL EXISTING PARTS TO REMAIN SHALL BE SHOWN WITH DASHED LINES.
 3. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES.
 4. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES AND A HATCH PATTERN AS SHOWN ON THIS PLAN.
 5. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES AND A HATCH PATTERN AS SHOWN ON THIS PLAN.
 6. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES AND A HATCH PATTERN AS SHOWN ON THIS PLAN.
 7. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES AND A HATCH PATTERN AS SHOWN ON THIS PLAN.
 8. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES AND A HATCH PATTERN AS SHOWN ON THIS PLAN.
 9. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES AND A HATCH PATTERN AS SHOWN ON THIS PLAN.
 10. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES AND A HATCH PATTERN AS SHOWN ON THIS PLAN.

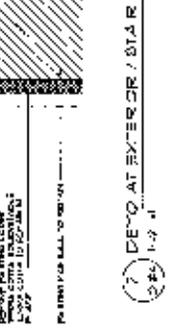
- DEMOLITION LEGEND:**
- 1. EXISTING PARTS TO REMAIN
 - 2. EXISTING PARTS TO BE DEMOLISHED
 - 3. EXISTING PARTS TO BE DEMOLISHED
 - 4. EXISTING PARTS TO BE DEMOLISHED
 - 5. EXISTING PARTS TO BE DEMOLISHED
 - 6. EXISTING PARTS TO BE DEMOLISHED
 - 7. EXISTING PARTS TO BE DEMOLISHED
 - 8. EXISTING PARTS TO BE DEMOLISHED
 - 9. EXISTING PARTS TO BE DEMOLISHED
 - 10. EXISTING PARTS TO BE DEMOLISHED

- GENERAL DEMOLITION NOTES:**
1. REMOVE ALL EXISTING PARTS OF THE BUILDING AS SHOWN ON THIS PLAN.
 2. ALL EXISTING PARTS TO REMAIN SHALL BE SHOWN WITH DASHED LINES.
 3. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES.
 4. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES AND A HATCH PATTERN AS SHOWN ON THIS PLAN.
 5. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES AND A HATCH PATTERN AS SHOWN ON THIS PLAN.
 6. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES AND A HATCH PATTERN AS SHOWN ON THIS PLAN.
 7. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES AND A HATCH PATTERN AS SHOWN ON THIS PLAN.
 8. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES AND A HATCH PATTERN AS SHOWN ON THIS PLAN.
 9. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES AND A HATCH PATTERN AS SHOWN ON THIS PLAN.
 10. ALL EXISTING PARTS TO BE DEMOLISHED SHALL BE SHOWN WITH SOLID LINES AND A HATCH PATTERN AS SHOWN ON THIS PLAN.

- DEMOLITION LEGEND:**
- 1. EXISTING PARTS TO REMAIN
 - 2. EXISTING PARTS TO BE DEMOLISHED
 - 3. EXISTING PARTS TO BE DEMOLISHED
 - 4. EXISTING PARTS TO BE DEMOLISHED
 - 5. EXISTING PARTS TO BE DEMOLISHED
 - 6. EXISTING PARTS TO BE DEMOLISHED
 - 7. EXISTING PARTS TO BE DEMOLISHED
 - 8. EXISTING PARTS TO BE DEMOLISHED
 - 9. EXISTING PARTS TO BE DEMOLISHED
 - 10. EXISTING PARTS TO BE DEMOLISHED



7 THIRD FLOOR DEMOLITION PLAN
 (SEE SHEET 103)



7 DEMO AT EXTERIOR / STAIR JAIL
 (SEE SHEET 103)

1	1/8" = 1'-0"
2	1/4" = 1'-0"
3	1/2" = 1'-0"
4	3/4" = 1'-0"
5	1" = 1'-0"
6	1 1/4" = 1'-0"
7	1 1/2" = 1'-0"
8	1 3/4" = 1'-0"
9	2" = 1'-0"
10	2 1/4" = 1'-0"
11	2 1/2" = 1'-0"
12	2 3/4" = 1'-0"
13	3" = 1'-0"
14	3 1/4" = 1'-0"
15	3 1/2" = 1'-0"
16	3 3/4" = 1'-0"
17	4" = 1'-0"
18	4 1/4" = 1'-0"
19	4 1/2" = 1'-0"
20	4 3/4" = 1'-0"
21	5" = 1'-0"
22	5 1/4" = 1'-0"
23	5 1/2" = 1'-0"
24	5 3/4" = 1'-0"
25	6" = 1'-0"
26	6 1/4" = 1'-0"
27	6 1/2" = 1'-0"
28	6 3/4" = 1'-0"
29	7" = 1'-0"
30	7 1/4" = 1'-0"
31	7 1/2" = 1'-0"
32	7 3/4" = 1'-0"
33	8" = 1'-0"
34	8 1/4" = 1'-0"
35	8 1/2" = 1'-0"
36	8 3/4" = 1'-0"
37	9" = 1'-0"
38	9 1/4" = 1'-0"
39	9 1/2" = 1'-0"
40	9 3/4" = 1'-0"
41	10" = 1'-0"
42	10 1/4" = 1'-0"
43	10 1/2" = 1'-0"
44	10 3/4" = 1'-0"
45	11" = 1'-0"
46	11 1/4" = 1'-0"
47	11 1/2" = 1'-0"
48	11 3/4" = 1'-0"
49	12" = 1'-0"
50	12 1/4" = 1'-0"
51	12 1/2" = 1'-0"
52	12 3/4" = 1'-0"
53	13" = 1'-0"
54	13 1/4" = 1'-0"
55	13 1/2" = 1'-0"
56	13 3/4" = 1'-0"
57	14" = 1'-0"
58	14 1/4" = 1'-0"
59	14 1/2" = 1'-0"
60	14 3/4" = 1'-0"
61	15" = 1'-0"
62	15 1/4" = 1'-0"
63	15 1/2" = 1'-0"
64	15 3/4" = 1'-0"
65	16" = 1'-0"
66	16 1/4" = 1'-0"
67	16 1/2" = 1'-0"
68	16 3/4" = 1'-0"
69	17" = 1'-0"
70	17 1/4" = 1'-0"
71	17 1/2" = 1'-0"
72	17 3/4" = 1'-0"
73	18" = 1'-0"
74	18 1/4" = 1'-0"
75	18 1/2" = 1'-0"
76	18 3/4" = 1'-0"
77	19" = 1'-0"
78	19 1/4" = 1'-0"
79	19 1/2" = 1'-0"
80	19 3/4" = 1'-0"
81	20" = 1'-0"
82	20 1/4" = 1'-0"
83	20 1/2" = 1'-0"
84	20 3/4" = 1'-0"
85	21" = 1'-0"
86	21 1/4" = 1'-0"
87	21 1/2" = 1'-0"
88	21 3/4" = 1'-0"
89	22" = 1'-0"
90	22 1/4" = 1'-0"
91	22 1/2" = 1'-0"
92	22 3/4" = 1'-0"
93	23" = 1'-0"
94	23 1/4" = 1'-0"
95	23 1/2" = 1'-0"
96	23 3/4" = 1'-0"
97	24" = 1'-0"
98	24 1/4" = 1'-0"
99	24 1/2" = 1'-0"
100	24 3/4" = 1'-0"
101	25" = 1'-0"
102	25 1/4" = 1'-0"
103	25 1/2" = 1'-0"
104	25 3/4" = 1'-0"
105	26" = 1'-0"
106	26 1/4" = 1'-0"
107	26 1/2" = 1'-0"
108	26 3/4" = 1'-0"
109	27" = 1'-0"
110	27 1/4" = 1'-0"
111	27 1/2" = 1'-0"
112	27 3/4" = 1'-0"
113	28" = 1'-0"
114	28 1/4" = 1'-0"
115	28 1/2" = 1'-0"
116	28 3/4" = 1'-0"
117	29" = 1'-0"
118	29 1/4" = 1'-0"
119	29 1/2" = 1'-0"
120	29 3/4" = 1'-0"
121	30" = 1'-0"
122	30 1/4" = 1'-0"
123	30 1/2" = 1'-0"
124	30 3/4" = 1'-0"
125	31" = 1'-0"
126	31 1/4" = 1'-0"
127	31 1/2" = 1'-0"
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129	32" = 1'-0"
130	32 1/4" = 1'-0"
131	32 1/2" = 1'-0"
132	32 3/4" = 1'-0"
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134	33 1/4" = 1'-0"
135	33 1/2" = 1'-0"
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139	34 1/2" = 1'-0"
140	34 3/4" = 1'-0"
141	35" = 1'-0"
142	35 1/4" = 1'-0"
143	35 1/2" = 1'-0"
144	35 3/4" = 1'-0"
145	36" = 1'-0"
146	36 1/4" = 1'-0"
147	36 1/2" = 1'-0"
148	36 3/4" = 1'-0"
149	37" = 1'-0"
150	37 1/4" = 1'-0"
151	37 1/2" = 1'-0"
152	37 3/4" = 1'-0"
153	38" = 1'-0"
154	38 1/4" = 1'-0"
155	38 1/2" = 1'-0"
156	38 3/4" = 1'-0"
157	39" = 1'-0"
158	39 1/4" = 1'-0"
159	39 1/2" = 1'-0"
160	39 3/4" = 1'-0"
161	40" = 1'-0"
162	40 1/4" = 1'-0"
163	40 1/2" = 1'-0"
164	40 3/4" = 1'-0"
165	41" = 1'-0"
166	41 1/4" = 1'-0"
167	41 1/2" = 1'-0"
168	41 3/4" = 1'-0"
169	42" = 1'-0"
170	42 1/4" = 1'-0"
171	42 1/2" = 1'-0"
172	42 3/4" = 1'-0"
173	43" = 1'-0"
174	43 1/4" = 1'-0"
175	43 1/2" = 1'-0"
176	43 3/4" = 1'-0"
177	44" = 1'-0"
178	44 1/4" = 1'-0"
179	44 1/2" = 1'-0"
180	44 3/4" = 1'-0"
181	45" = 1'-0"
182	45 1/4" = 1'-0"
183	45 1/2" = 1'-0"
184	45 3/4" = 1'-0"
185	46" = 1'-0"
186	46 1/4" = 1'-0"
187	46 1/2" = 1'-0"
188	46 3/4" = 1'-0"
189	47" = 1'-0"
190	47 1/4" = 1'-0"
191	47 1/2" = 1'-0"
192	47 3/4" = 1'-0"
193	48" = 1'-0"
194	48 1/4" = 1'-0"
195	48 1/2" = 1'-0"
196	48 3/4" = 1'-0"
197	49" = 1'-0"
198	49 1/4" = 1'-0"
199	49 1/2" = 1'-0"
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202	50 1/4" = 1'-0"
203	50 1/2" = 1'-0"
204	50 3/4" = 1'-0"
205	51" = 1'-0"
206	51 1/4" = 1'-0"
207	51 1/2" = 1'-0"
208	51 3/4" = 1'-0"
209	52" = 1'-0"
210	52 1/4" = 1'-0"
211	52 1/2" = 1'-0"
212	52 3/4" = 1'-0"
213	53" = 1'-0"
214	53 1/4" = 1'-0"
215	53 1/2" = 1'-0"
216	53 3/4" = 1'-0"
217	54" = 1'-0"
218	54 1/4" = 1'-0"
219	54 1/2" = 1'-0"
220	54 3/4" = 1'-0"
221	55" = 1'-0"
222	55 1/4" = 1'-0"
223	55 1/2" = 1'-0"
224	55 3/4" = 1'-0"
225	56" = 1'-0"
226	56 1/4" = 1'-0"
227	56 1/2" = 1'-0"
228	56 3/4" = 1'-0"
229	57" = 1'-0"
230	57 1/4" = 1'-0"
231	57 1/2" = 1'-0"
232	57 3/4" = 1'-0"
233	58" = 1'-0"
234	58 1/4" = 1'-0"
235	58 1/2" = 1'-0"
236	58 3/4" = 1'-0"
237	59" = 1'-0"
238	59 1/4" = 1'-0"
239	59 1/2" = 1'-0"
240	59 3/4" = 1'-0"
241	60" = 1'-0"
242	60 1/4" = 1'-0"
243	60 1/2" = 1'-0"
244	60 3/4" = 1'-0"
245	61" = 1'-0"
246	61 1/4" = 1'-0"
247	61 1/2" = 1'-0"
248	61 3/4" = 1'-0"
249	62" = 1'-0"
250	62 1/4" = 1'-0"
251	62 1/2" = 1'-0"
252	62 3/4" = 1'-0"
253	63" = 1'-0"
254	63 1/4" = 1'-0"
255	63 1/2" = 1'-0"
256	63 3/4" = 1'-0"
257	64" = 1'-0"
258	64 1/4" = 1'-0"
259	64 1/2" = 1'-0"
260	64 3/4" = 1'-0"
261	65" = 1'-0"
262	65 1/4" = 1'-0"
263	65 1/2" = 1'-0"
264	65 3/4" = 1'-0"
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267	66 1/2" = 1'-0"
268	66 3/4" = 1'-0"
269	67" = 1'-0"
270	67 1/4" = 1'-0"
271	67 1/2" = 1'-0"
272	67 3/4" = 1'-0"
273	68" = 1'-0"
274	68 1/4" = 1'-0"
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276	68 3/4" = 1'-0"
277	69" = 1'-0"
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279	69 1/2" = 1'-0"
280	69 3/4" = 1'-0"
281	70" = 1'-0"
282	70 1/4" = 1'-0"
283	70 1/2" = 1'-0"
284	70 3/4" = 1'-0"
285	71" = 1'-0"
286	71 1/4" = 1'-0"
287	71 1/2" = 1'-0"
288	71 3/4" = 1'-0"
289	72" = 1'-0"
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300	74 3/4" = 1'-0"
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302	75 1/4" = 1'-0"
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304	75 3/4" = 1'-0"
305	76" = 1'-0"
306	76 1/4" = 1'-0"
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309	77" = 1'-0"
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322	80 1/4" = 1'-0"
323	80 1/2" = 1'-0"
324	80 3/4" = 1'-0"
325	81" = 1'-0"
326	81 1/4" = 1'-0"
327	81 1/2" = 1'-0"
328	81 3/4" = 1'-0"
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330	82 1/4" = 1'-0"
331	82 1/2" = 1'-0"
332	82 3/4" = 1'-0"
333	83" = 1'-0"
334	83 1/4" = 1'-0"
335	83 1/2" = 1'-0"
336	83 3/4" = 1'-0"
337	84" = 1'-0"
338	84 1/4" = 1'-0"
339	84 1/2" = 1'-0"
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345	86" = 1'-0"
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348	86 3/4" = 1'-0"
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364	90 3/4" = 1'-0"
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366	91 1/4" = 1'-0"
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371	92 1/2" = 1'-0"
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377	94" = 1'-0"
378	94 1/4" = 1'-0"
379	94 1/2" = 1'-0"
380	94 3/4" = 1'-0"
381	95" = 1'-0"
382	95 1/4" = 1'-0"
383	95 1/2" = 1'-0"
384	95 3/4" = 1'-0"
385	96" = 1'-0"
386	96 1/4" = 1'-0"
387	96 1/2" = 1'-0"
388	96 3/4" = 1'-0"
389	97" = 1'-0"
390	97 1/4" = 1'-0"
391	97 1/2" = 1'-0"
392	97 3/4" = 1'-0"
393	98" = 1'-0"
394	98 1/4" = 1'-0"
395	98 1/2" = 1'-0"
396	98 3/4" = 1'-0"
397	99" = 1'-0"
398	99 1/4" = 1'-0"
399	99 1/2" = 1'-0"
400	99 3/4" = 1'-0"
401	100" = 1'-0"

PLAN LEGEND

- 1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
- 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 7. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 8. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
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- 11. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 12. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 13. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 14. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 15. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
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- 26. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 27. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 28. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 29. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 30

GENERAL PLAN NOTES:

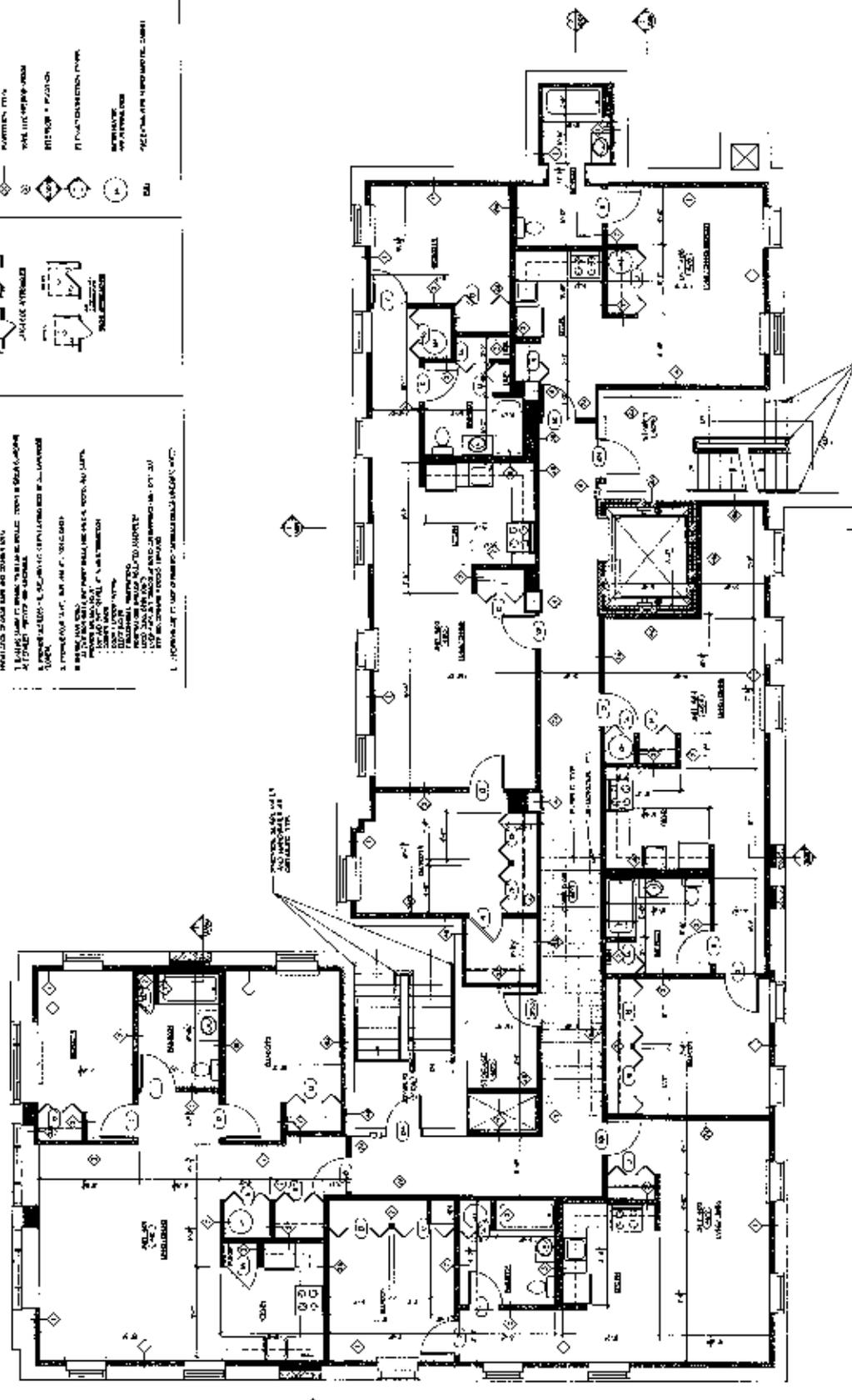
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL MECHANICAL ENERGY REGULATIONS (NEMER) 2010 AND THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.

DOOR CLEARANCES:

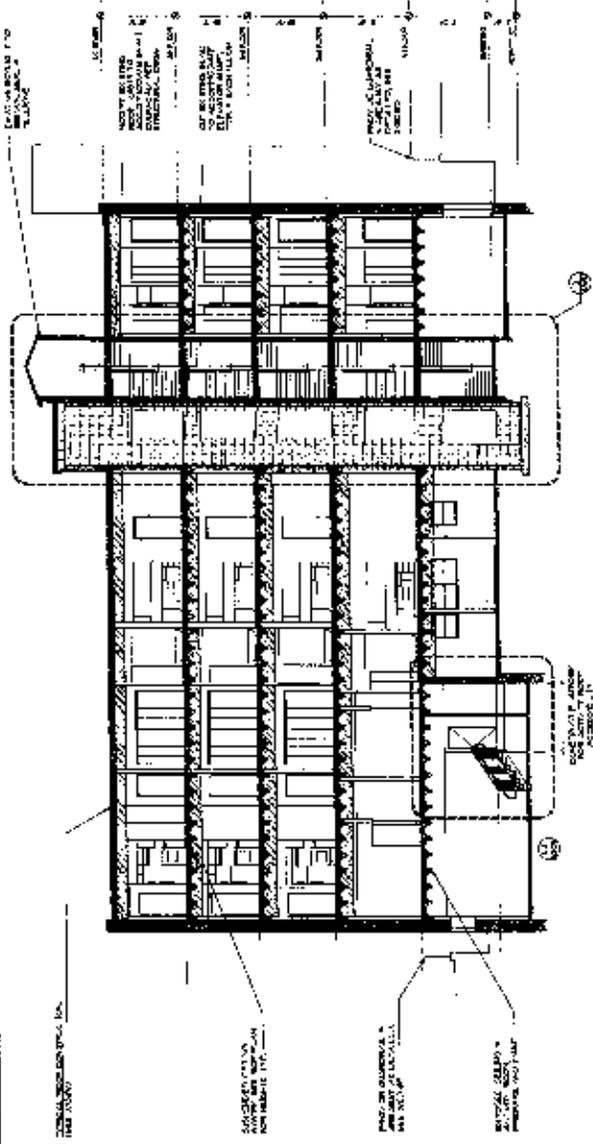
- 1. ALL DOOR CLEARANCES SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 2. ALL DOOR CLEARANCES SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 3. ALL DOOR CLEARANCES SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 4. ALL DOOR CLEARANCES SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 5. ALL DOOR CLEARANCES SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 6. ALL DOOR CLEARANCES SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 7. ALL DOOR CLEARANCES SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 8. ALL DOOR CLEARANCES SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 9. ALL DOOR CLEARANCES SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 10. ALL DOOR CLEARANCES SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.

PLAN LEGEND:

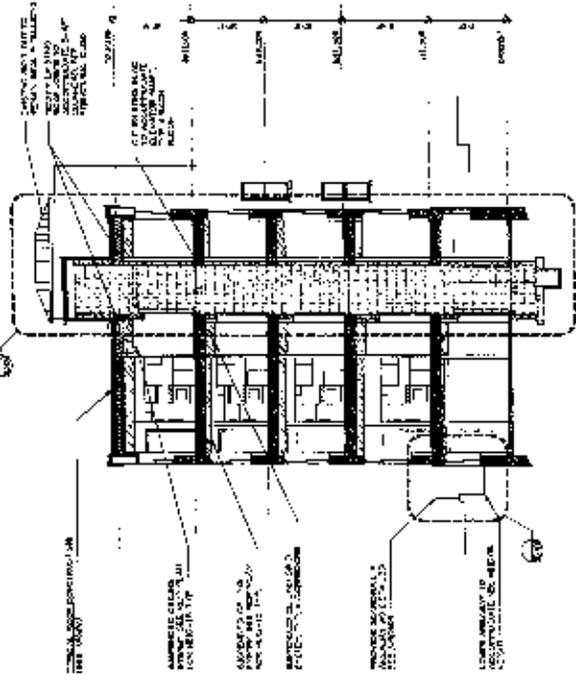
- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.
- 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL ENERGY REGULATIONS (IMER) 2015.



FOURTH FLOOR PLAN
DATE: 11-16-17

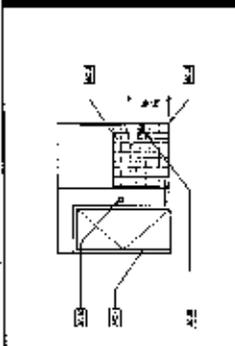


101 S. IOWA STREET
 BUILDING SECTION
 1/8" = 1'-0"

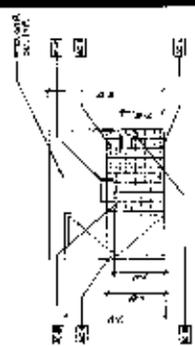


101 S. IOWA STREET
 BUILDING SECTION
 1/8" = 1'-0"

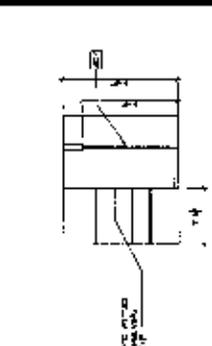
GENERAL NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
 2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT.
 3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.



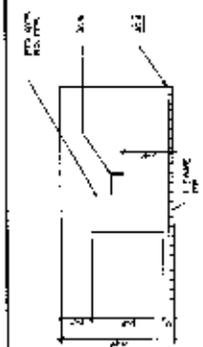
4 MEN'S TOILET ROOM EAST
 14' x 11' 0"



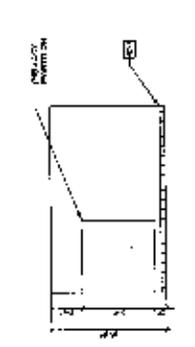
8 WOMEN'S TOILET ROOM EAST
 14' x 11' 0"



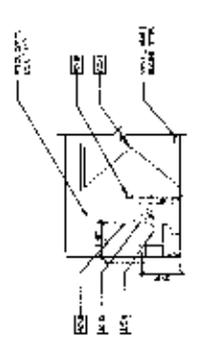
7 TYP. UNIT TOILET ROOM EAST
 14' x 11' 0"



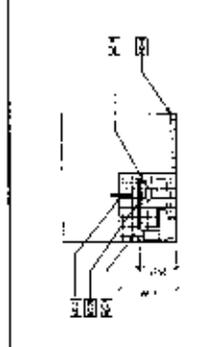
3 MEN'S TOILET ROOM SOUTH
 14' x 11' 0"



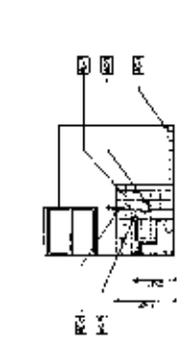
1 WOMEN'S TOILET ROOM SOUTH
 14' x 11' 0"



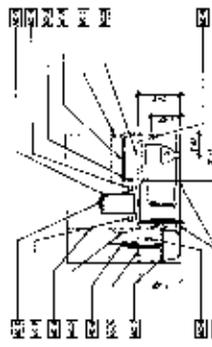
1 TYPICAL UNIT TOILET ROOM SOUTH
 14' x 11' 0"



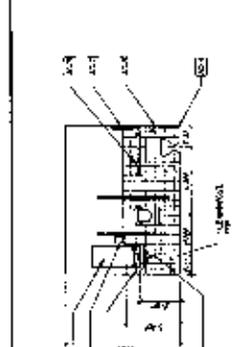
2 MEN'S TOILET ROOM WEST
 14' x 11' 0"



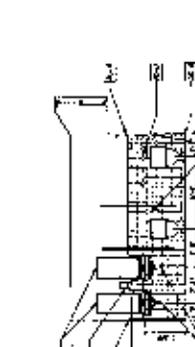
6 WOMEN'S TOILET ROOM WEST
 14' x 11' 0"



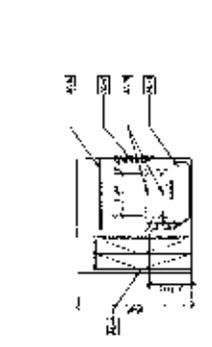
12 TYP. UNIT TOILET ROOM WEST
 14' x 11' 0"



1 MEN'S TOILET ROOM NORTH
 14' x 11' 0"



5 WOMEN'S TOILET ROOM NORTH
 14' x 11' 0"



3 TYP. UNIT TOILET ROOM NORTH
 14' x 11' 0"

TOILET ROOM SCHEDULE

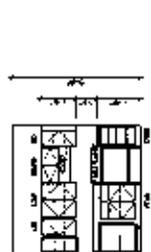
NO.	TOILET ROOM SCHEDULE	NO.	TOILET ROOM SCHEDULE
1	TYPICAL UNIT TOILET ROOM SOUTH	7	TYPICAL UNIT TOILET ROOM EAST
2	MEN'S TOILET ROOM WEST	8	WOMEN'S TOILET ROOM EAST
3	MEN'S TOILET ROOM SOUTH	9	WOMEN'S TOILET ROOM SOUTH
4	MEN'S TOILET ROOM EAST	10	WOMEN'S TOILET ROOM WEST
5	WOMEN'S TOILET ROOM NORTH	11	WOMEN'S TOILET ROOM SOUTH
6	WOMEN'S TOILET ROOM WEST	12	TYPICAL UNIT TOILET ROOM WEST

BATHROOM ELEVATION NOTES

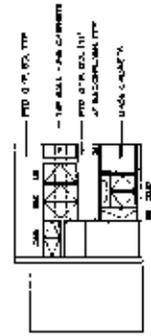
1. ALL DIMENSIONS SHOWN ON ALL DRAWINGS ARE UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
11. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
12. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

UNIT KITCHEN NOTES:

1. FINISH: SEE FINISH SCHEDULE.
2. SEE FINISH SCHEDULE FOR FINISHES.
3. SEE FINISH SCHEDULE FOR FINISHES.
4. SEE FINISH SCHEDULE FOR FINISHES.
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100. SEE FINISH SCHEDULE FOR FINISHES.



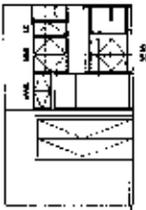
1 TYP. UNIT KITCHEN
4'-0" x 7'-0"



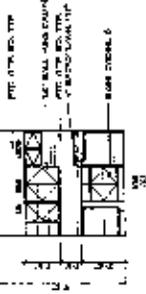
2 TYP. UNIT KITCHEN
4'-0" x 7'-0"



3 UNIT 101 KITCHEN
4'-0" x 7'-0"



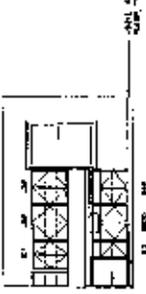
4 TYP. STUDIO KITCHEN, WEST
4'-0" x 7'-0"



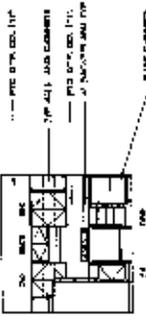
5 TYP. STUDIO KITCHEN, NORTH
4'-0" x 7'-0"



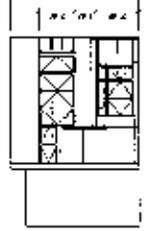
6 UNIT 102 KITCHEN NORTH
4'-0" x 7'-0"



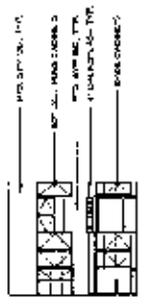
7 STUDIO KITCHEN, SOUTH
4'-0" x 7'-0"



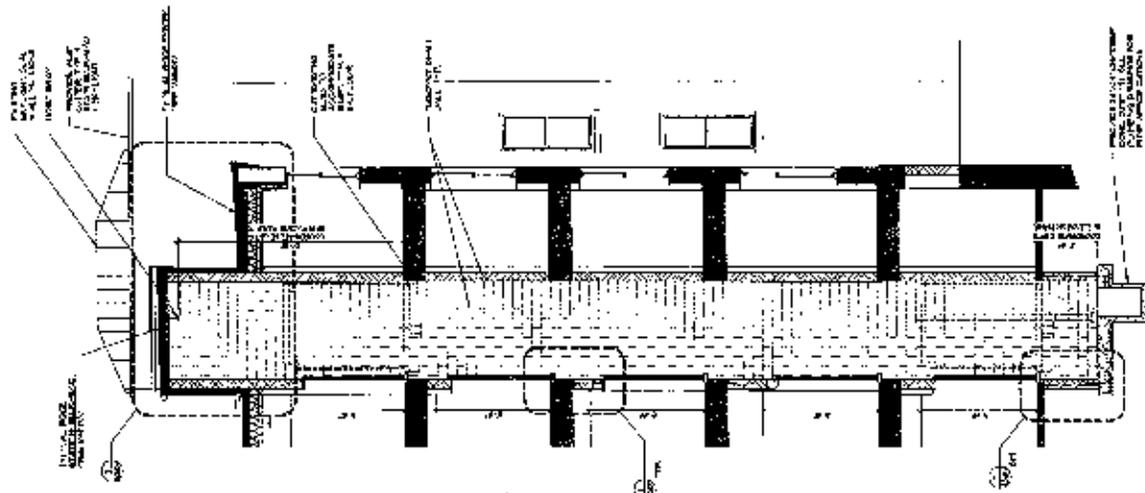
8 STUDIO KITCHEN, EAST
4'-0" x 7'-0"



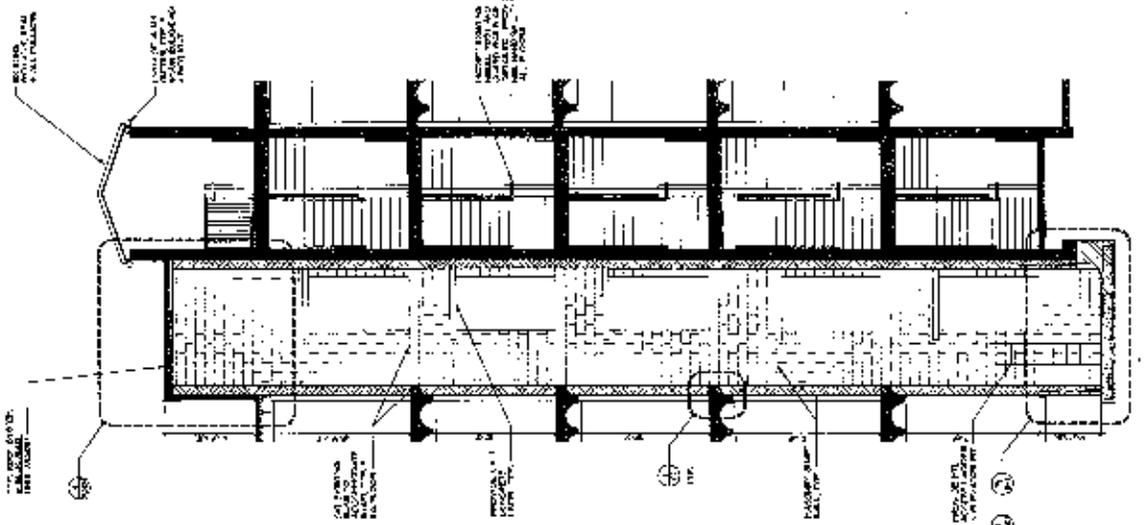
9 UNIT B01 KITCHEN
4'-0" x 7'-0"



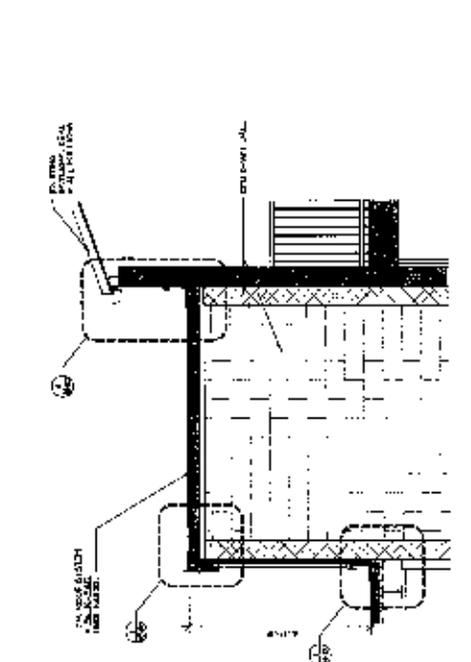
10 UNIT B02 KITCHEN
4'-0" x 7'-0"



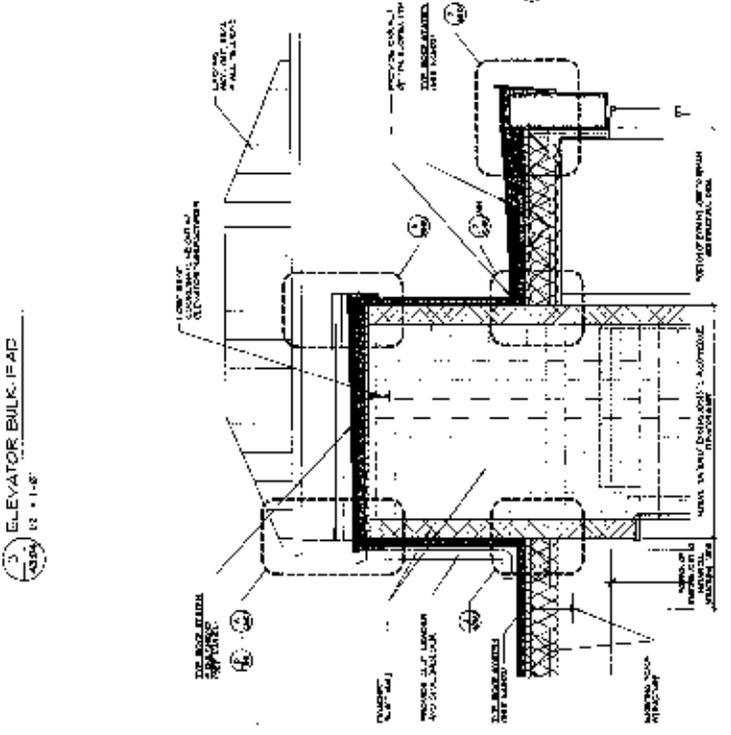
1 ELEVATOR SECTION
1/8" = 1'-0"



2 ELEVATOR / STAIR SECTION
1/8" = 1'-0"



3 ELEVATOR BULKHEAD
1/8" = 1'-0"



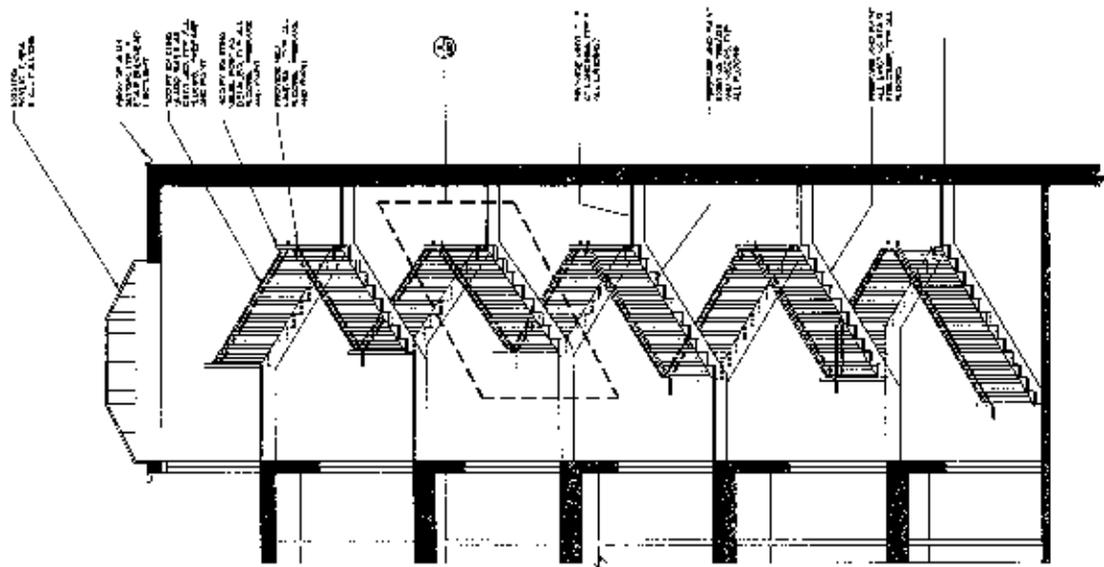
4 ELEVATOR BULKHEAD
1/8" = 1'-0"

100%
 90%
 80%
 70%
 60%
 50%
 40%
 30%
 20%
 10%
 0%

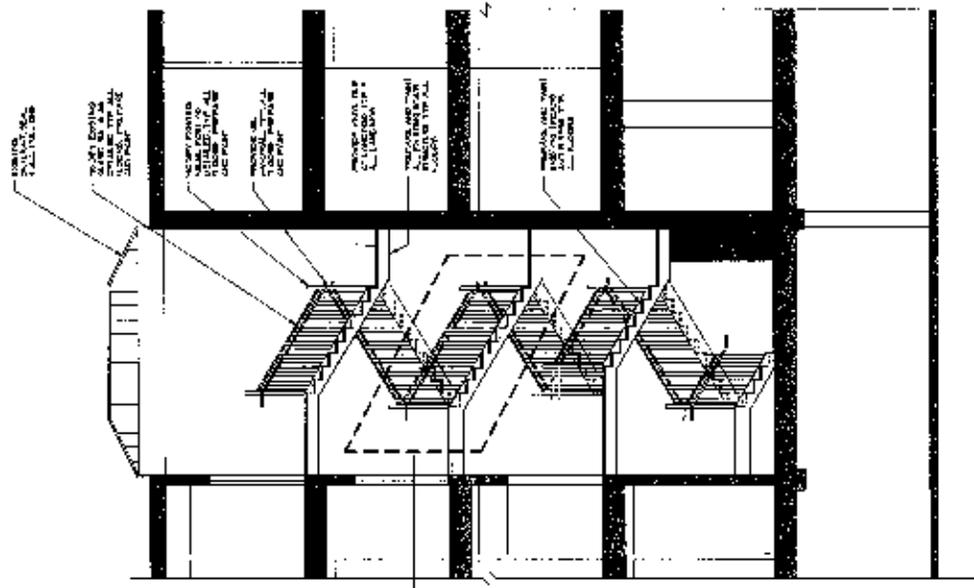
GROUP
 ARCHITECTS
 100%

121 S. 24th STREET
 APARTMENTS
 121 SOUTH 24th STREET
 INDIANAPOLIS, IN

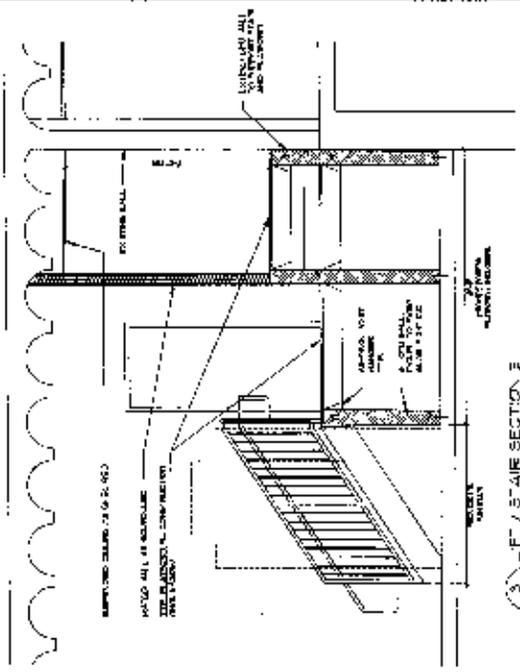
A-305
 CIRCULATION SECTIONS
 121 S. 24th STREET
 APARTMENTS
 INDIANAPOLIS, IN



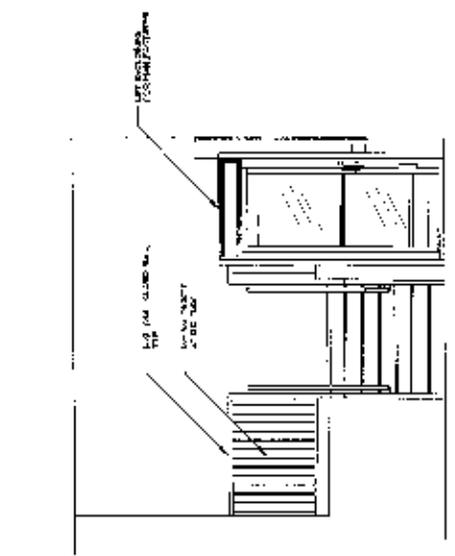
1 STAIR # 5 SECTION
 121 S. 24th STREET



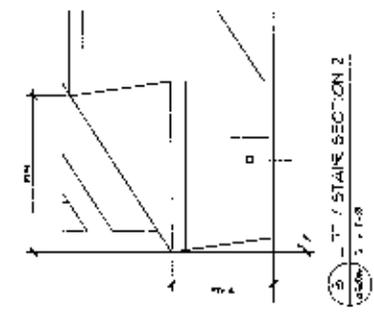
2 STAIR # 7 SECTION
 121 S. 24th STREET



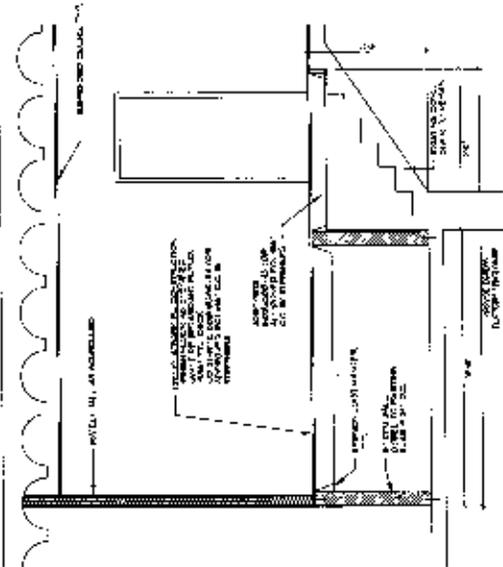
3 - LIFT / STAIR SECTION 3
 1/8" = 1'-0"



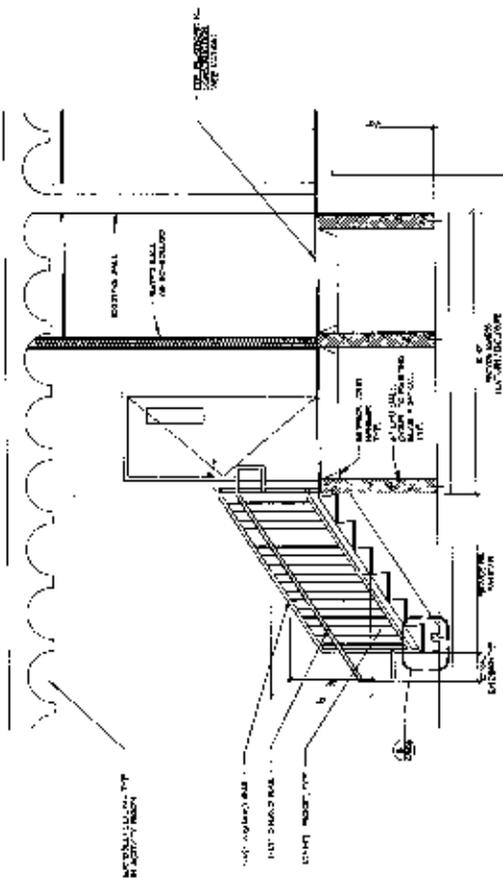
4 - LIFT / STAIR ELEVATION
 1/8" = 1'-0"



5 - LIFT / STAIR SECTION 2
 1/8" = 1'-0"



1 - LIFT / STAIR SECTION 1
 1/8" = 1'-0"



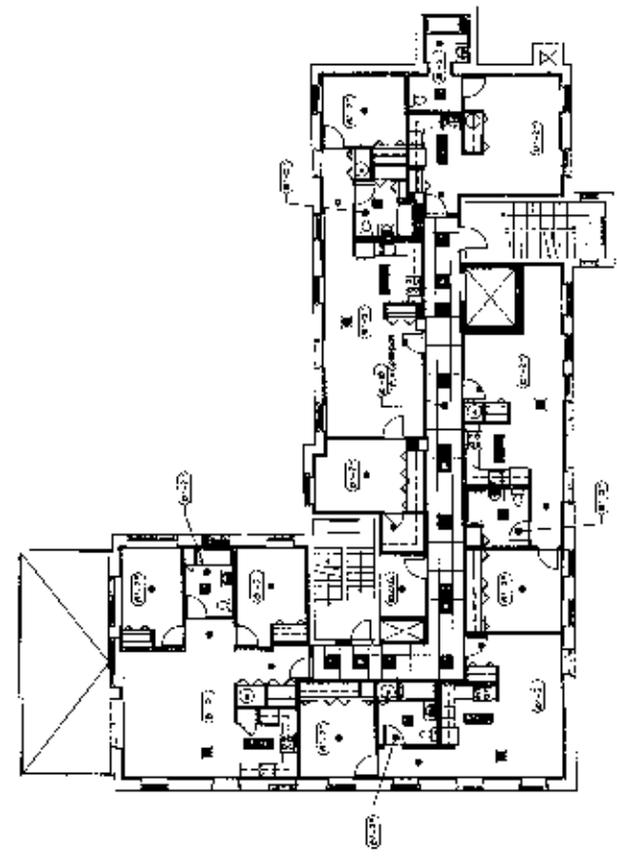
2 - LIFT / STAIR SECTION 2
 1/8" = 1'-0"

SELECTED CEILING PLAN LEGEND
 CONFORM TO 2009 IBC, INTERNATIONAL BUILDING CODE

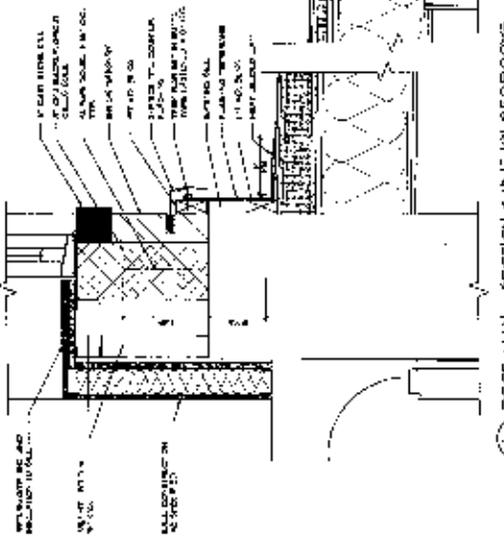
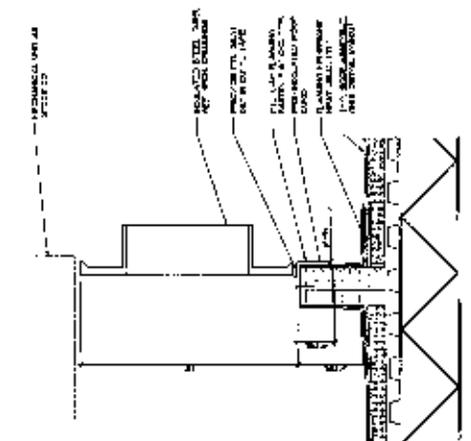
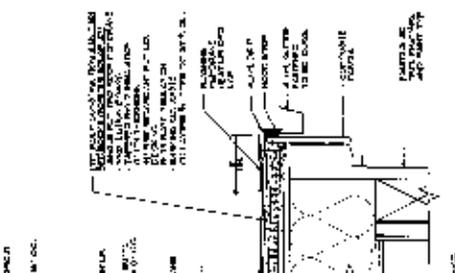
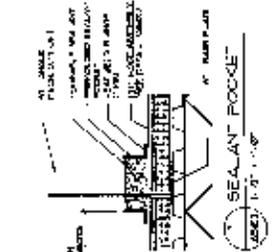
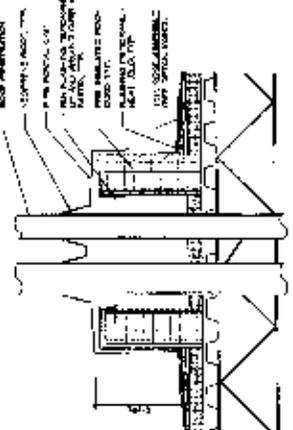
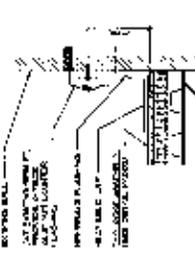
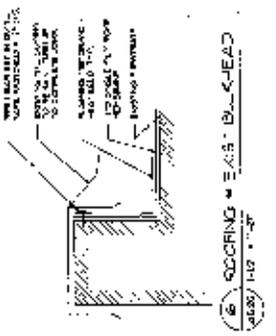
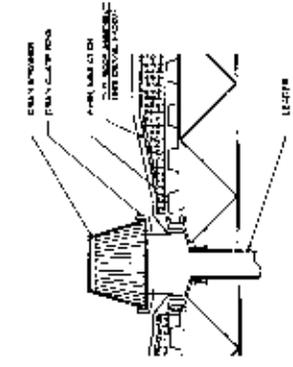
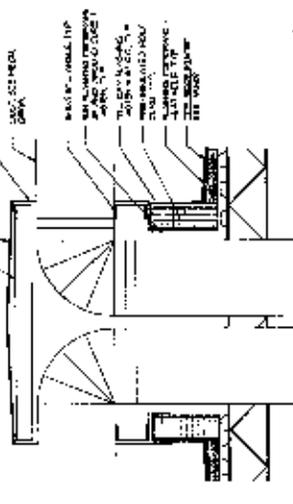
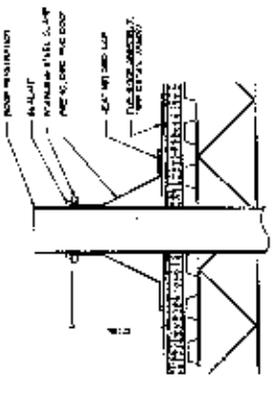
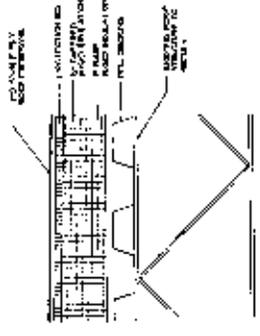
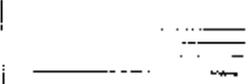
- 1. 2" X 4" JOIST
- 2. 2" X 6" JOIST
- 3. 2" X 8" JOIST
- 4. 2" X 10" JOIST
- 5. 2" X 12" JOIST
- 6. 2" X 14" JOIST
- 7. 2" X 16" JOIST
- 8. 2" X 18" JOIST
- 9. 2" X 20" JOIST
- 10. 2" X 22" JOIST
- 11. 2" X 24" JOIST
- 12. 2" X 26" JOIST
- 13. 2" X 28" JOIST
- 14. 2" X 30" JOIST
- 15. 2" X 32" JOIST
- 16. 2" X 34" JOIST
- 17. 2" X 36" JOIST
- 18. 2" X 38" JOIST
- 19. 2" X 40" JOIST
- 20. 2" X 42" JOIST
- 21. 2" X 44" JOIST
- 22. 2" X 46" JOIST
- 23. 2" X 48" JOIST
- 24. 2" X 50" JOIST
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- 26. 2" X 54" JOIST
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- 28. 2" X 58" JOIST
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- 30. 2" X 62" JOIST
- 31. 2" X 64" JOIST
- 32. 2" X 66" JOIST
- 33. 2" X 68" JOIST
- 34. 2" X 70" JOIST
- 35. 2" X 72" JOIST
- 36. 2" X 74" JOIST
- 37. 2" X 76" JOIST
- 38. 2" X 78" JOIST
- 39. 2" X 80" JOIST
- 40. 2" X 82" JOIST
- 41. 2" X 84" JOIST
- 42. 2" X 86" JOIST
- 43. 2" X 88" JOIST
- 44. 2" X 90" JOIST
- 45. 2" X 92" JOIST
- 46. 2" X 94" JOIST
- 47. 2" X 96" JOIST
- 48. 2" X 98" JOIST
- 49. 2" X 100" JOIST

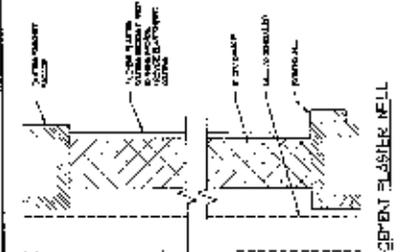
GENERAL RFP NOTES

1. PROVIDE ALL JOIST AND CEILING MATERIALS.
2. PROVIDE ALL JOIST AND CEILING MATERIALS.
3. PROVIDE ALL JOIST AND CEILING MATERIALS.
4. PROVIDE ALL JOIST AND CEILING MATERIALS.
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10. PROVIDE ALL JOIST AND CEILING MATERIALS.

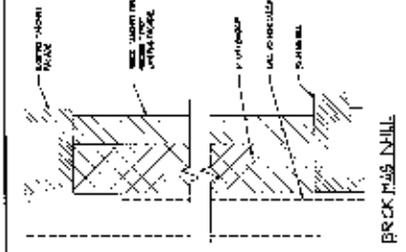


1 SECOND FLOOR REFLECTED CEILING PLAN
 1/2" = 1'-0"

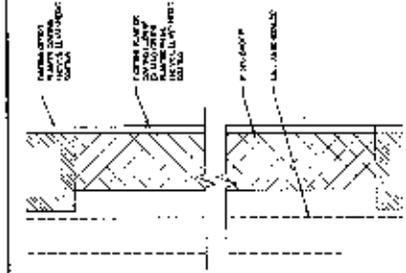




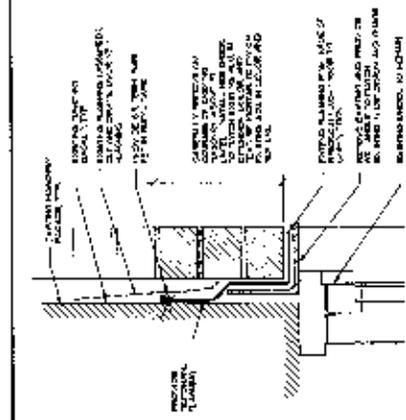
1 BRICK MASONRY WALL - WINDOW SILL



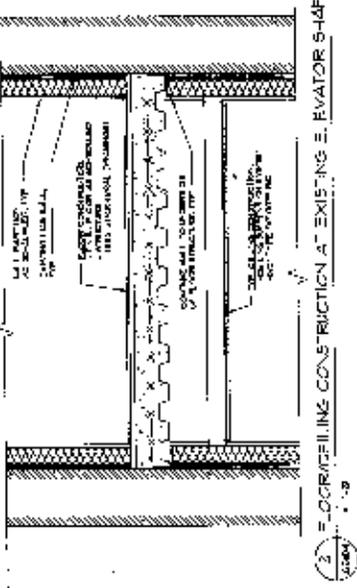
2 BRICK MASONRY WALL - WINDOW SILL



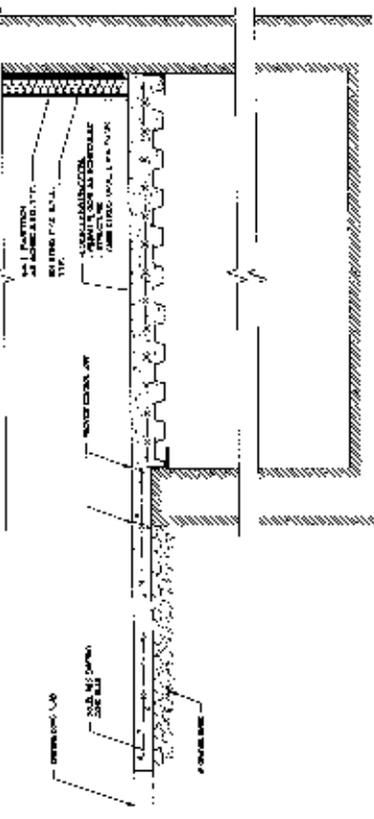
3 WINDOW OPENING - BRICK MASONRY WALL



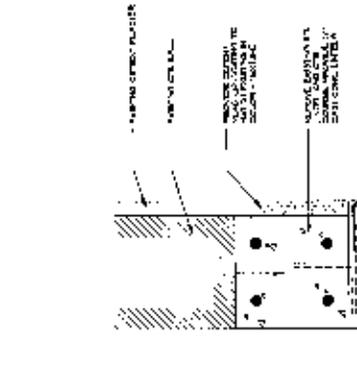
4 WINDOW REPLACEMENT - BRICK MASONRY WALL



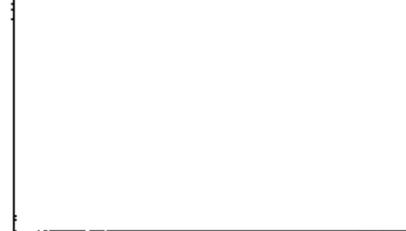
5 FLOOR FILLING CONSTRUCTION AT EXISTING ELEVATOR SHAFT



6 WINDOW REPLACEMENT - BRICK MASONRY WALL



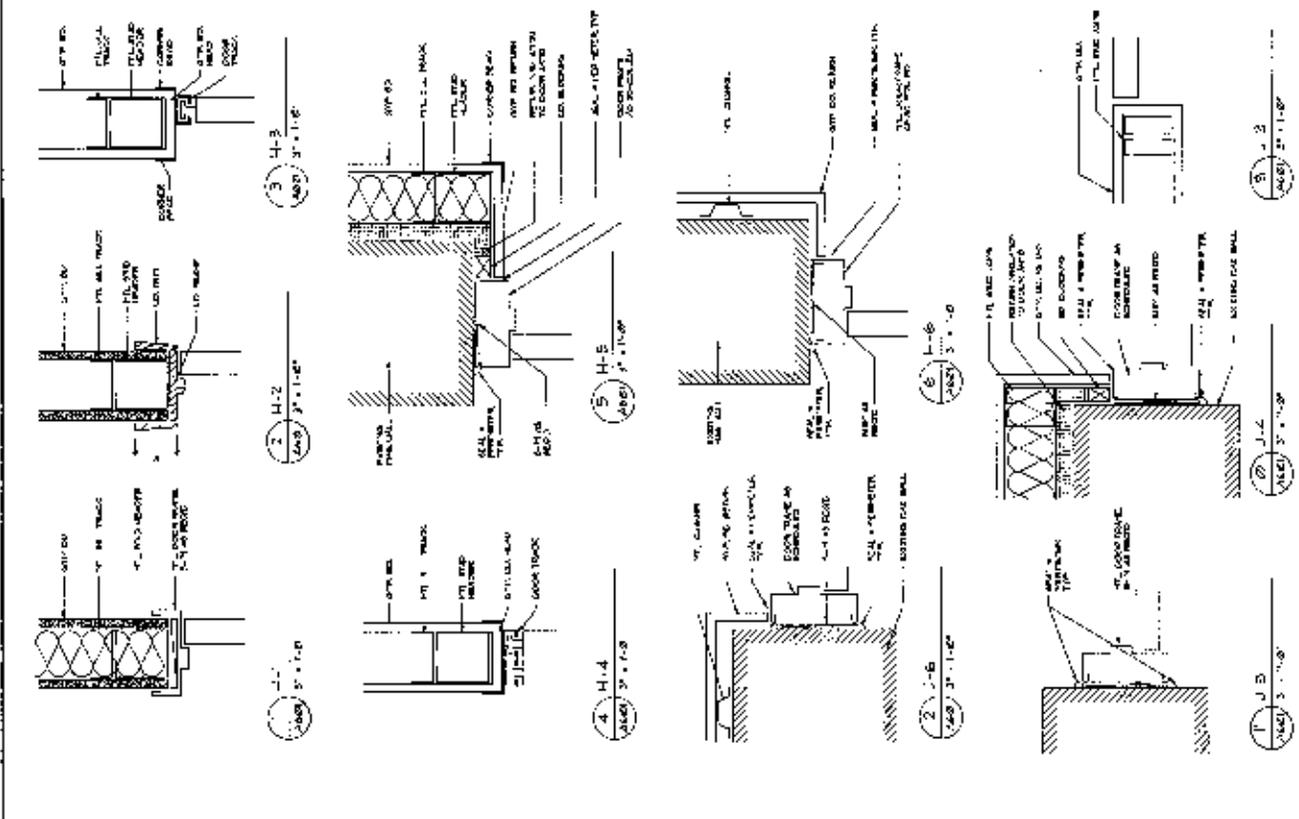
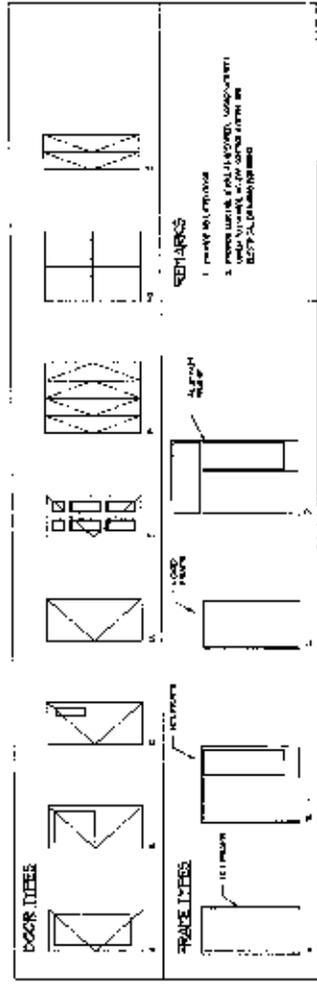
7 WINDOW REPLACEMENT - BRICK MASONRY WALL



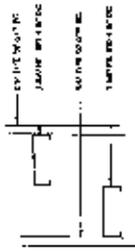
8 WINDOW REPLACEMENT - BRICK MASONRY WALL

DOOR SCHEDULE

NO.	GENERAL LOCATION	BY		DOOR		FRAME		HOLDERS		HINGES		LOCKS		REMARKS
		NO.	TYPE	NO.	TYPE	NO.	TYPE	NO.	TYPE	NO.	TYPE	NO.	TYPE	
1	ENTRANCE	1	1	1	1	1	1	1	1	1	1	1	1	
2	OFFICE	2	2	2	2	2	2	2	2	2	2	2	2	
3	RESTROOM	3	3	3	3	3	3	3	3	3	3	3	3	
4	STAIR	4	4	4	4	4	4	4	4	4	4	4	4	
5	STAIR	5	5	5	5	5	5	5	5	5	5	5	5	
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17	STAIR	17	17	17	17	17	17	17	17	17	17	17	17	
18	STAIR	18	18	18	18	18	18	18	18	18	18	18	18	
19	STAIR	19	19	19	19	19	19	19	19	19	19	19	19	
20	STAIR	20	20	20	20	20	20	20	20	20	20	20	20	



1 HOUR RATED WALL

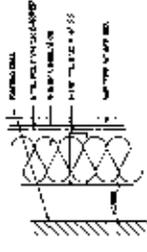


WALL TYPE 3
 WALL TYPE 3a
 ALL TYPES TO BE CONCRETE WITH 3/4" DIA. REBAR. ALL TYPES TO HAVE MINIMUM THICKNESS OF 10" AND TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.

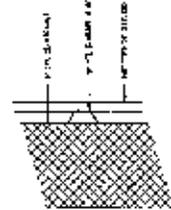
1 HOUR RATED WALL



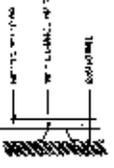
WALL TYPE 2
 WALL TYPE 2a
 ALL TYPES TO BE CONCRETE WITH 3/4" DIA. REBAR. ALL TYPES TO HAVE MINIMUM THICKNESS OF 10" AND TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.



WALL TYPE 5
 WALL TYPE 5a

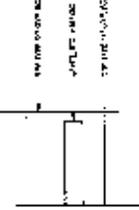


WALL TYPE 3
 WALL TYPE 3a



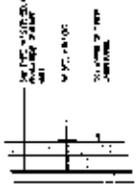
WALL TYPE 4
 WALL TYPE 4a
 WALL TYPE 4b
 WALL TYPE 4c
 WALL TYPE 4d
 ALL TYPES TO BE CONCRETE WITH 3/4" DIA. REBAR. ALL TYPES TO HAVE MINIMUM THICKNESS OF 10" AND TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.

1 HOUR RATED WALL

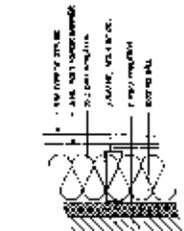


WALL TYPE 6
 WALL TYPE 6a
 WALL TYPE 6b
 WALL TYPE 6c
 WALL TYPE 6d
 ALL TYPES TO BE CONCRETE WITH 3/4" DIA. REBAR. ALL TYPES TO HAVE MINIMUM THICKNESS OF 10" AND TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.

2 HOUR RATED WALL



WALL TYPE 7
 WALL TYPE 7a
 WALL TYPE 7b
 WALL TYPE 7c
 WALL TYPE 7d
 ALL TYPES TO BE CONCRETE WITH 3/4" DIA. REBAR. ALL TYPES TO HAVE MINIMUM THICKNESS OF 12" AND TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.



WALL TYPE 1
 WALL TYPE 1a
 WALL TYPE 1b
 WALL TYPE 1c
 WALL TYPE 1d
 ALL TYPES TO BE CONCRETE WITH 3/4" DIA. REBAR. ALL TYPES TO HAVE MINIMUM THICKNESS OF 12" AND TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.



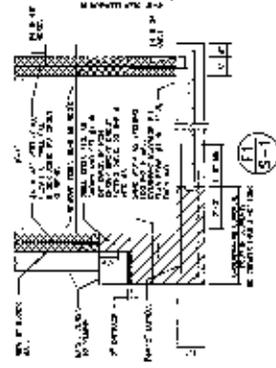
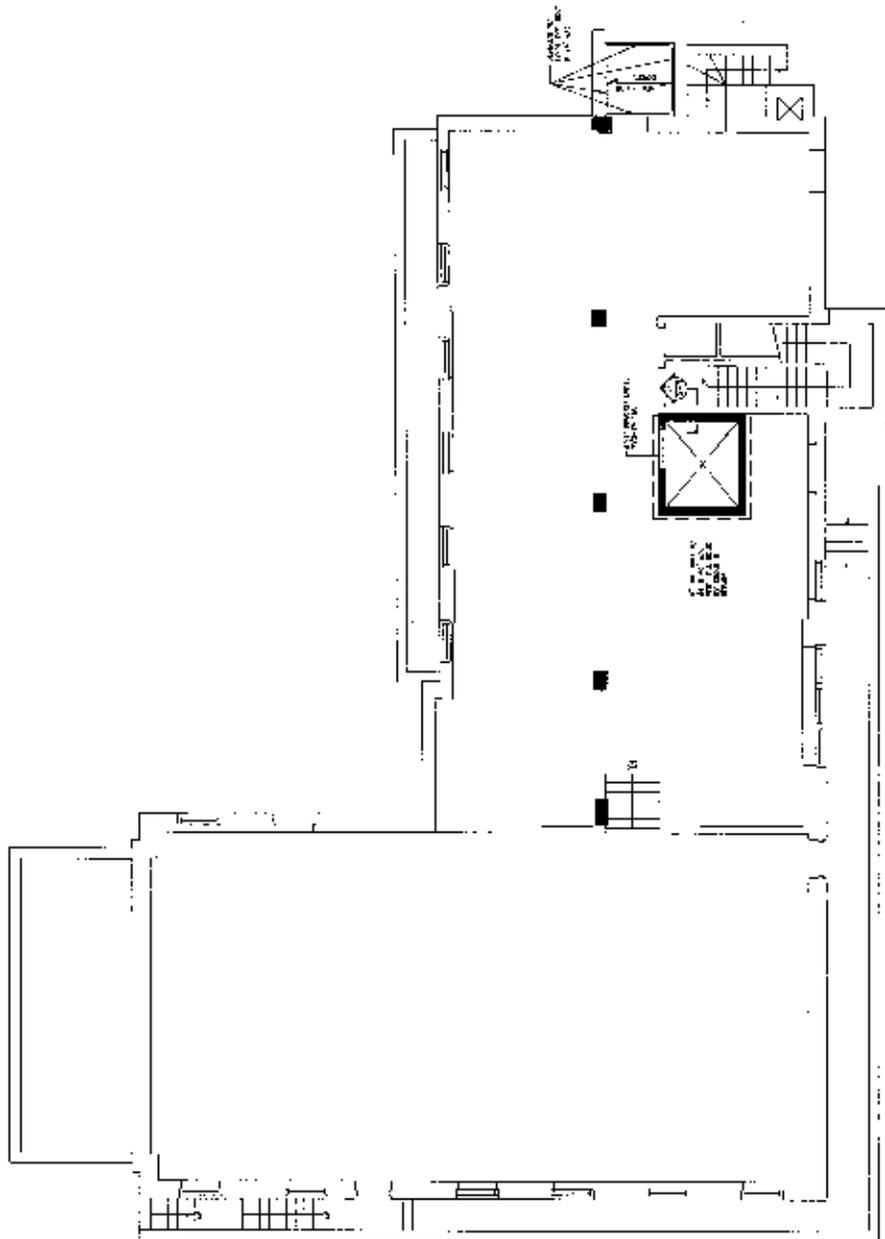
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 ST. LOUIS, MO 63102
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 APT. 101
 ST. LOUIS, MO 63102
 314-425-1234

FOR BIDDING ONLY
 NOT FOR CONSTRUCTION



BASEMENT FLOOR PLAN
 1/2" = 1'-0"

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.



CIS GROUP
 10000 W. 10th Street
 Suite 1000
 Denver, CO 80202
 Phone: (303) 750-1000
 Fax: (303) 750-1001
 Website: www.cisgroup.com

10' 9" 0th STREET
 31' 0" 1st STREET
 31' 0" 2nd STREET
 31' 0" 3rd STREET

21' 0" 1st STREET
 21' 0" 2nd STREET
 21' 0" 3rd STREET

NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL WALLS ARE 12" THICK UNLESS NOTED OTHERWISE.
3. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
4. ALL WINDOWS ARE 48" WIDE UNLESS NOTED OTHERWISE.
5. ALL CEILING HEIGHTS ARE 8' 0" UNLESS NOTED OTHERWISE.
6. ALL FLOOR FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
7. ALL WALL FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
8. ALL CEILING FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
9. ALL MECHANICAL AND ELECTRICAL SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE RELEVANT CODES AND STANDARDS.
10. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

GENERAL:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.

2. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

4. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM DAMAGE.

5. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE RELEVANT CODES AND STANDARDS.

6. ALL MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

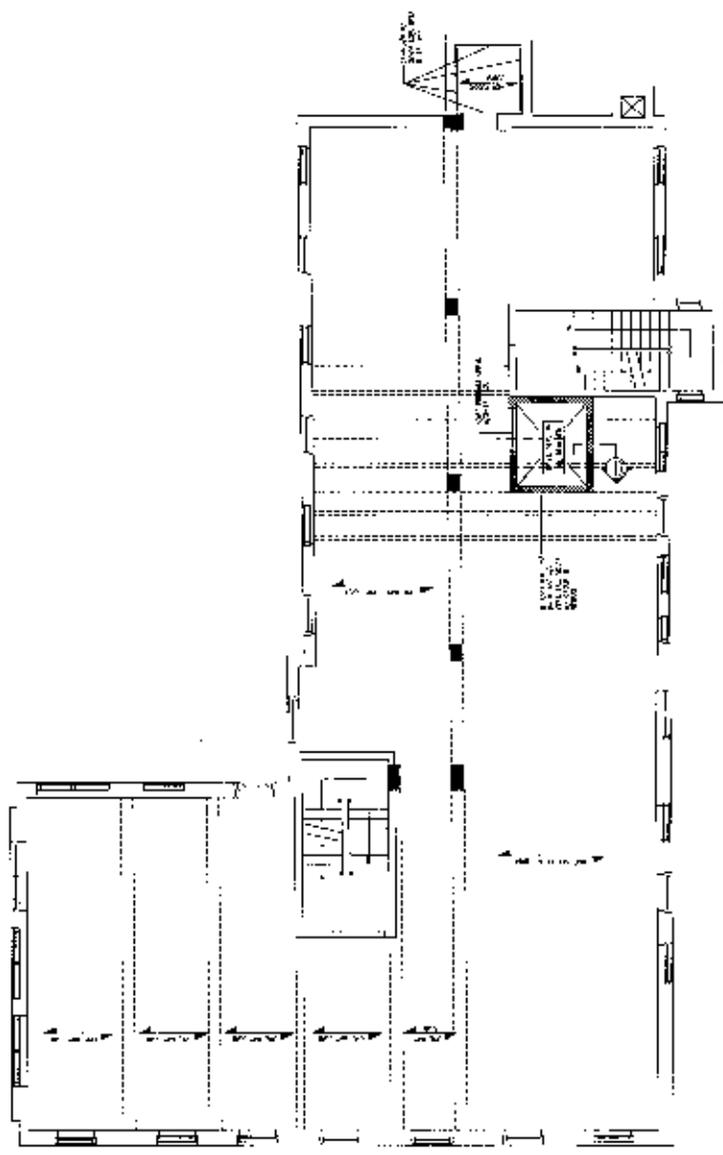
7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

8. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM DAMAGE.

9. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE RELEVANT CODES AND STANDARDS.

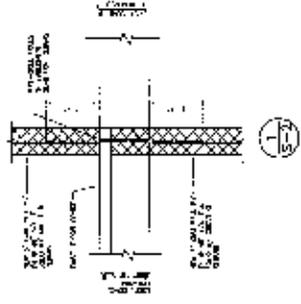
10. ALL MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

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TYPICAL FLOOR FRAMING PLAN

ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

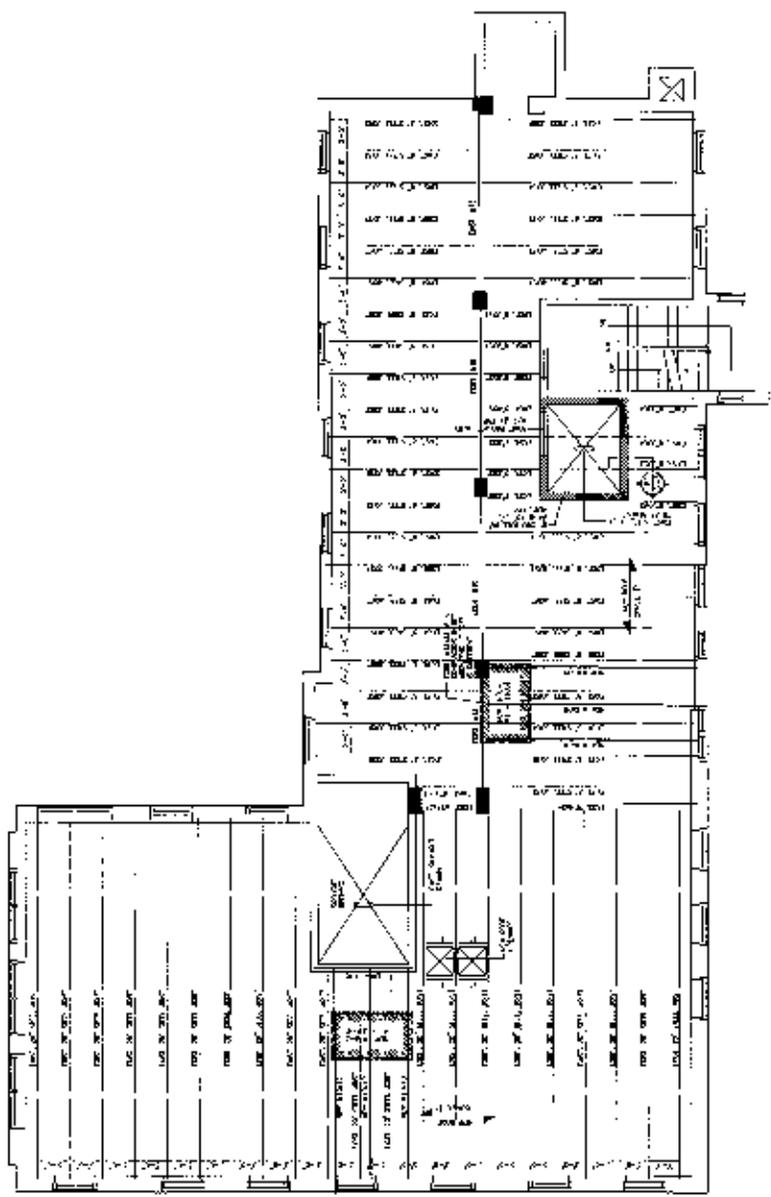
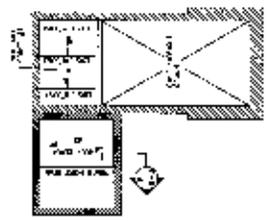


1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL WALLS ARE 12" THICK UNLESS NOTED OTHERWISE.
 3. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
 4. ALL WINDOWS ARE 60" WIDE UNLESS NOTED OTHERWISE.
 5. ALL ROOFS ARE 2" THICK UNLESS NOTED OTHERWISE.
 6. ALL ROOF DECKS ARE 4" THICK UNLESS NOTED OTHERWISE.
 7. ALL ROOF STRUCTURE IS TO BE CONCRETE UNLESS NOTED OTHERWISE.
 8. ALL ROOF STRUCTURE IS TO BE REINFORCED CONCRETE UNLESS NOTED OTHERWISE.
 9. ALL ROOF STRUCTURE IS TO BE CAST-IN-PLACE CONCRETE UNLESS NOTED OTHERWISE.
 10. ALL ROOF STRUCTURE IS TO BE CAST-IN-PLACE CONCRETE WITH REINFORCING BARS UNLESS NOTED OTHERWISE.
 11. ALL ROOF STRUCTURE IS TO BE CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND WELDED WIRE MESH UNLESS NOTED OTHERWISE.
 12. ALL ROOF STRUCTURE IS TO BE CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND WELDED WIRE MESH AND POLYMER FIBER UNLESS NOTED OTHERWISE.
 13. ALL ROOF STRUCTURE IS TO BE CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND WELDED WIRE MESH AND POLYMER FIBER AND FIBER FIBER UNLESS NOTED OTHERWISE.
 14. ALL ROOF STRUCTURE IS TO BE CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND WELDED WIRE MESH AND POLYMER FIBER AND FIBER FIBER AND FIBER FIBER UNLESS NOTED OTHERWISE.
 15. ALL ROOF STRUCTURE IS TO BE CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND WELDED WIRE MESH AND POLYMER FIBER AND FIBER FIBER AND FIBER FIBER UNLESS NOTED OTHERWISE.
 16. ALL ROOF STRUCTURE IS TO BE CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND WELDED WIRE MESH AND POLYMER FIBER AND FIBER FIBER AND FIBER FIBER UNLESS NOTED OTHERWISE.
 17. ALL ROOF STRUCTURE IS TO BE CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND WELDED WIRE MESH AND POLYMER FIBER AND FIBER FIBER AND FIBER FIBER UNLESS NOTED OTHERWISE.
 18. ALL ROOF STRUCTURE IS TO BE CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND WELDED WIRE MESH AND POLYMER FIBER AND FIBER FIBER AND FIBER FIBER UNLESS NOTED OTHERWISE.
 19. ALL ROOF STRUCTURE IS TO BE CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND WELDED WIRE MESH AND POLYMER FIBER AND FIBER FIBER AND FIBER FIBER UNLESS NOTED OTHERWISE.
 20. ALL ROOF STRUCTURE IS TO BE CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND WELDED WIRE MESH AND POLYMER FIBER AND FIBER FIBER AND FIBER FIBER UNLESS NOTED OTHERWISE.

CLS GROUP
 ARCHITECTS
 100 S. 10TH STREET
 SUITE 200
 MINNEAPOLIS, MN 55402
 TEL: 612.338.1234
 FAX: 612.338.1235
 WWW.CLSGROUP.COM

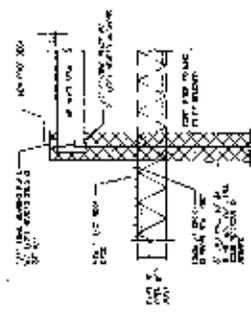
100 S. 10TH STREET
 4TH FLOOR
 MINNEAPOLIS, MN 55402

PENTHOUSE ROOF PLAN



ROOF FRAMING PLAN

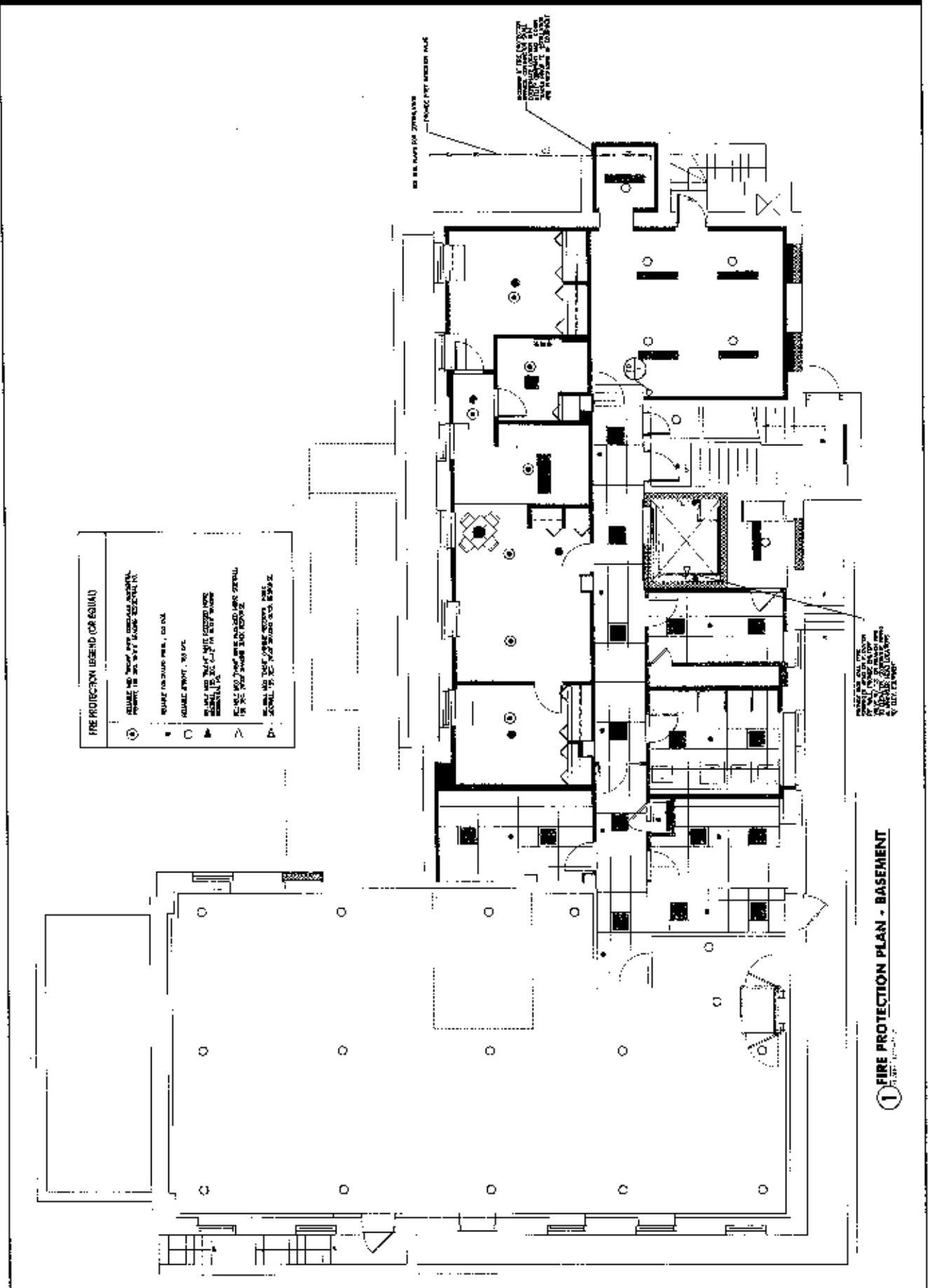
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 15. ALL ROOF STRUCTURE IS TO BE CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND WELDED WIRE MESH AND POLYMER FIBER AND FIBER FIBER UNLESS NOTED OTHERWISE.



BT

FOR BIDDING ONLY
 NOT FOR CONSTRUCTION





FIRE PROTECTION LEGEND (OR AS SHOWN)

①	STANDARD FIRE ALARM CALL POINTS TO BE INSTALLED AT EACH CORNER OF THE BASEMENT.
②	STANDARD FIRE ALARM CALL POINTS TO BE INSTALLED AT EACH CORNER OF THE BASEMENT.
③	STANDARD FIRE ALARM CALL POINTS TO BE INSTALLED AT EACH CORNER OF THE BASEMENT.
④	STANDARD FIRE ALARM CALL POINTS TO BE INSTALLED AT EACH CORNER OF THE BASEMENT.
⑤	STANDARD FIRE ALARM CALL POINTS TO BE INSTALLED AT EACH CORNER OF THE BASEMENT.
⑥	STANDARD FIRE ALARM CALL POINTS TO BE INSTALLED AT EACH CORNER OF THE BASEMENT.
⑦	STANDARD FIRE ALARM CALL POINTS TO BE INSTALLED AT EACH CORNER OF THE BASEMENT.
⑧	STANDARD FIRE ALARM CALL POINTS TO BE INSTALLED AT EACH CORNER OF THE BASEMENT.
⑨	STANDARD FIRE ALARM CALL POINTS TO BE INSTALLED AT EACH CORNER OF THE BASEMENT.
⑩	STANDARD FIRE ALARM CALL POINTS TO BE INSTALLED AT EACH CORNER OF THE BASEMENT.

1 FIRE PROTECTION PLAN - BASEMENT

101 S. 10th Street
 APT. 101
 101 S. 10th Street
 APT. 101
 101 S. 10th Street
 APT. 101

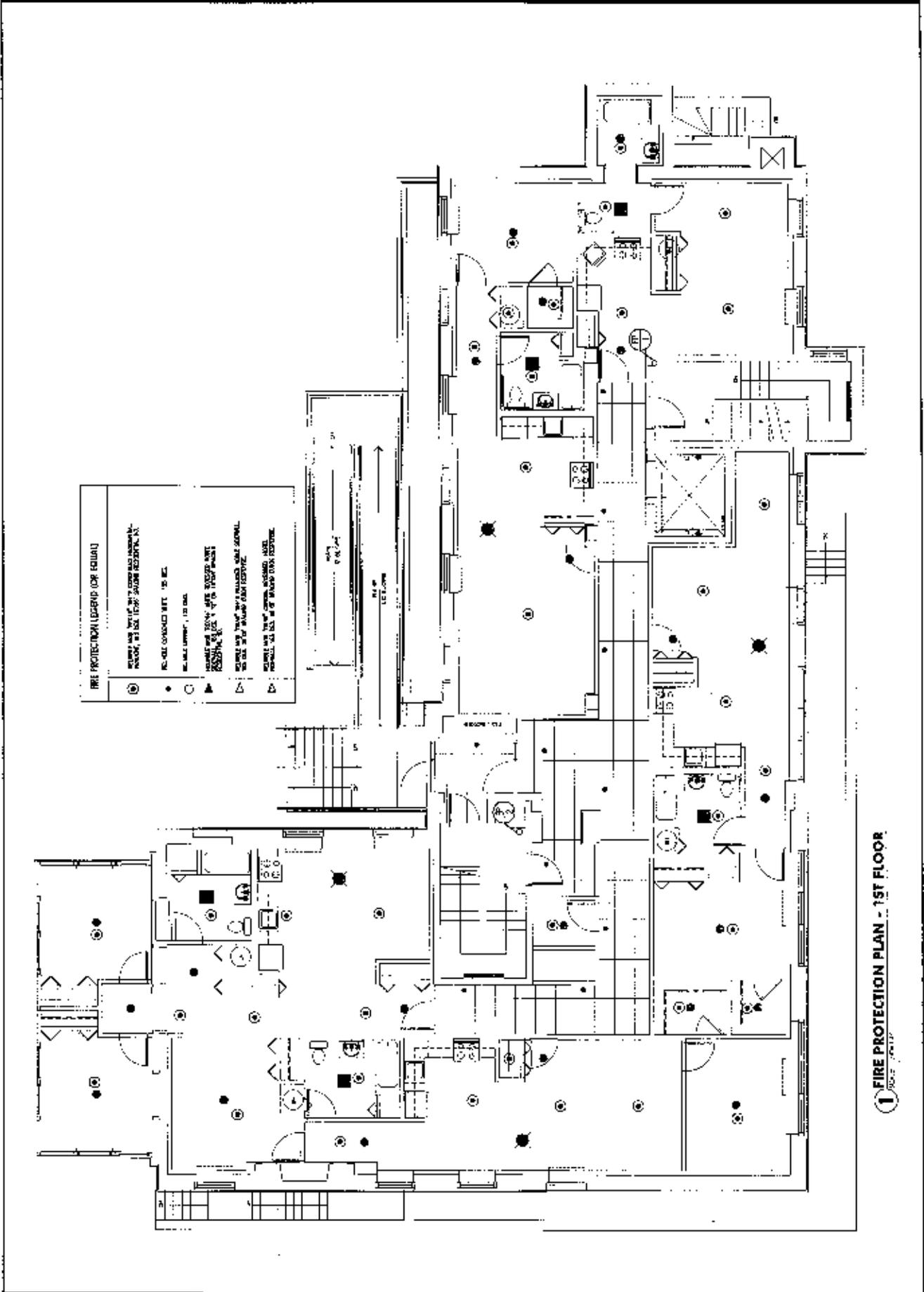
FIRE PROTECTION PLAN
 101 S. 10th Street
 APT. 101

FIRE PROTECTION PLAN
 101 S. 10th Street
 APT. 101



FIRE PROTECTION PLAN
 101 S. 10th Street
 APT. 101

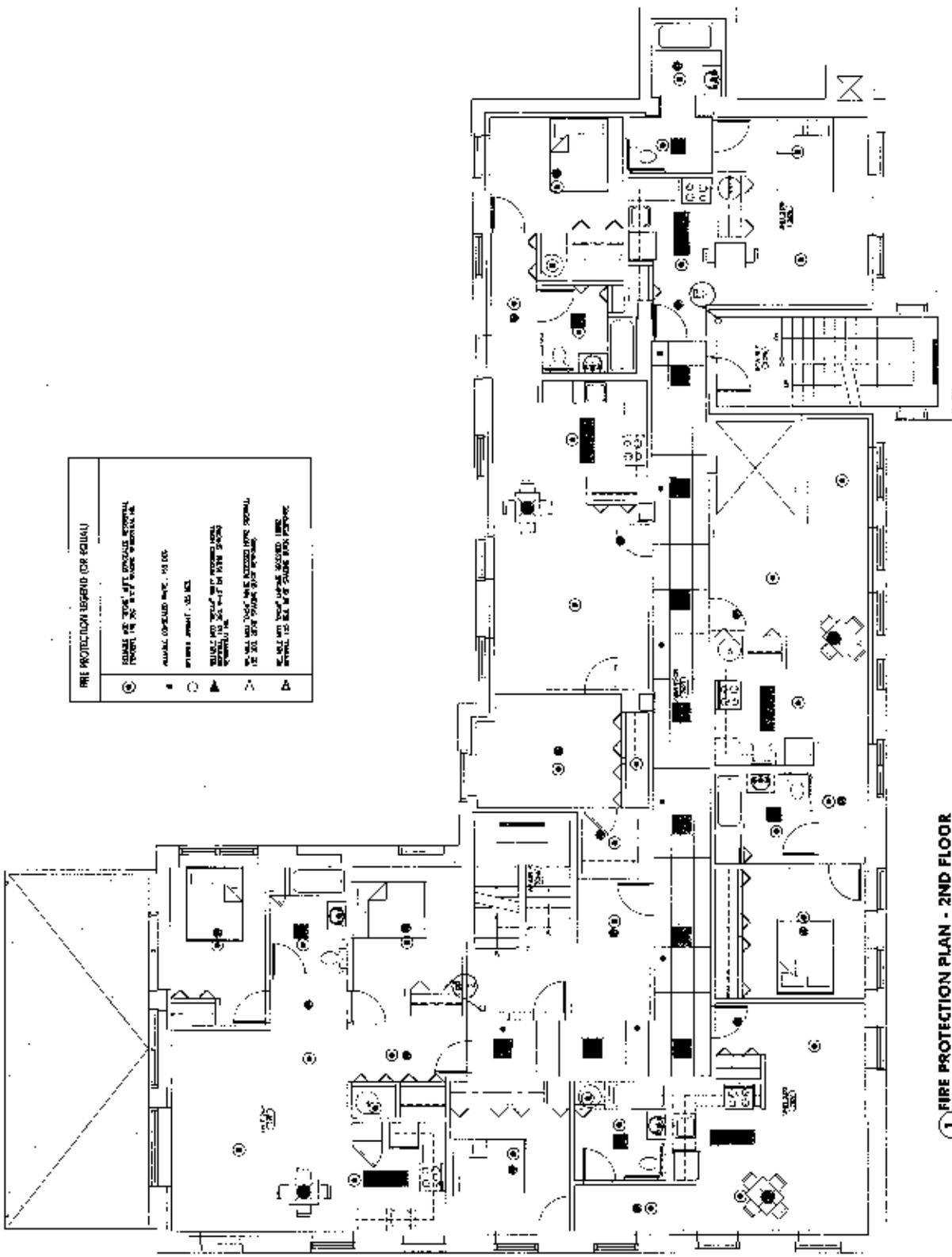
FP-210 FIRE PROTECTION PLAN
 101 S. 10th STREET
 APT. 101
 101 S. 10th STREET
 APT. 101



FIRE PROTECTION (LEGEND OR EQUIVA)
 (C) FIRE PROTECTION (LEGEND OR EQUIVA)
 (D) FIRE PROTECTION (LEGEND OR EQUIVA)
 (E) FIRE PROTECTION (LEGEND OR EQUIVA)
 (F) FIRE PROTECTION (LEGEND OR EQUIVA)
 (G) FIRE PROTECTION (LEGEND OR EQUIVA)
 (H) FIRE PROTECTION (LEGEND OR EQUIVA)
 (I) FIRE PROTECTION (LEGEND OR EQUIVA)
 (J) FIRE PROTECTION (LEGEND OR EQUIVA)

1 FIRE PROTECTION PLAN - 1ST FLOOR
 101 S. 10th Street
 APT. 101

101 S. 10th Street



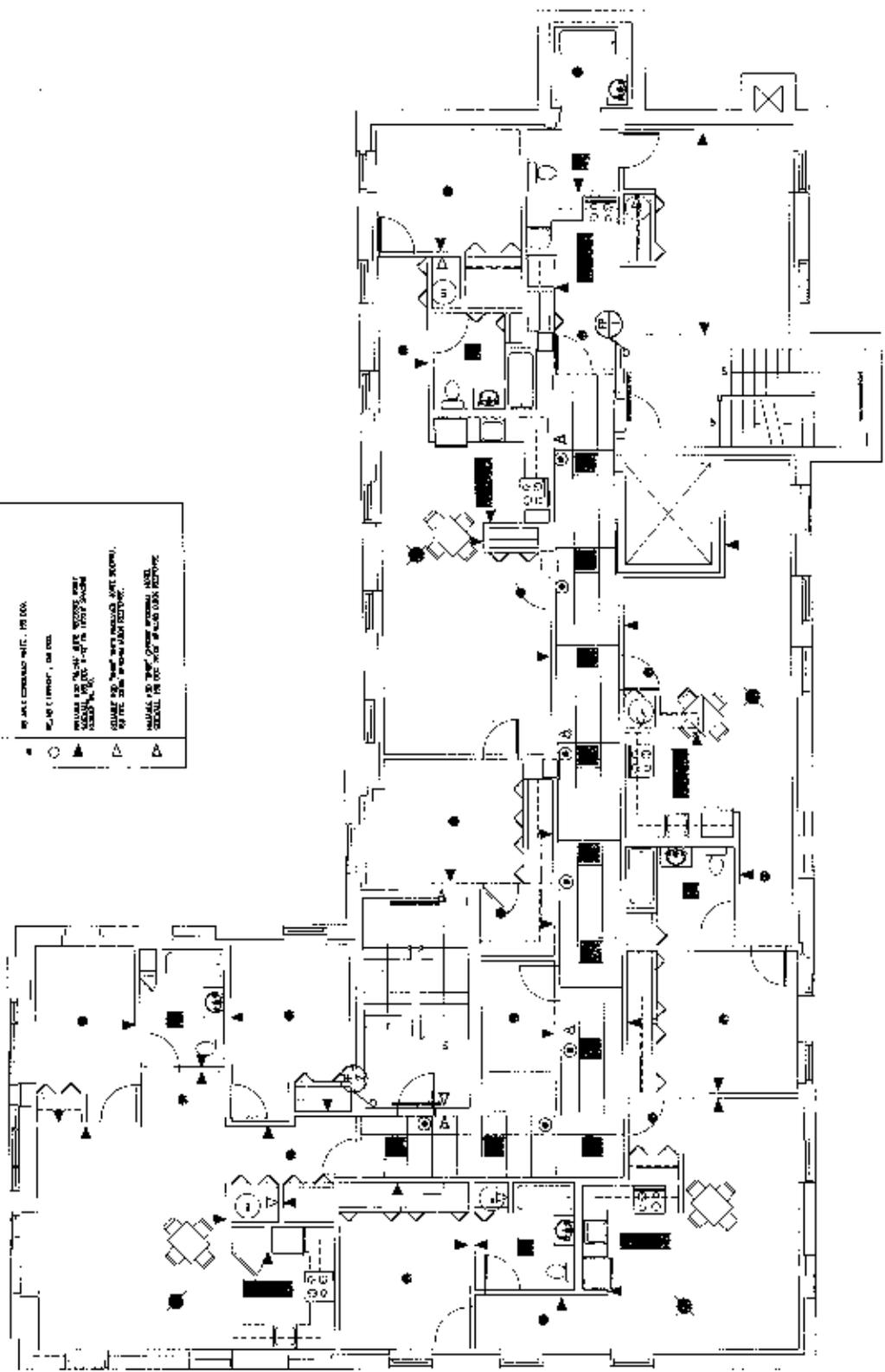
FIRE PROTECTION LEGEND (FOR SCHAU)

☉	STAIRS AND TOWERS, LEFT BRANCHES, EXTERNAL EXITS, OR 20' x 20' OR LARGER ROOMS
●	STAIRS AND TOWERS, LEFT BRANCHES, EXTERNAL EXITS, OR 20' x 20' OR LARGER ROOMS
○	STAIRS AND TOWERS, LEFT BRANCHES, EXTERNAL EXITS, OR 20' x 20' OR LARGER ROOMS
▲	STAIRS AND TOWERS, LEFT BRANCHES, EXTERNAL EXITS, OR 20' x 20' OR LARGER ROOMS
△	STAIRS AND TOWERS, LEFT BRANCHES, EXTERNAL EXITS, OR 20' x 20' OR LARGER ROOMS
▲	STAIRS AND TOWERS, LEFT BRANCHES, EXTERNAL EXITS, OR 20' x 20' OR LARGER ROOMS

1 FIRE PROTECTION PLAN - 2ND FLOOR

FIRE PROTECTION LEGEND (SEE EQUAL)

- ① MANUAL FIRE ALARM BOX
- ② FIRE ALARM CONTROL UNIT - SEE DATA SHEET
- ③ FIRE ALARM CONTROL UNIT - SEE DATA SHEET
- ④ FIRE ALARM CONTROL UNIT - SEE DATA SHEET
- ⑤ FIRE ALARM CONTROL UNIT - SEE DATA SHEET
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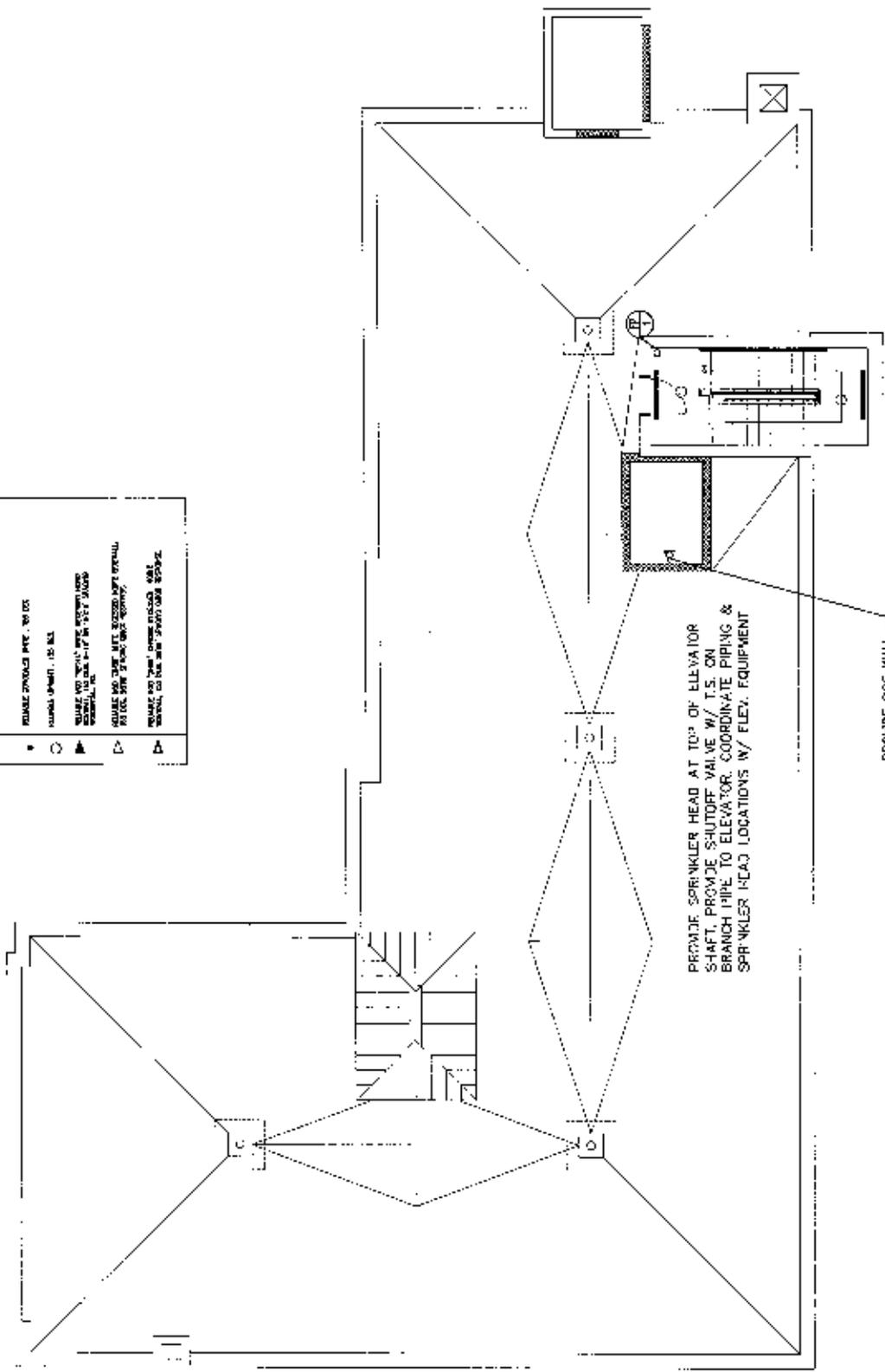


1 FIRE PROTECTION PLAN - 4TH FLOOR
 101 S. 4TH STREET

10/15/10

FIRE PROTECTION LEGEND (OR EQUIVA)

	INDICATE THE WATER SUPPLY SOURCE AND/OR POINT OF ENTRY TO THE BUILDING
	INDICATE SPRINKLER RISE TO THE
	INDICATE SHUT-OFF VALVE
	INDICATE THE LOCATION OF THE SPRINKLER HEAD
	INDICATE THE LOCATION OF THE SPRINKLER HEAD
	INDICATE THE LOCATION OF THE SPRINKLER HEAD
	INDICATE THE LOCATION OF THE SPRINKLER HEAD



1 FIRE PROTECTION PLAN - ROOF

PLUMBING NOTES

1. GENERAL NOTES SHALL BE IN ACCORDANCE WITH THE SCHEDULES AND SPECIFICATIONS.
2. PROVIDE THE NECESSARY SUPPORTS AND BRACKETS FOR ALL PIPING.
3. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE SCHEDULES AND SPECIFICATIONS.
4. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE SCHEDULES AND SPECIFICATIONS.
5. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE SCHEDULES AND SPECIFICATIONS.
6. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE SCHEDULES AND SPECIFICATIONS.
7. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE SCHEDULES AND SPECIFICATIONS.
8. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE SCHEDULES AND SPECIFICATIONS.
9. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE SCHEDULES AND SPECIFICATIONS.
10. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE SCHEDULES AND SPECIFICATIONS.

PLUMBING SPECIFICATIONS

ALL PIPING AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE SCHEDULES AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

PLUMBING LEGEND

SYMBOL	DESCRIPTION
○	WATER HEATER
□	WATER HEATER
△	WATER HEATER
◇	WATER HEATER
▽	WATER HEATER
◇	WATER HEATER
▽	WATER HEATER
◇	WATER HEATER
▽	WATER HEATER
◇	WATER HEATER
▽	WATER HEATER

PLUMBING FIXTURE SCHEDULE

ITEM NO.	DESCRIPTION	TYPE	MANUFACTURER'S NO.	MODEL NO.	MATERIAL	NOTE	FINISH	PLUMBING SYMBOL	QUANTITY	UNIT	REMARKS
1	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	1	EA	WATER HEATER
2	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	1	EA	WATER HEATER
3	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	1	EA	WATER HEATER
4	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	1	EA	WATER HEATER
5	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	1	EA	WATER HEATER
6	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	1	EA	WATER HEATER
7	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	1	EA	WATER HEATER
8	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	1	EA	WATER HEATER
9	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	1	EA	WATER HEATER
10	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	WATER HEATER	1	EA	WATER HEATER

SUMP PUMP SCHEDULE

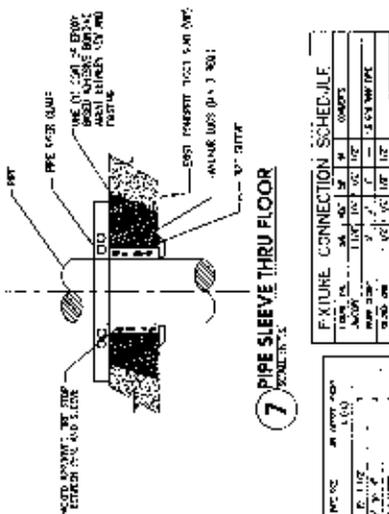
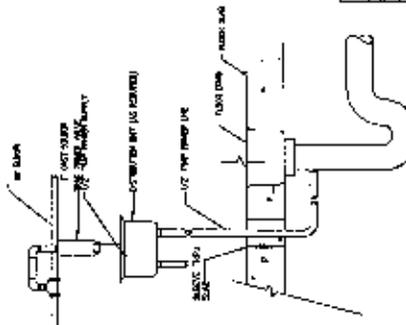
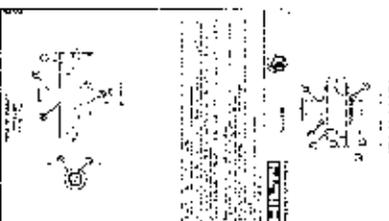
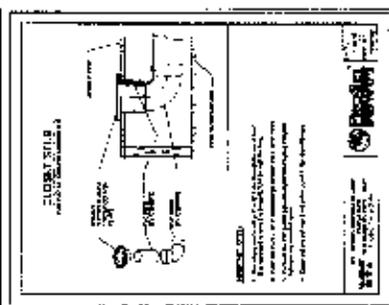
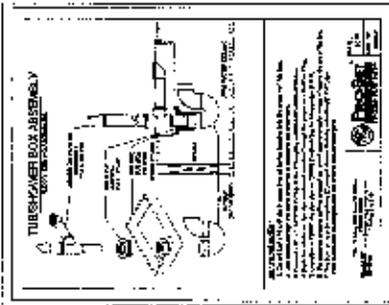
ITEM NO.	DESCRIPTION	TYPE	MANUFACTURER'S NO.	MODEL NO.	MATERIAL	NOTE	PLUMBING SYMBOL	QUANTITY	UNIT	REMARKS
1	SUMP PUMP	SUMP PUMP	SUMP PUMP	SUMP PUMP	SUMP PUMP	SUMP PUMP	SUMP PUMP	1	EA	SUMP PUMP

ELECTRIC WATER HEATER SCHEDULE

ITEM NO.	DESCRIPTION	TYPE	MANUFACTURER'S NO.	MODEL NO.	MATERIAL	NOTE	PLUMBING SYMBOL	QUANTITY	UNIT	REMARKS
1	ELECTRIC WATER HEATER	1	EA	ELECTRIC WATER HEATER						

WATER HEATER SYSTEM SCHEDULE

ITEM NO.	DESCRIPTION	TYPE	MANUFACTURER'S NO.	MODEL NO.	MATERIAL	NOTE	PLUMBING SYMBOL	QUANTITY	UNIT	REMARKS
1	WATER HEATER SYSTEM	1	EA	WATER HEATER SYSTEM						

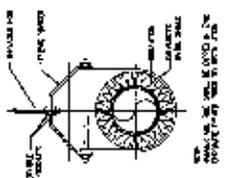


7 PIPE SLEEVE THRU FLOOR

FEATURE CONNECTION SCHEDULE

TYPE	NO.	DESCRIPTION	NO.	DESCRIPTION
1	1	1/2" DIA. PIPE	1	1/2" DIA. PIPE
2	2	3/4" DIA. PIPE	2	3/4" DIA. PIPE
3	3	1" DIA. PIPE	3	1" DIA. PIPE
4	4	1 1/4" DIA. PIPE	4	1 1/4" DIA. PIPE
5	5	2" DIA. PIPE	5	2" DIA. PIPE
6	6	2 1/2" DIA. PIPE	6	2 1/2" DIA. PIPE
7	7	3" DIA. PIPE	7	3" DIA. PIPE
8	8	4" DIA. PIPE	8	4" DIA. PIPE
9	9	6" DIA. PIPE	9	6" DIA. PIPE
10	10	8" DIA. PIPE	10	8" DIA. PIPE
11	11	10" DIA. PIPE	11	10" DIA. PIPE
12	12	12" DIA. PIPE	12	12" DIA. PIPE
13	13	14" DIA. PIPE	13	14" DIA. PIPE
14	14	16" DIA. PIPE	14	16" DIA. PIPE
15	15	18" DIA. PIPE	15	18" DIA. PIPE
16	16	20" DIA. PIPE	16	20" DIA. PIPE
17	17	24" DIA. PIPE	17	24" DIA. PIPE
18	18	30" DIA. PIPE	18	30" DIA. PIPE
19	19	36" DIA. PIPE	19	36" DIA. PIPE
20	20	42" DIA. PIPE	20	42" DIA. PIPE
21	21	48" DIA. PIPE	21	48" DIA. PIPE
22	22	54" DIA. PIPE	22	54" DIA. PIPE
23	23	60" DIA. PIPE	23	60" DIA. PIPE
24	24	72" DIA. PIPE	24	72" DIA. PIPE
25	25	84" DIA. PIPE	25	84" DIA. PIPE
26	26	96" DIA. PIPE	26	96" DIA. PIPE
27	27	108" DIA. PIPE	27	108" DIA. PIPE
28	28	120" DIA. PIPE	28	120" DIA. PIPE
29	29	144" DIA. PIPE	29	144" DIA. PIPE
30	30	168" DIA. PIPE	30	168" DIA. PIPE
31	31	192" DIA. PIPE	31	192" DIA. PIPE
32	32	216" DIA. PIPE	32	216" DIA. PIPE
33	33	240" DIA. PIPE	33	240" DIA. PIPE
34	34	270" DIA. PIPE	34	270" DIA. PIPE
35	35	300" DIA. PIPE	35	300" DIA. PIPE
36	36	360" DIA. PIPE	36	360" DIA. PIPE
37	37	420" DIA. PIPE	37	420" DIA. PIPE
38	38	480" DIA. PIPE	38	480" DIA. PIPE
39	39	540" DIA. PIPE	39	540" DIA. PIPE
40	40	600" DIA. PIPE	40	600" DIA. PIPE

8 TYPICAL INSULATED PIPE SUPPORT

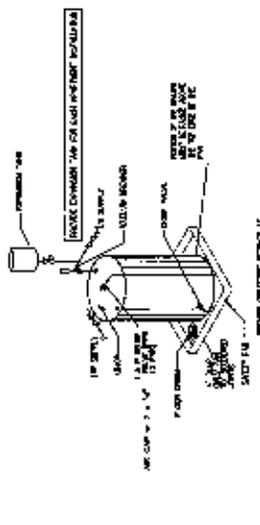


PIPE CONNECTION SCHEDULE

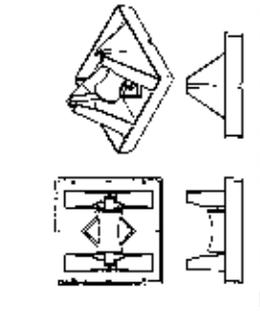
TYPE	NO.	DESCRIPTION	NO.	DESCRIPTION
1	1	1/2" DIA. PIPE	1	1/2" DIA. PIPE
2	2	3/4" DIA. PIPE	2	3/4" DIA. PIPE
3	3	1" DIA. PIPE	3	1" DIA. PIPE
4	4	1 1/4" DIA. PIPE	4	1 1/4" DIA. PIPE
5	5	2" DIA. PIPE	5	2" DIA. PIPE
6	6	2 1/2" DIA. PIPE	6	2 1/2" DIA. PIPE
7	7	3" DIA. PIPE	7	3" DIA. PIPE
8	8	4" DIA. PIPE	8	4" DIA. PIPE
9	9	6" DIA. PIPE	9	6" DIA. PIPE
10	10	8" DIA. PIPE	10	8" DIA. PIPE
11	11	10" DIA. PIPE	11	10" DIA. PIPE
12	12	12" DIA. PIPE	12	12" DIA. PIPE
13	13	14" DIA. PIPE	13	14" DIA. PIPE
14	14	16" DIA. PIPE	14	16" DIA. PIPE
15	15	18" DIA. PIPE	15	18" DIA. PIPE
16	16	20" DIA. PIPE	16	20" DIA. PIPE
17	17	24" DIA. PIPE	17	24" DIA. PIPE
18	18	30" DIA. PIPE	18	30" DIA. PIPE
19	19	36" DIA. PIPE	19	36" DIA. PIPE
20	20	42" DIA. PIPE	20	42" DIA. PIPE
21	21	48" DIA. PIPE	21	48" DIA. PIPE
22	22	54" DIA. PIPE	22	54" DIA. PIPE
23	23	60" DIA. PIPE	23	60" DIA. PIPE
24	24	72" DIA. PIPE	24	72" DIA. PIPE
25	25	84" DIA. PIPE	25	84" DIA. PIPE
26	26	96" DIA. PIPE	26	96" DIA. PIPE
27	27	108" DIA. PIPE	27	108" DIA. PIPE
28	28	120" DIA. PIPE	28	120" DIA. PIPE
29	29	144" DIA. PIPE	29	144" DIA. PIPE
30	30	168" DIA. PIPE	30	168" DIA. PIPE
31	31	192" DIA. PIPE	31	192" DIA. PIPE
32	32	216" DIA. PIPE	32	216" DIA. PIPE
33	33	240" DIA. PIPE	33	240" DIA. PIPE
34	34	270" DIA. PIPE	34	270" DIA. PIPE
35	35	300" DIA. PIPE	35	300" DIA. PIPE
36	36	360" DIA. PIPE	36	360" DIA. PIPE
37	37	420" DIA. PIPE	37	420" DIA. PIPE
38	38	480" DIA. PIPE	38	480" DIA. PIPE
39	39	540" DIA. PIPE	39	540" DIA. PIPE
40	40	600" DIA. PIPE	40	600" DIA. PIPE



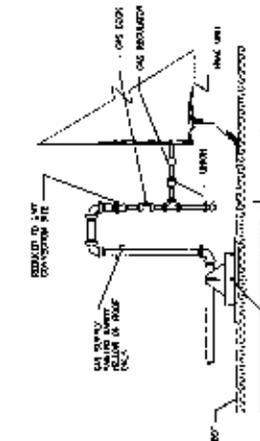
9 TYPICAL BRANCH TAKE-OFF



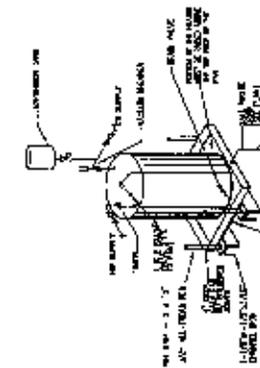
11 ELECTRIC WATER HEATER EWH-2 & FLOOR DRAIN DETAIL



12 DETAIL OF PIPE ON ROOF

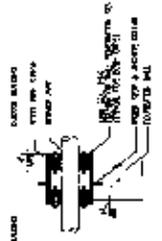


13 GAS SUPPORT DETAIL



14 ELECTRIC WATER HEATER EWH-1 DETAIL

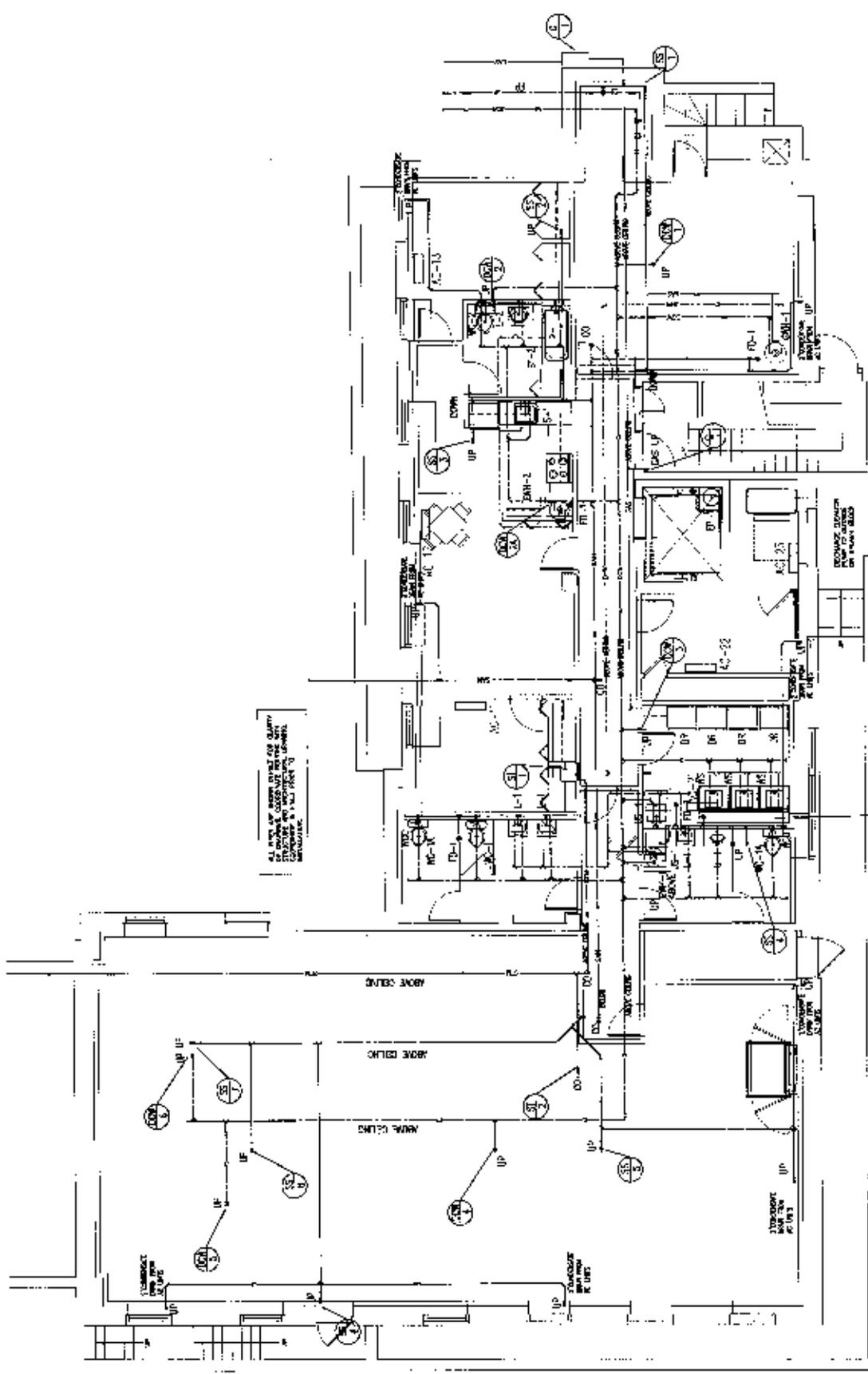
10 PIPE PENETRATION - BELOW GRADE



APARTMENT 9
 97 SOUTH 9TH STREET
 NOLA, LA, 70112



APPROVED FOR THE CITY OF NEW ORLEANS
 PLUMBING DEPARTMENT
 DATE: 12/15/12

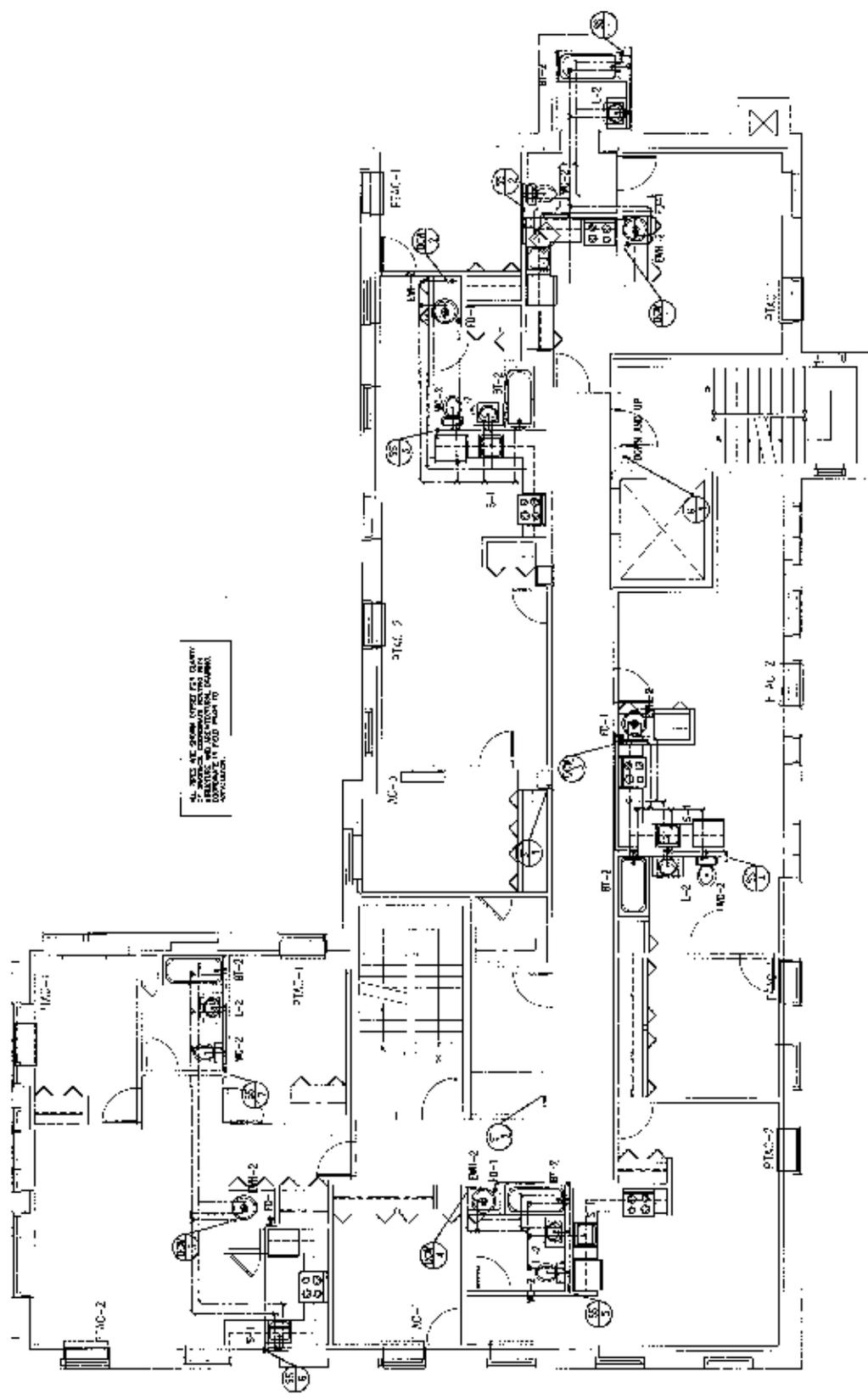


ALL WORK TO BE DONE IN THE QUARTER
 STRUCTURE AND WORKING UNDER
 EXISTING.

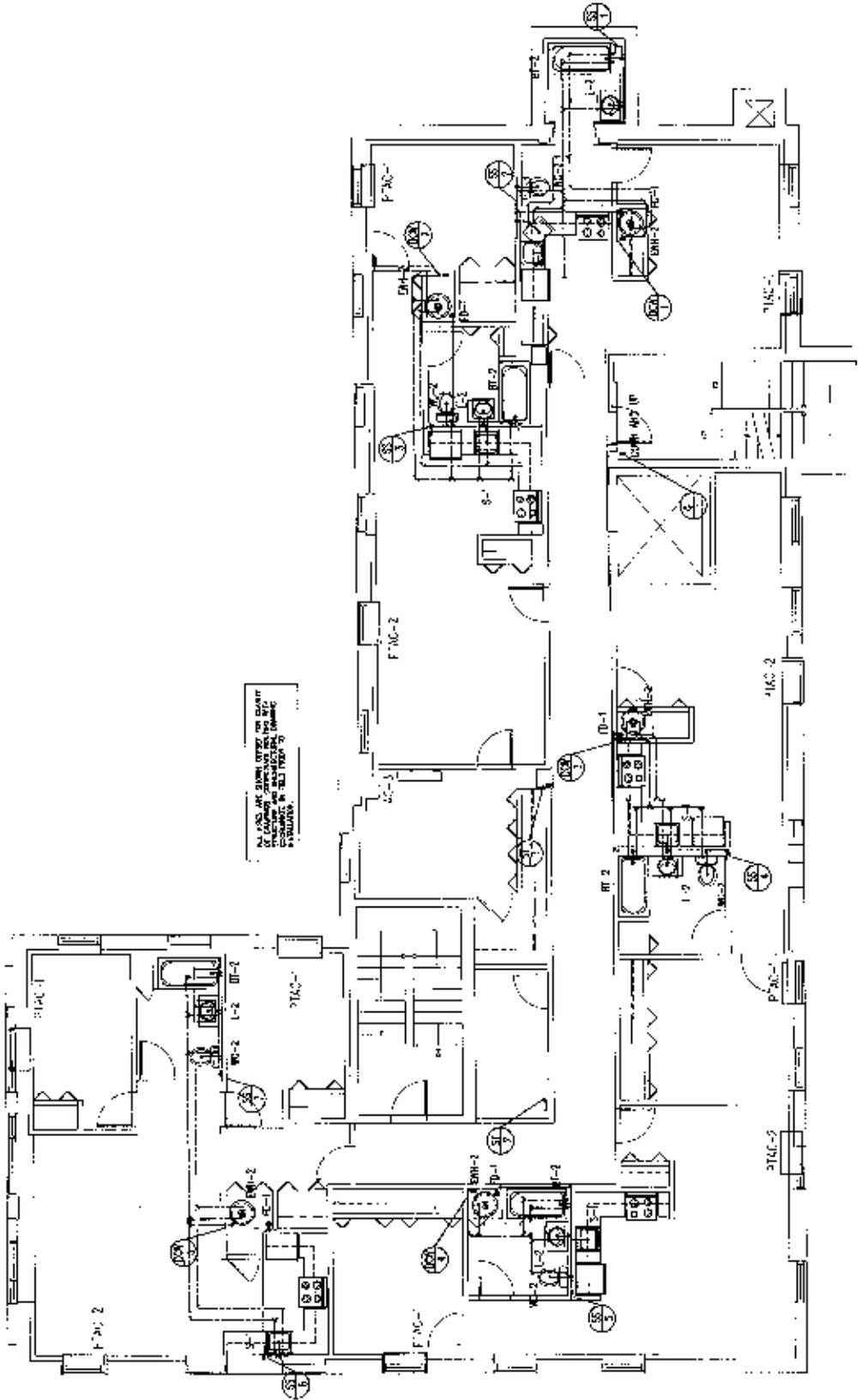
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS PLUMBING CODE AND ALL APPLICABLE MANUFACTURER'S REQUIREMENTS.

1 PLUMBING PLAN - BASEMENT

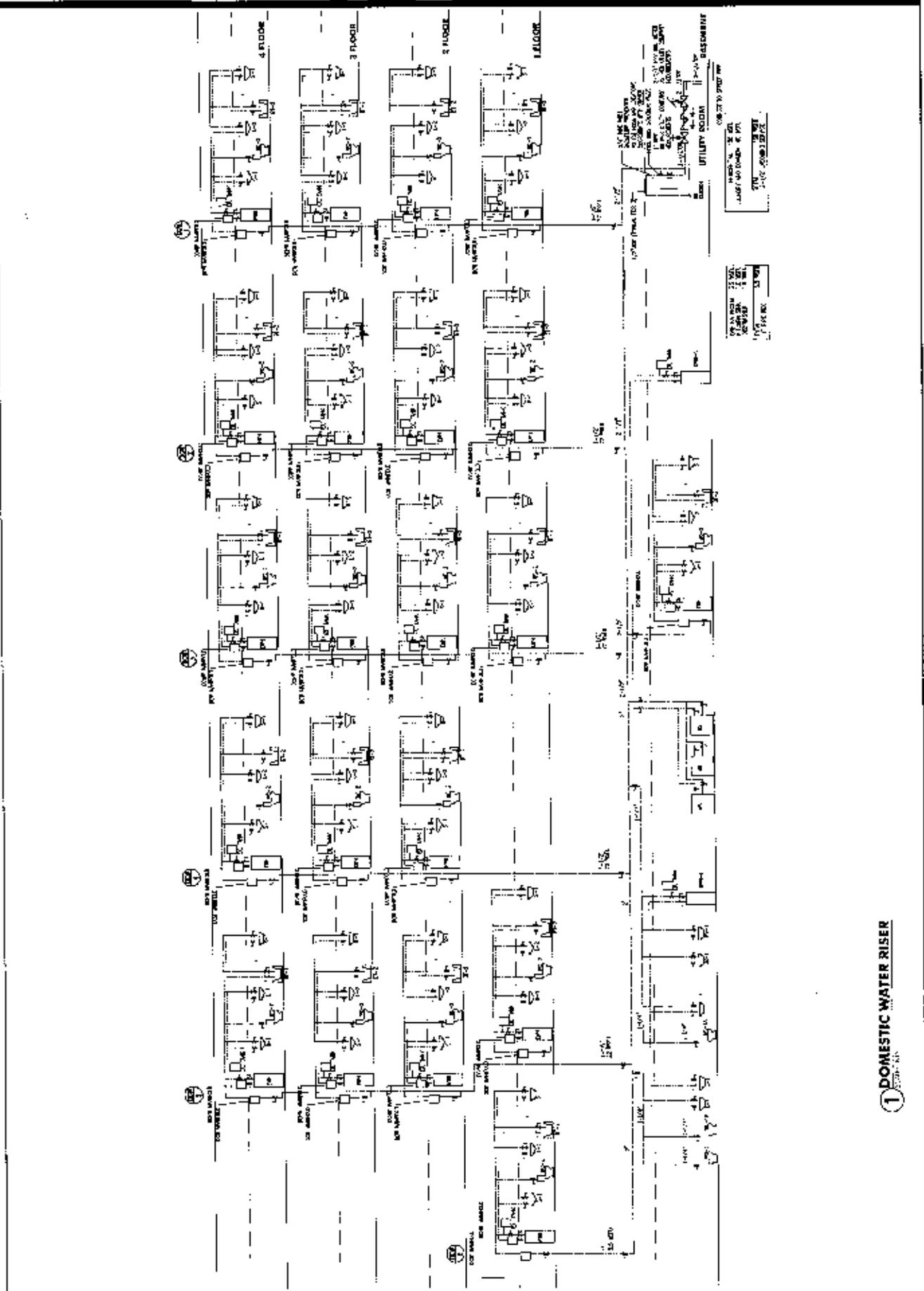
DATE: 10/1/10
SCALE: 1/8" = 1'-0"
PROJECT: 121 S. 10TH STREET
APARTMENTS
NEWTON, NJ
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]



1 PLUMBING PLAN - 3RD FLOOR
SCALE: 1/8" = 1'-0"



1 PLUMBING PLAN - 4TH FLOOR



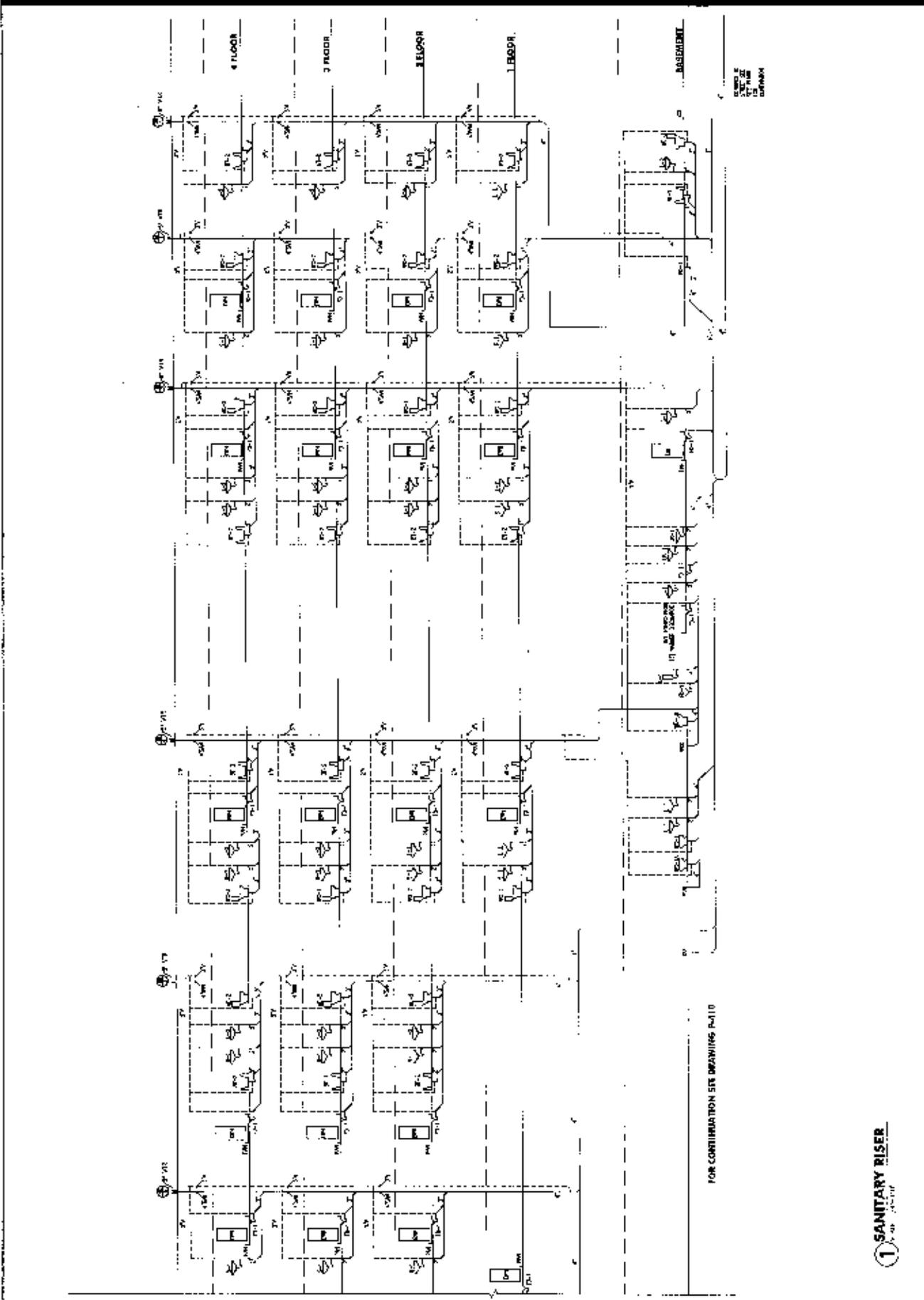
ROOF 4
ROOF 3
ROOF 2
ROOF 1

1/2" DIA. WATER
1/2" DIA. WATER
1/2" DIA. WATER
1/2" DIA. WATER

1 DOMESTIC WATER RISER

1 SANITARY RISER

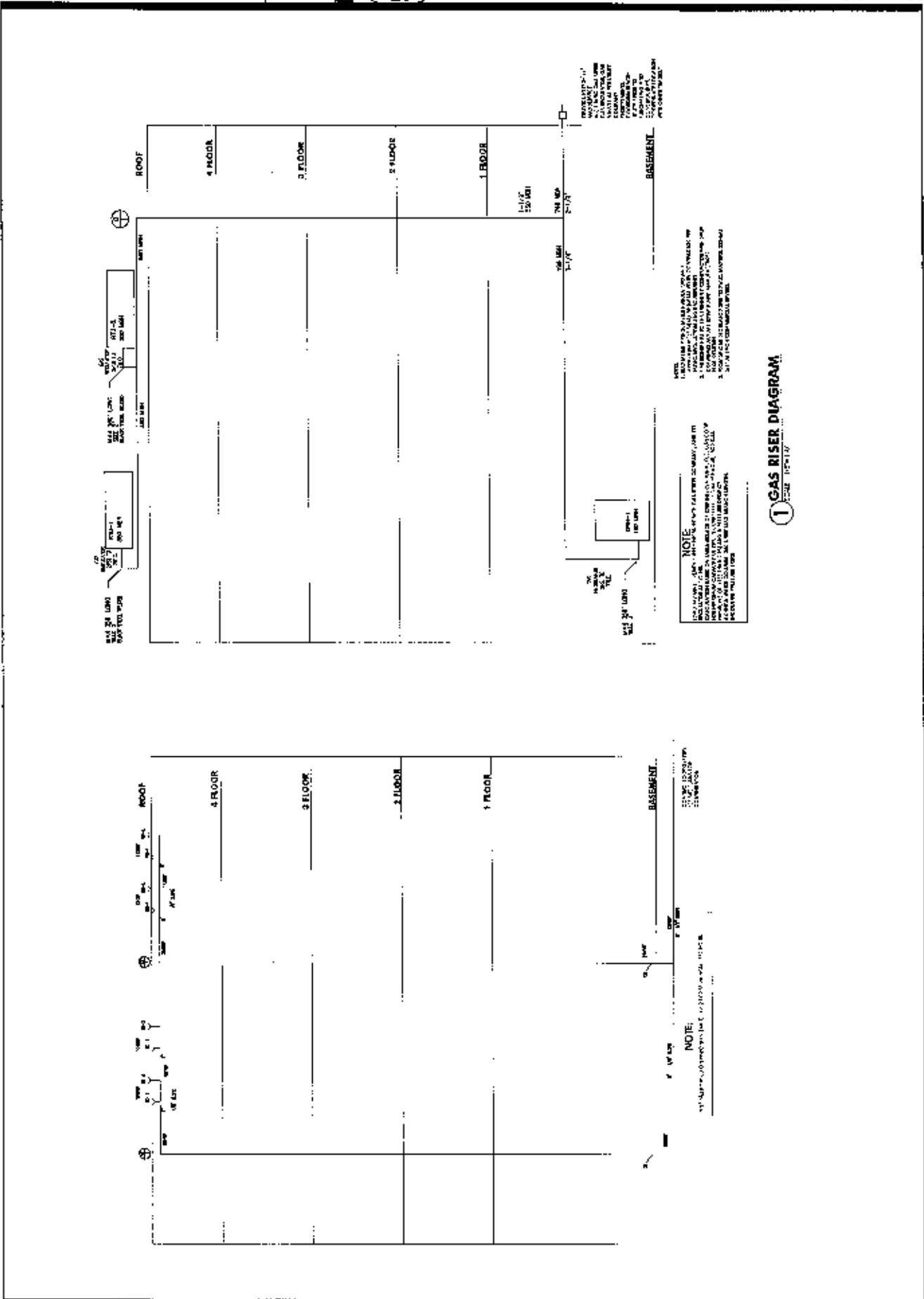
FOR CONTINUATION SEE DRAWINGS P-110



219 APARTMENTS
1919 1/2 STREET
NEW YORK, NY



219 GROUP
100 WEST 17th STREET
NEW YORK, NY 10011



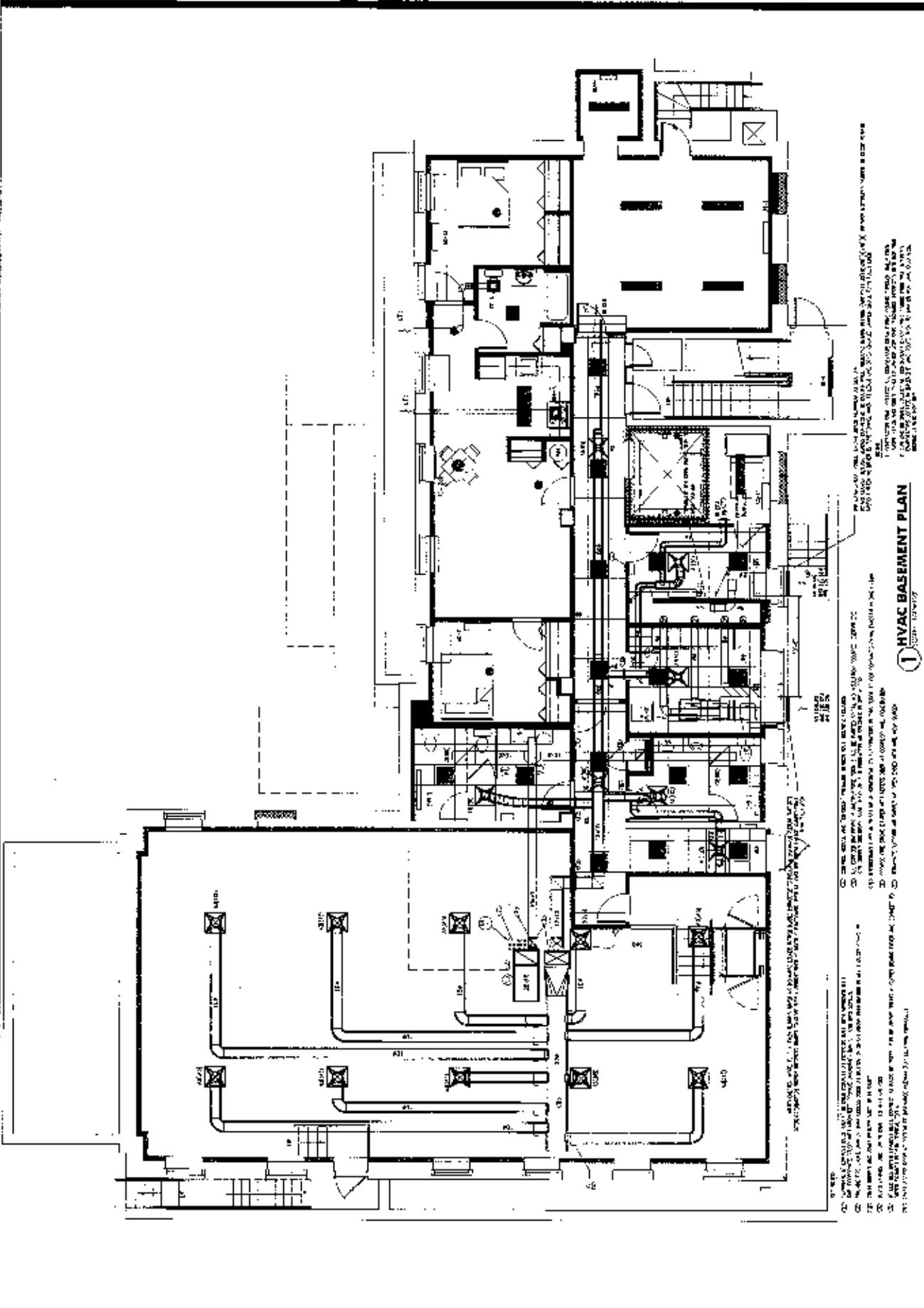
NOTE:
1. ALL GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES, 54 AND 58.
2. ALL GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES, 54 AND 58.
3. ALL GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES, 54 AND 58.

NOTE:
1. ALL GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES, 54 AND 58.
2. ALL GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES, 54 AND 58.
3. ALL GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES, 54 AND 58.

1 GAS RISER DIAGRAM



CTS GROUP
1000 Hennepin Avenue, Suite 1000
Minneapolis, MN 55402
Phone: 612.338.1000
Fax: 612.338.1001
www.ctsgroup.com

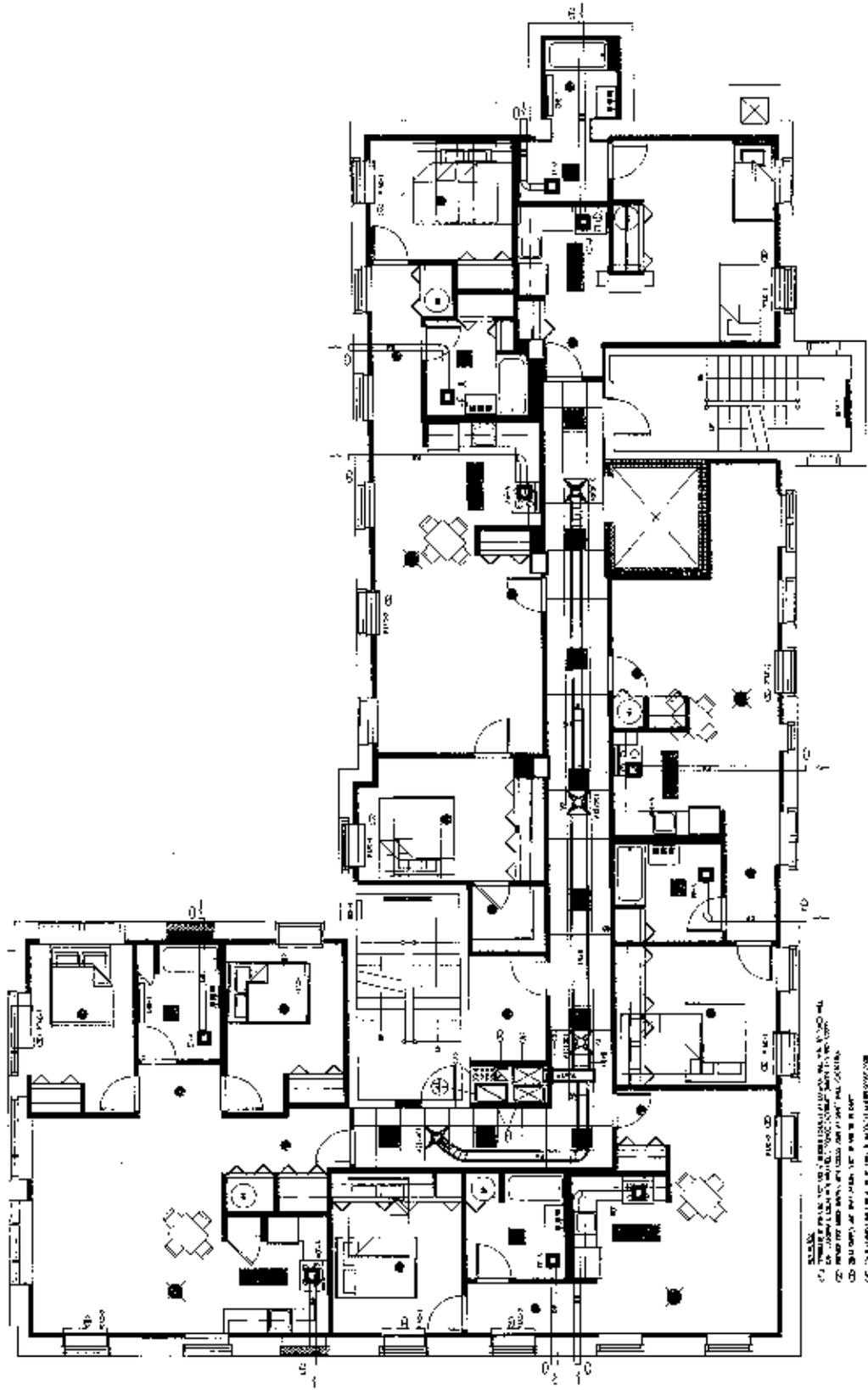


1. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2009 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2009 INTERNATIONAL RESIDENTIAL CODE (IRC).
2. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2009 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2009 INTERNATIONAL RESIDENTIAL CODE (IRC).
3. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2009 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2009 INTERNATIONAL RESIDENTIAL CODE (IRC).
4. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2009 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2009 INTERNATIONAL RESIDENTIAL CODE (IRC).
5. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2009 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2009 INTERNATIONAL RESIDENTIAL CODE (IRC).
6. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2009 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2009 INTERNATIONAL RESIDENTIAL CODE (IRC).
7. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2009 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2009 INTERNATIONAL RESIDENTIAL CODE (IRC).
8. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2009 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2009 INTERNATIONAL RESIDENTIAL CODE (IRC).
9. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2009 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2009 INTERNATIONAL RESIDENTIAL CODE (IRC).
10. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2009 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2009 INTERNATIONAL RESIDENTIAL CODE (IRC).

1 HVAC BASEMENT PLAN
12/15/07



FARMER GROUP
ARCHITECTS
101 S. LOUISE AVENUE
MEMPHIS, TN 38103
PH: 901.525.1111
WWW.FARMERGROUP.COM

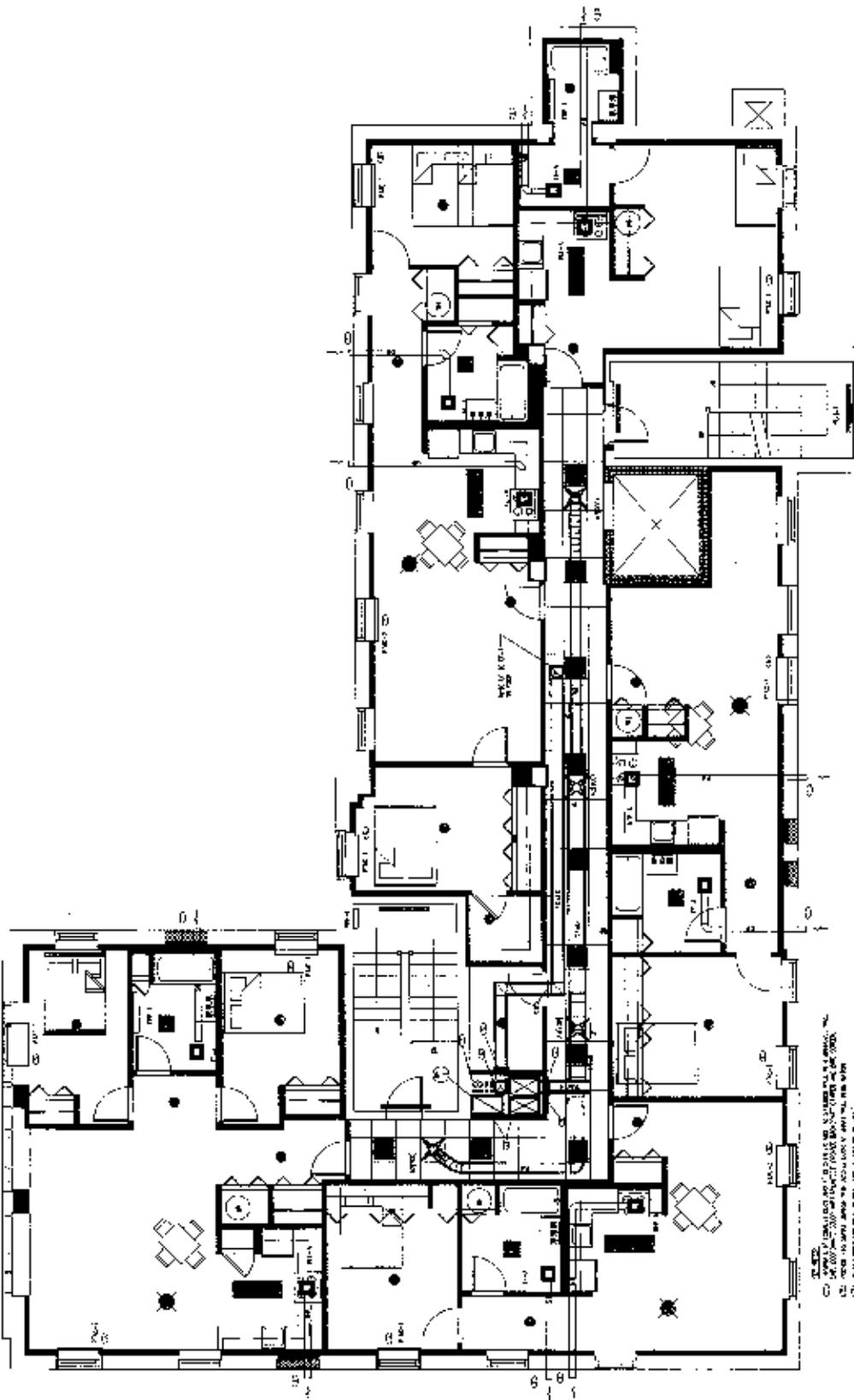


1 HVAC 3RD FLOOR PLAN

- REVISIONS:
- 01. CORRECTED ROOM SIZES TO MATCH ARCH. FLOOR PLAN
 - 02. ADDED ROOM SIZES TO MATCH ARCH. FLOOR PLAN
 - 03. ADDED ROOM SIZES TO MATCH ARCH. FLOOR PLAN
 - 04. ADDED ROOM SIZES TO MATCH ARCH. FLOOR PLAN
 - 05. ADDED ROOM SIZES TO MATCH ARCH. FLOOR PLAN
 - 06. ADDED ROOM SIZES TO MATCH ARCH. FLOOR PLAN
 - 07. ADDED ROOM SIZES TO MATCH ARCH. FLOOR PLAN
 - 08. ADDED ROOM SIZES TO MATCH ARCH. FLOOR PLAN
 - 09. ADDED ROOM SIZES TO MATCH ARCH. FLOOR PLAN
 - 10. ADDED ROOM SIZES TO MATCH ARCH. FLOOR PLAN

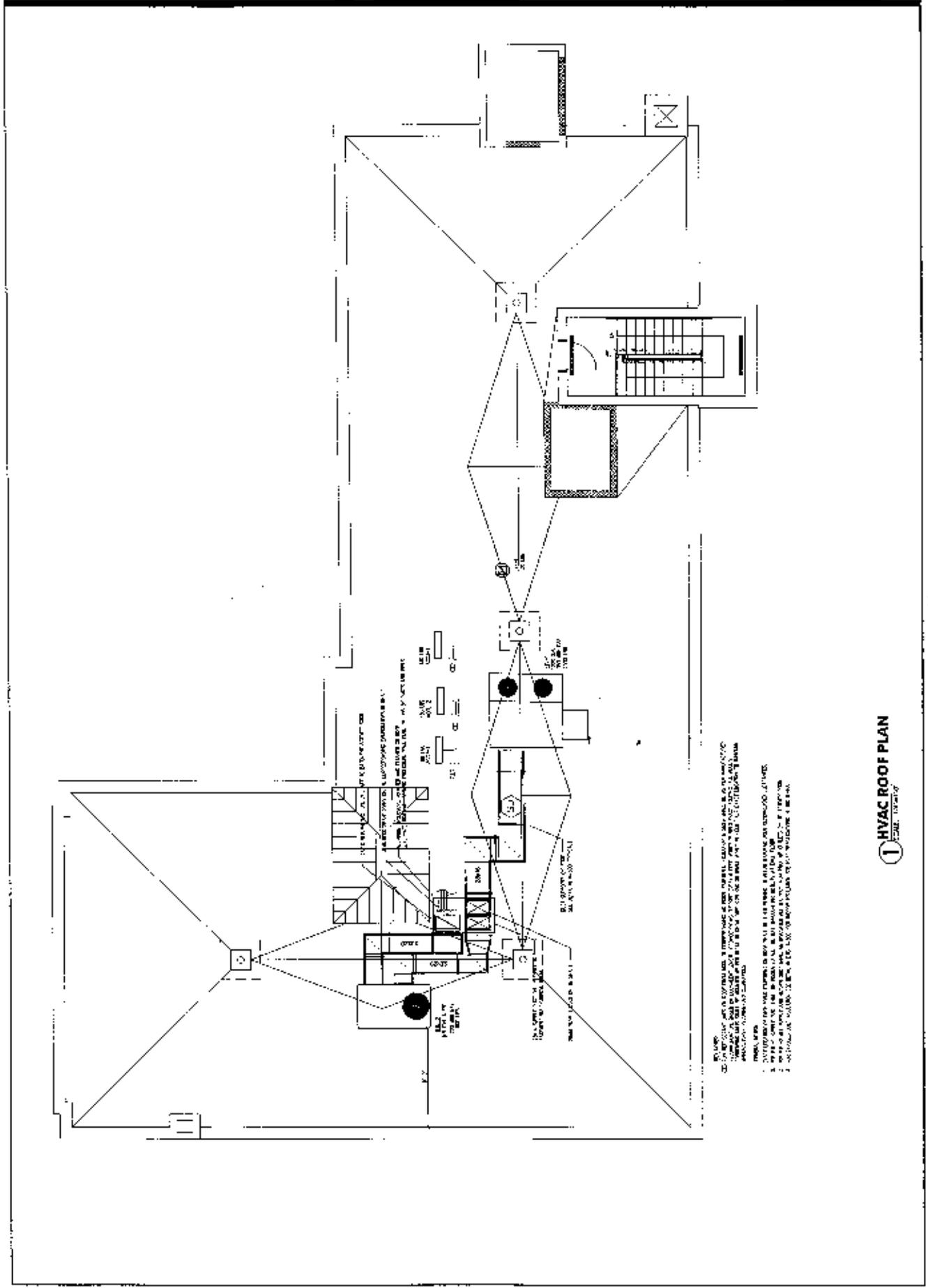


Address: 101 S. JOHN STREET
ALBANY, NY 12202
Phone: (518) 862-1111
Fax: (518) 862-1112
CIS 01047



① HVAC 4TH FLOOR PLAN
DATE: 1/27/88

- 1. ALL ROOMS TO BE VENTED TO THE OUTSIDE BY MEANS OF A ROOF CURB EXHAUST SYSTEM.
- 2. ROOMS TO BE VENTED TO THE OUTSIDE BY MEANS OF A ROOF CURB EXHAUST SYSTEM.
- 3. ALL ROOMS TO BE VENTED TO THE OUTSIDE BY MEANS OF A ROOF CURB EXHAUST SYSTEM.
- 4. ALL ROOMS TO BE VENTED TO THE OUTSIDE BY MEANS OF A ROOF CURB EXHAUST SYSTEM.
- 5. ALL ROOMS TO BE VENTED TO THE OUTSIDE BY MEANS OF A ROOF CURB EXHAUST SYSTEM.
- 6. ALL ROOMS TO BE VENTED TO THE OUTSIDE BY MEANS OF A ROOF CURB EXHAUST SYSTEM.
- 7. ALL ROOMS TO BE VENTED TO THE OUTSIDE BY MEANS OF A ROOF CURB EXHAUST SYSTEM.
- 8. ALL ROOMS TO BE VENTED TO THE OUTSIDE BY MEANS OF A ROOF CURB EXHAUST SYSTEM.



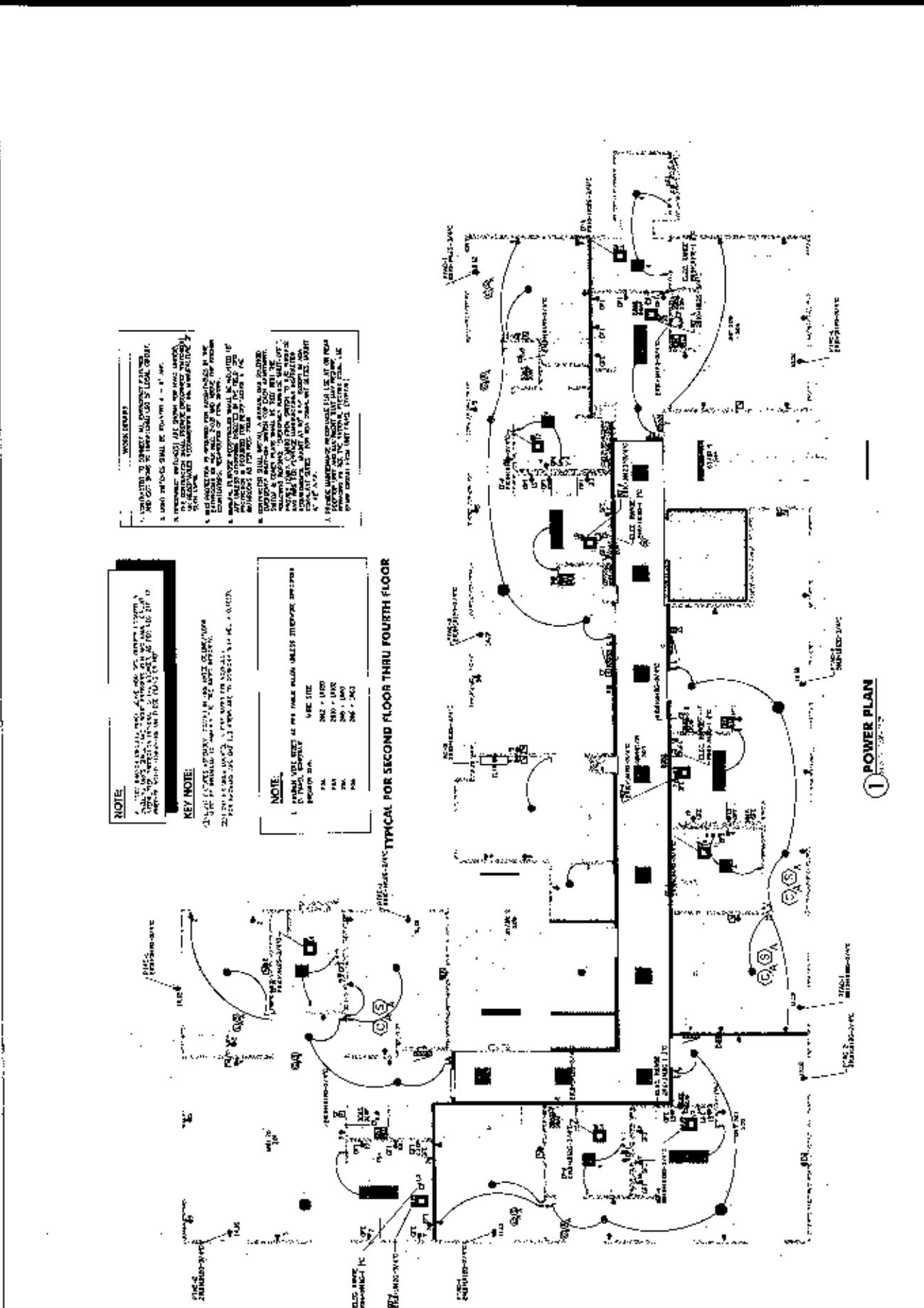
1. ALL UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 2. ALL UNITS SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE OR ON A STRUCTURAL STEEL DECK.
 3. ALL UNITS SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE OR ON A STRUCTURAL STEEL DECK.
 4. ALL UNITS SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE OR ON A STRUCTURAL STEEL DECK.
 5. ALL UNITS SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE OR ON A STRUCTURAL STEEL DECK.
 6. ALL UNITS SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE OR ON A STRUCTURAL STEEL DECK.
 7. ALL UNITS SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE OR ON A STRUCTURAL STEEL DECK.
 8. ALL UNITS SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE OR ON A STRUCTURAL STEEL DECK.
 9. ALL UNITS SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE OR ON A STRUCTURAL STEEL DECK.
 10. ALL UNITS SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE OR ON A STRUCTURAL STEEL DECK.

1 HVAC ROOF PLAN
 SCALE: 1/8" = 1'-0"



1/8" = 1'-0"
1/4" = 3'-0"
1/2" = 6'-0"
3/4" = 9'-0"
1" = 12'-0"

1/8" = 1'-0"
1/4" = 3'-0"
1/2" = 6'-0"
3/4" = 9'-0"
1" = 12'-0"



1 POWER PLAN

TYPICAL FOR SECOND FLOOR THRU FOURTH FLOOR

NOTE:
1. PANELS ARE TO BE INSTALLED IN THE FOLLOWING ROOMS UNLESS OTHERWISE SPECIFIED:
ELECTRICAL PANEL ROOM

ROOM NO.	WIRE SIZE
PAN	242 - 1/2"
PAN	243 - 1/2"
PAN	244 - 1/2"
PAN	245 - 1/2"
PAN	246 - 1/2"

KEY NOTE:
1. ALL ELECTRICAL RACEWAYS SHALL BE INSTALLED IN THE FOLLOWING ROOMS UNLESS OTHERWISE SPECIFIED:
ELECTRICAL PANEL ROOM

NOTE:
1. ALL ELECTRICAL RACEWAYS SHALL BE INSTALLED IN THE FOLLOWING ROOMS UNLESS OTHERWISE SPECIFIED:
ELECTRICAL PANEL ROOM

WORK NOTES:
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELECTRICAL PANELS AND EQUIPMENT WITH THE ARCHITECT AND THE ELECTRICAL ENGINEER BEFORE PROCEEDING WITH THE WORK.
2. ALL ELECTRICAL RACEWAYS SHALL BE INSTALLED IN THE FOLLOWING ROOMS UNLESS OTHERWISE SPECIFIED:
ELECTRICAL PANEL ROOM

4 STORY RESIDENTIAL BUILDING

RECEIPT SCHEDULE

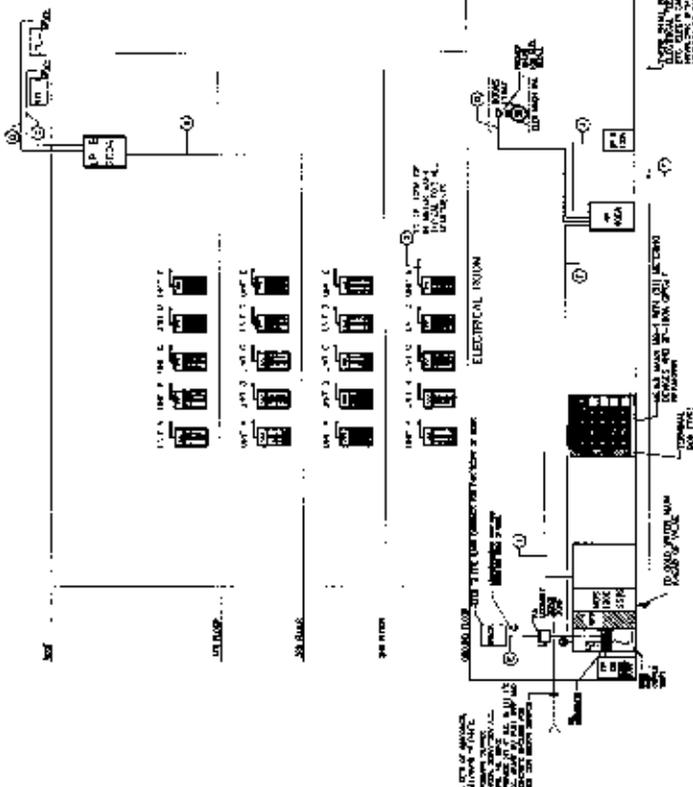
ITEM NUMBER	DESCRIPTION
①	4000-1000-1000-1000
②	4000-1000-1000-1000
③	4000-1000-1000-1000
④	4000-1000-1000-1000
⑤	4000-1000-1000-1000
⑥	4000-1000-1000-1000
⑦	4000-1000-1000-1000
⑧	4000-1000-1000-1000
⑨	4000-1000-1000-1000
⑩	4000-1000-1000-1000

GENERAL NOTES:

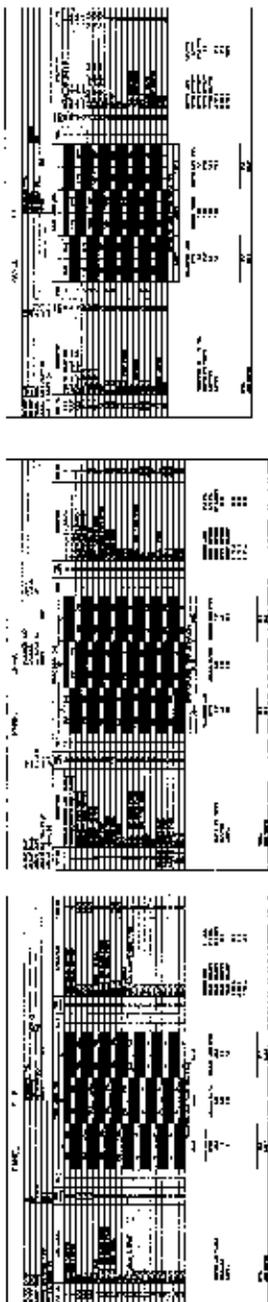
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL ELECTRICAL INSPECTOR.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. ALL ELECTRICAL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
7. ALL ELECTRICAL WORK SHALL BE TESTED AND DOCUMENTED.
8. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS.
9. ALL ELECTRICAL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

ELECTRICAL ROOM:

1. THE ELECTRICAL ROOM SHALL BE LOCATED AS SHOWN ON THE ATTACHED FLOOR PLAN.
2. THE ELECTRICAL ROOM SHALL BE VENTILATED AND KEPT DRY AT ALL TIMES.
3. THE ELECTRICAL ROOM SHALL BE ACCESSIBLE AT ALL TIMES.
4. THE ELECTRICAL ROOM SHALL BE KEPT CLEAR OF ALL OBSTRUCTIONS.
5. THE ELECTRICAL ROOM SHALL BE KEPT CLEAN AND FREE OF ALL DEBRIS.
6. THE ELECTRICAL ROOM SHALL BE KEPT LOCKED AT ALL TIMES.
7. THE ELECTRICAL ROOM SHALL BE KEPT SECURED AT ALL TIMES.
8. THE ELECTRICAL ROOM SHALL BE KEPT FREE OF ALL FLAMMABLE MATERIALS.
9. THE ELECTRICAL ROOM SHALL BE KEPT FREE OF ALL TOXIC MATERIALS.
10. THE ELECTRICAL ROOM SHALL BE KEPT FREE OF ALL HAZARDOUS MATERIALS.



ELECTRICAL RISER DIAGRAM



101 & 102 STREET
APARTMENTS
ELECTRICAL
SPECIFICATIONS &
PANEL SCHEDULES

101 & 102 STREET
APARTMENTS
ELECTRICAL
SPECIFICATIONS &
PANEL SCHEDULES

101 & 102 STREET
APARTMENTS
ELECTRICAL
SPECIFICATIONS &
PANEL SCHEDULES

101 & 102 STREET
APARTMENTS
ELECTRICAL
SPECIFICATIONS &
PANEL SCHEDULES

101 & 102 STREET
APARTMENTS
ELECTRICAL
SPECIFICATIONS &
PANEL SCHEDULES

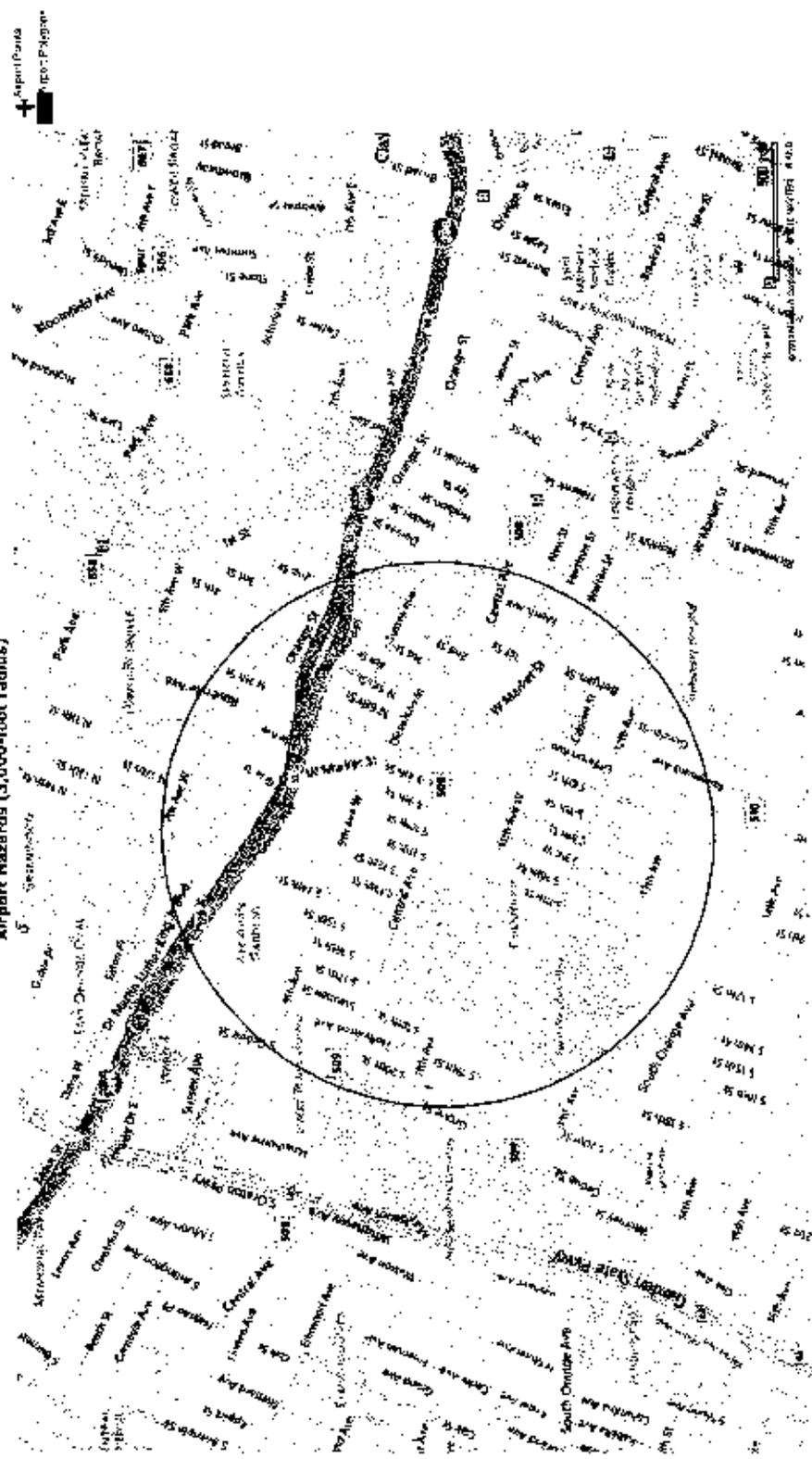
101 & 102 STREET
APARTMENTS
ELECTRICAL
SPECIFICATIONS &
PANEL SCHEDULES

101 & 102 STREET
APARTMENTS
ELECTRICAL
SPECIFICATIONS &
PANEL SCHEDULES

101 & 102 STREET
APARTMENTS
ELECTRICAL
SPECIFICATIONS &
PANEL SCHEDULES

SECTION F

Airport Hazards (3,000-foot radius)

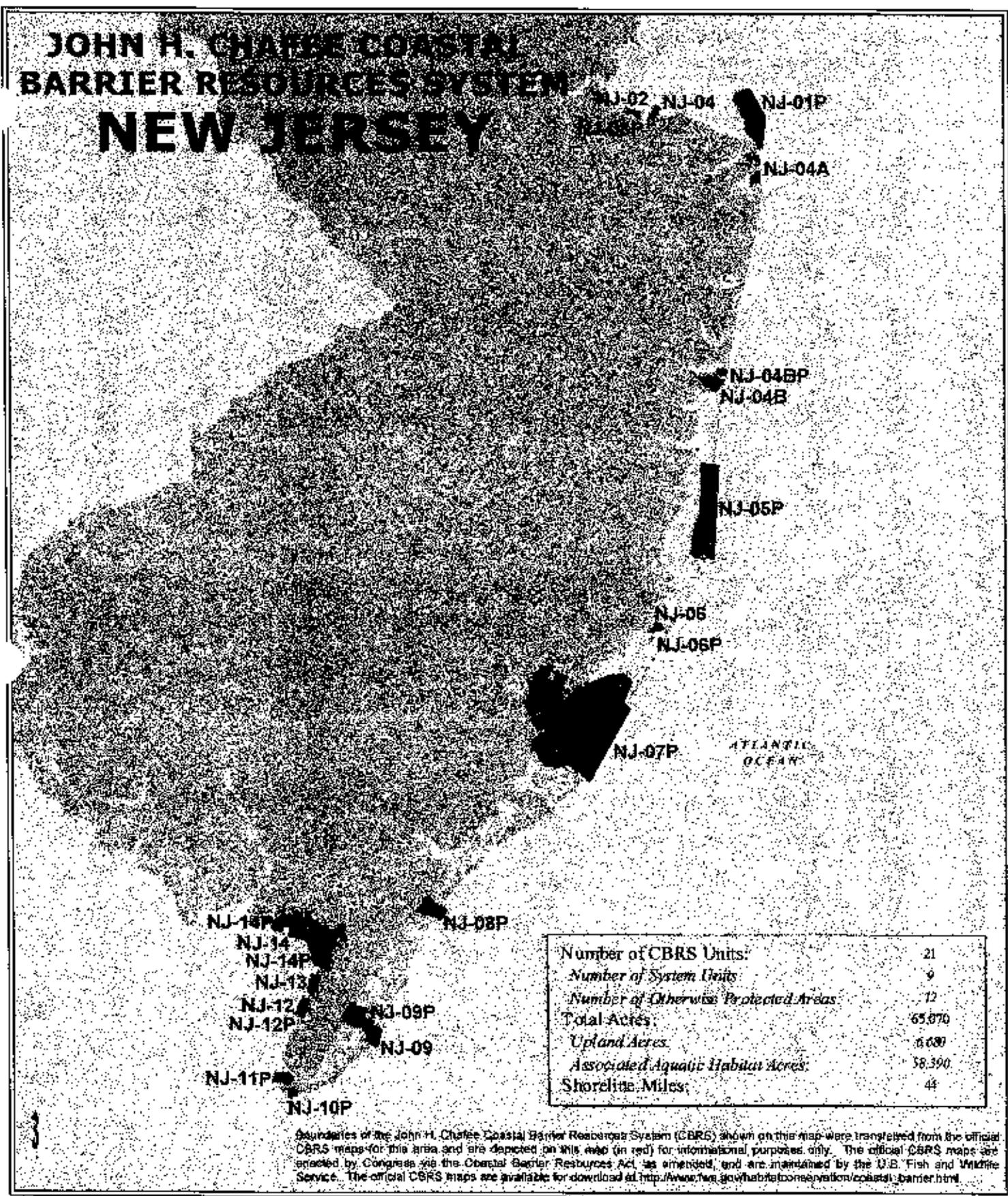


Airport Hazards (2.5-mile radius)

- ✈ Airport Hazards
- ▬ Airport Hazards



JOHN H. CHAFFEE COASTAL BARRIER RESOURCES SYSTEM NEW JERSEY



Boundaries of the John H. Chaffee Coastal Barrier Resources System (CBRS) shown on this map were transferred from the official CBRS maps for this area and are depicted on this map (in red) for informational purposes only. The official CBRS maps are enacted by Congress via the Coastal Barrier Resources Act, as amended, and are maintained by the U.S. Fish and Wildlife Service. The official CBRS maps are available for download at http://www.fws.gov/habitatconservation/coastal_barrier.html

CAFRA

Legend

Environmental Data

- New Jersey Parcels Data

- CAFRA Natural2012



0 0.021mi

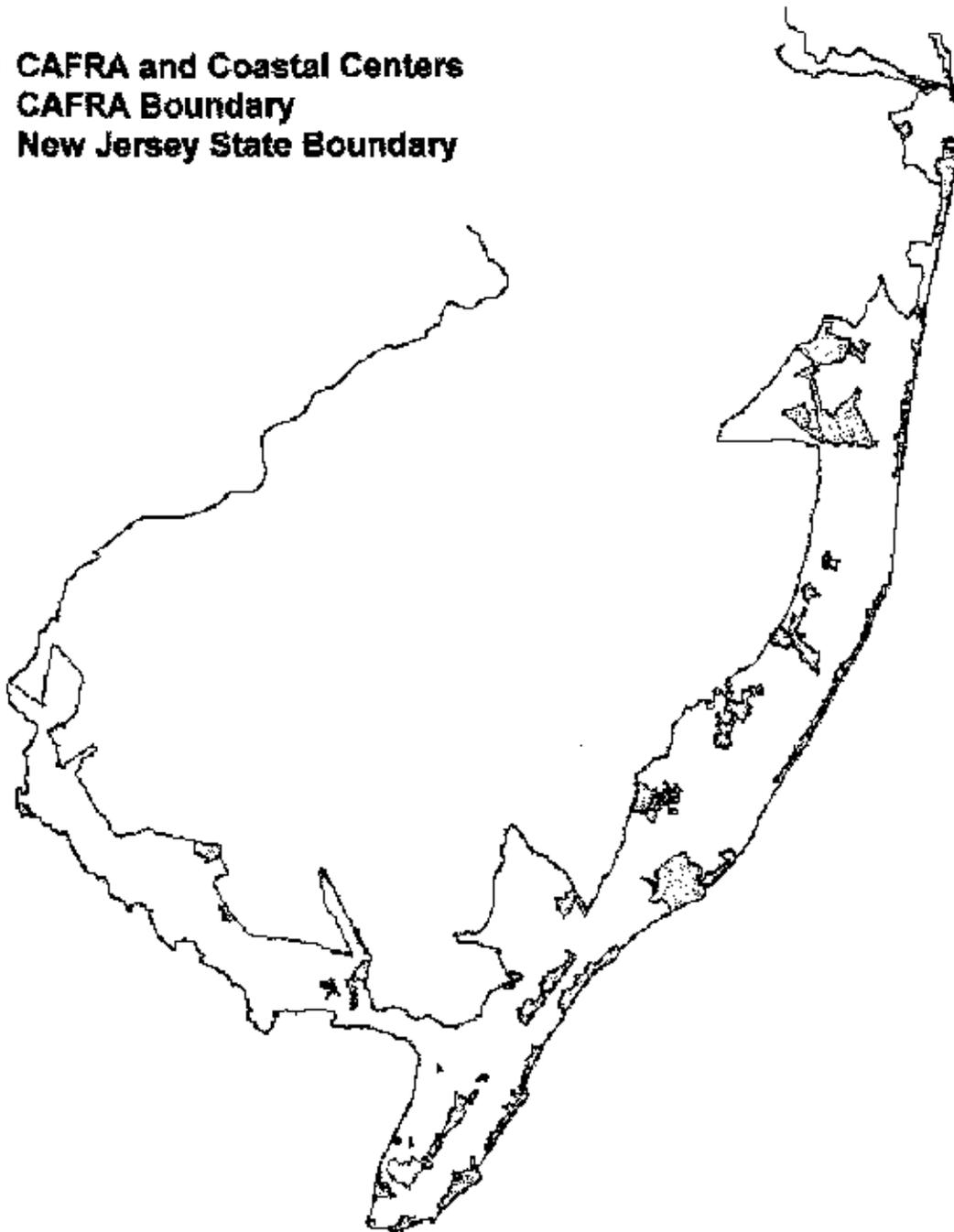
Map Printed On (2013-12-20 12:47)

Selections

- 1 Municipal Code: 0714, Block: 1827, Lot: 70, Qualifier:
- 2 Municipal Code: 0714, Block: 1827, Lot: 12, Qualifier:

(State boundary shown for reference only)

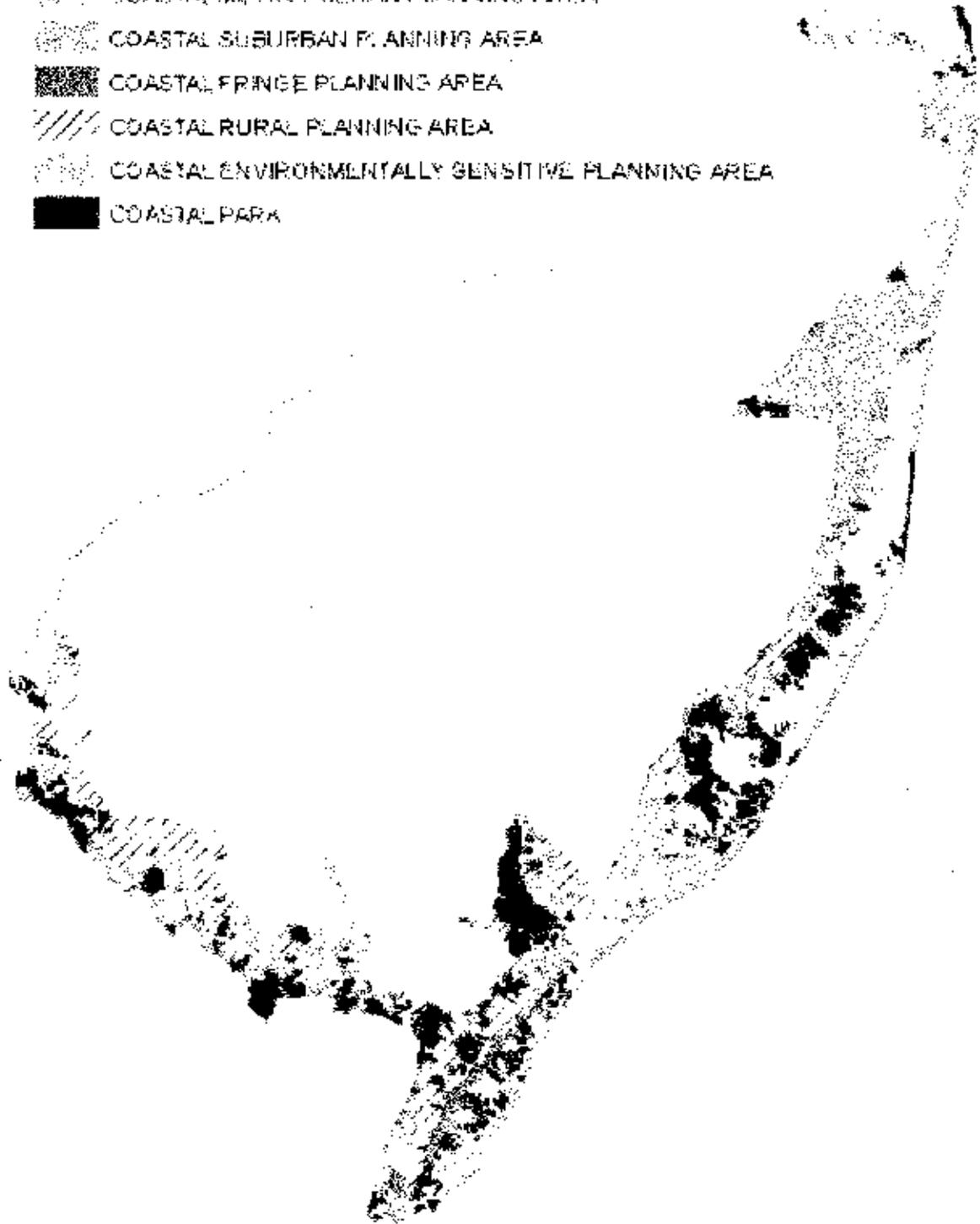
-  CAFRA and Coastal Centers
-  CAFRA Boundary
-  New Jersey State Boundary



(State boundary shown for reference only)

Coastal Planning Areas

-  COASTAL METROPOLITAN PLANNING AREA
-  COASTAL SUBURBAN PLANNING AREA
-  COASTAL FRINGE PLANNING AREA
-  COASTAL RURAL PLANNING AREA
-  COASTAL ENVIRONMENTALLY SENSITIVE PLANNING AREA
-  COASTAL PARK





MAP SCALE 1" = 500'



NATIONAL FLOOD INSURANCE PROGRAM
 FEDERAL EMERGENCY MANAGEMENT AGENCY

PANEL 0181F

FIRM
FLOOD INSURANCE RATE MAP
 ESSEX COUNTY,
 NEW JERSEY
 (ALL JURISDICTIONS)

PANEL 152 OF 200

SEE MAP INDEX FOR FIRM PANEL LAYOUT

JURISDICTION	PANEL	DATE
ESSEX COUNTY	152	6/4/07

Notice to User: This map was prepared from data that was used to create the FIRM. This map does not reflect changes or amendments which may have been made subsequent to the date on this block. For the latest product information about National Flood Insurance Program maps, check the FEMA Flood Map Store at www.fema.gov.



MAP NUMBER
 34013C0152F
 EFFECTIVE DATE:
 JUNE 4, 2007

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on this block. For the latest product information about National Flood Insurance Program maps, check the FEMA Flood Map Store at www.fema.gov.





Home > FEMA%2CFlood%20Zone%20Designations

Definitions of FEMA Flood Zones

Flood zones are geographic areas that FEMA has defined according to varying levels of flood risk and type of flooding. These zones are depicted on the published Flood Insurance Rate Map (FIRM) or Flood Hazard Boundary Map (FHBM).

Special Flood Hazard Areas – High Risk

Special Flood Hazard Areas represent the area subject to inundation by 1-percent-annual chance flood. Structures located within the SFHA have a 26-percent chance of flooding during the life of a standard 30-year mortgage. Federal floodplain management regulations and mandatory flood insurance purchase requirements apply in these zones.

ZONE	DESCRIPTION
A	Areas subject to inundation by the 1-percent-annual-chance flood event. Because detailed hydraulic analyses have not been performed, no Base Flood Elevations (BFEs) or flood depths are shown.
AE, A1-A30	Areas subject to inundation by the 1-percent-annual-chance flood event determined by detailed methods. BFEs are shown within these zones. (Zone AE is used on new and revised maps in place of Zones A1–A30.)
AH	Areas subject to inundation by 1-percent-annual-chance shallow flooding (usually areas of ponding) where average depths are 1–3 feet. BFEs derived from detailed hydraulic analyses are shown in this zone.
AO	Areas subject to inundation by 1-percent-annual-chance shallow flooding (usually sheet flow on sloping terrain) where average depths are 1–3 feet. Average flood depths derived from detailed hydraulic analyses are shown within this zone.
AR	Areas that result from the decertification of a previously accredited flood protection system that is determined to be in the process of being restored to provide base flood protection.
A99	Areas subject to inundation by the 1-percent-annual-chance flood event, but which will ultimately be protected upon completion of an under-construction Federal flood protection system. These are areas of special flood hazard where enough progress has been made on the construction of a protection system, such as dikes, dams, and levees, to consider it complete for insurance rating purposes. Zone A99 may be used only when the flood protection system has reached specified statutory progress toward completion. No BFEs or flood depths are shown.

Coastal High Hazard Areas – High Risk

Coastal High Hazard Areas (CHHA) represent the area subject to inundation by 1-percent-annual chance flood, extending from offshore to the inland limit of a primary front at dune along an open coast and any other area subject to high velocity wave action from storms or seismic sources. Structures located within the CHHA have a 26-percent chance of flooding during the life of a standard 30-year mortgage. Federal floodplain management regulations and mandatory purchase requirements apply in these zones.

ZONE	DESCRIPTION
V	Areas along coasts subject to inundation by the 1-percent-annual-chance flood event with additional hazards associated with storm-induced waves. Because detailed coastal analyses have not been performed, no BFEs or flood depths are shown.
VE, V1-V30	Areas along coasts subject to inundation by the 1-percent-annual-chance flood event with additional hazards due to storm-induced velocity wave action. BFEs derived from detailed hydraulic coastal analyses are shown within these zones. (Zone VE is used on new and revised maps in place of Zones V1–V30.)

Moderate and Minimal Risk Areas

Areas of moderate or minimal hazard are studied based upon the principal source of flood in the area. However, buildings in these zones could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. Local stormwater drainage systems are not normally considered in a community's flood insurance study. The failure of a local drainage system can create areas of high flood risk within these zones. Flood insurance is available in participating communities, but is not required by regulation in these zones. Nearly 25-percent of all flood claims filed are for structures located within these zones.

ZONE	DESCRIPTION
B, X (shaded)	Moderate risk areas within the 0.2-percent-annual-chance floodplain, areas of 1-percent-annual-chance flooding where average depths are less than 1 foot, areas of 1-percent-annual-chance flooding where the contributing drainage area is less than 1 square mile, and areas protected from the 1-percent-annual-chance flood by a levee. No BFEs or base flood depths are shown within these zones. (Zone X (shaded) is used on new and revised maps in place of Zone B.)
C, X (unshaded)	Minimal risk areas outside the 1-percent and 2-percent-annual-chance floodplains. No BFEs or base flood depths are shown within these zones. (Zone X (unshaded) is used on new and revised maps in place of Zone C.)

Undetermined Risk Areas

ZONE	DESCRIPTION
D	Unstudied areas where flood hazards are undetermined, but flooding is possible. No mandatory flood insurance purchase requirements apply, but coverage is available in participating communities.

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 Adobe Acrobat Reader required to view certain documents. [Click here to download.](#)

DETAIL MAP - 3747805.2s



- * Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Manufactured Gas Plants
- Sensitive Receptors
- National Priority List Sites
- Dept. Defense Sites

- Indian Reservations BIA
- ▲ Oil & Gas pipelines from USGS
- ▨ 100-year flood zone
- ▧ 500-year flood zone

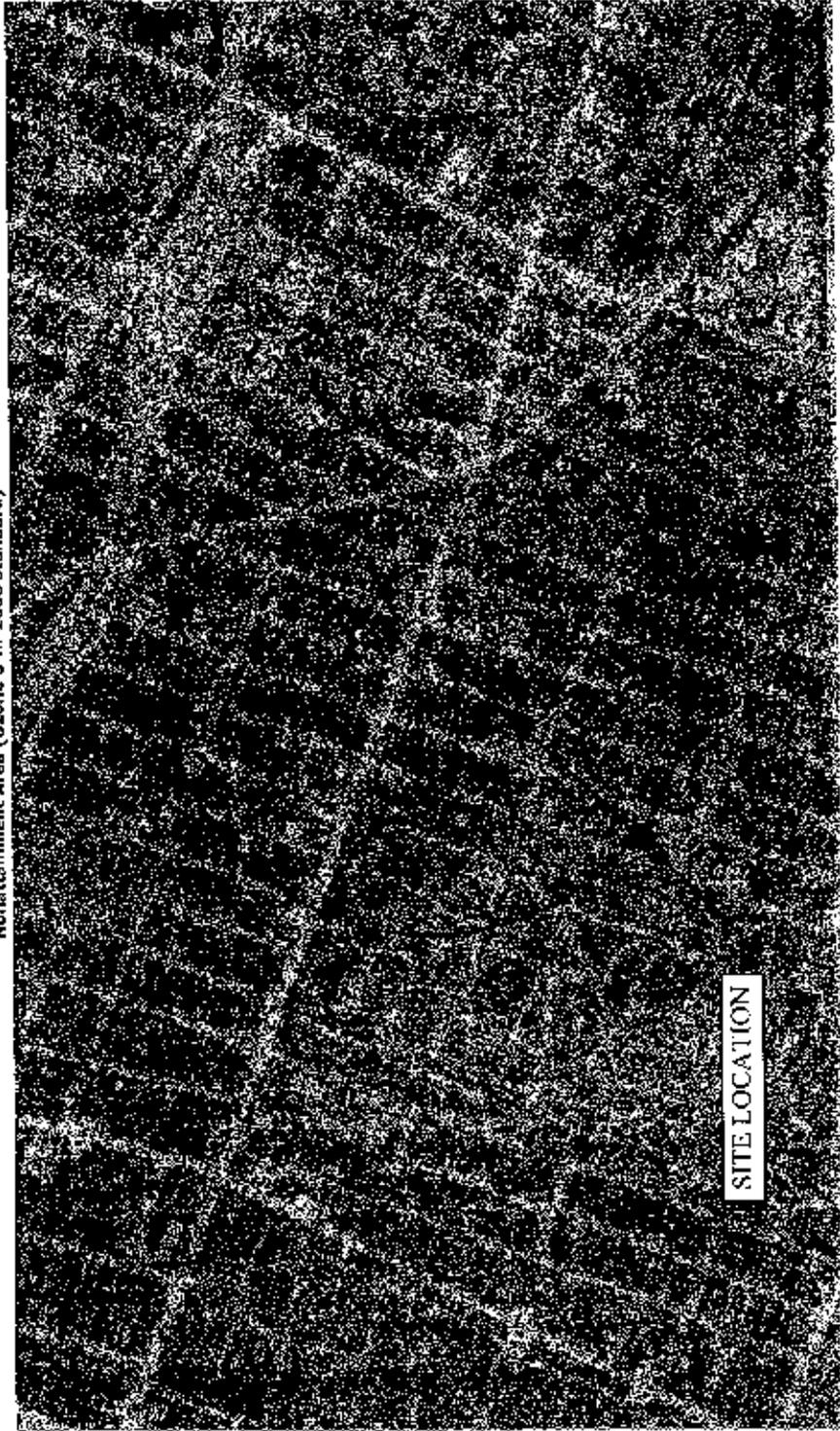
This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 128-134 S. 10th Street
 ADDRESS: 134 S. 10th Street
 Newark NJ 07107
 LAT/LONG: 40.7484 / 74.1967

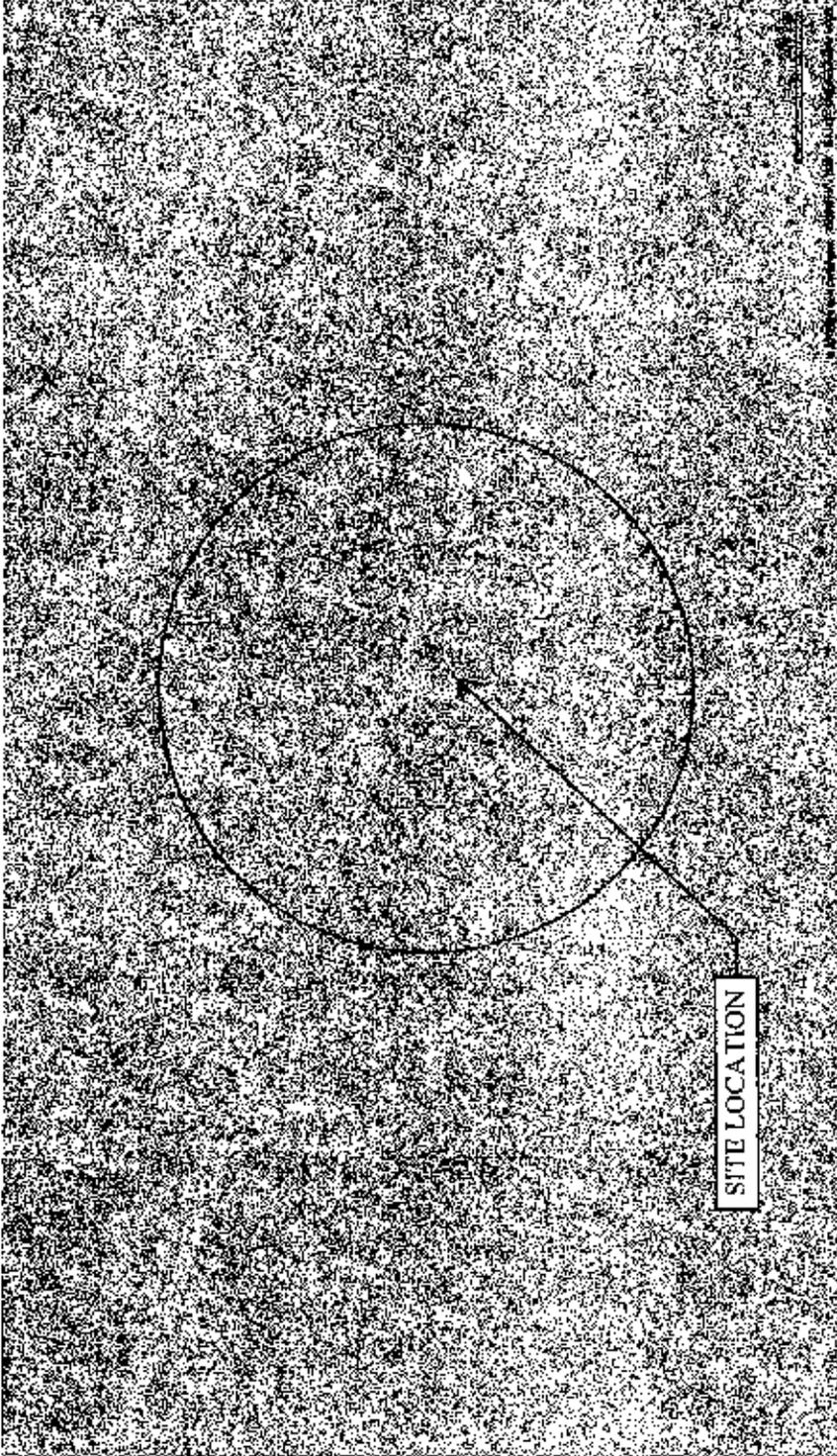
CLIENT: TERMS Env. Services, Inc.
 CONTACT: Daphina Mark
 INQUIRY #: 3747805.2s
 DATE: October 03, 2013 3:52 pm

Nonattainment Area (Ozone 8-hr 2008 standard)

Ozone 8-hr (2008 standard)



Nonattainment Area (PM2.5 24hr 2003 standard)



2008 PM2.5 24hr (2003 standard)



Region 2 State Implementation Plans (SIP)

http://www.njer.gov/reg/02/sip/sipsummarie_nj/index.html
 Last updated on Monday, October 04, 2010

You are here: [EPA Home](#) • [Region 2](#) • [Air](#) • [State Implementation Plans](#) • [SIP Plan Summaries](#) • [New Jersey State Implementation Plan \(SIP\) Summaries](#)

Last Updated November 2004

Pollutant	SIP - Action	State Submittal Date
Ozone	Stage II Gasoline Vapor Controls	1/18/88
	VOC Test Procedures	11/15/90
	Gasoline Loading of Marine Vessels	6/20/90
	Control of VOCs from Architectural Coatings	7/30/90
	Fulfillment of Commitments and adoption of four control measures: automobile refinishing, further industrial controls, RACT for small surface coating and industrial sources	3/13/92
	Fulfillment of Section 182(b)(2)(B) of the Clean Air Act to adopt RACT regulations for all CTGS	11/15/97
	Emission Statement Program	2/19/93
	Limits on Gasoline Volatility	4/21/93
	1990 Base Year Ozone Emission Inventory	11/15/93 and 11/21/94
	Reasonably Available Control Technology (RACT) for Oxides of Nitrogen (NOx) Stationary Sources	11/15/93
	Source Specific NOx RACT Determinations	5/26/95, 11/8/95, 1/10/96 and 10/10/96
	Consumer and Commercial Products	1/25/96
	Enhanced Inspection and Maintenance Program (I/M)	3/27/96, 11/27/96 and 4/22/97
	VOC RACT for Non-CTG Sources	11/15/93 and 6/21/98
	15 Percent Rate of Progress Plan and Phase I and II Ozone Implementation Plans	12/31/96 and 2/25/97
	Clean Fuel Fleet Opt Out	2/15/96, 3/24/96, 3/6/97, 2/20/98 and 3/25/98
	Motor Vehicle Inspection and Maintenance Program	2/26/98 and 6/5/98
	Reasonably Available Control Technology for Oxides of Nitrogen Stationary Sources	6/21/96
	Source Specific NOx RACT Determinations	5/26/95, 6/18/96, 7/10/96, 12/11/96 and 5/2/97
	15 Percent Rate of Progress (ROP) Plans, Recalculation of 9% ROP Plans and 1999 Transportation Conformity Budget Revisions	12/31/96, 1/30/98 and 2/10/99
	National Low Emission Vehicle (NLEV) Program	2/22/99
	Motor Vehicle Inspection and Maintenance Program	11/19/99
	Nitrogen oxides Budget and Allowance Trading Program (NOx SIP Call)	12/10/99 and 7/31/00
	Reasonable Further Progress (RFP) Plans and Transportation Conformity Budgets for 2002, 2005, and 2007	4/11/01
	Reasonably Available Control Measure (RACM) Analysis and Additional Ozone Control Measures	6/18/01
	Revisions to the Enhanced Inspection and Maintenance Program	12/3/02
	One-hour Ozone Attainment Demonstrations and 2007 Transportation Conformity Budgets	9/31/98, 10/16/98
	Elements of Enhanced Inspection and Maintenance Program	8/20/01
	Revised Motor Vehicle Emissions Inventories and Budgets using MOBILE 6	4/8/03 and 6/26/03
	Revisions to the Emissions Statement Program	1/23/03
1-hour Ozone Control Programs - Solvent Cleaning Processes and Mobile Equipment Repair and Refinishing	6/4/03	
Revisions to the Enhanced Inspection and Maintenance Program	8/13/03	
Revised Transportation Conformity Budgets	5/21/04	
Carbon Monoxide	VMT Forecast and Multi-state coordination commitment	11/15/92 and 11/27/94
	1990 Base Year Emission Inventory and Maintenance Plan with Contingency measure	11/15/92, 11/21/94 and 9/28/95
	Oxygenated Gasoline Program	11/15/92
	1 year attainment date extension	4/24/95
	CO maintenance plan and Redesignation by attainment	8/7/98, 12/10/99 and 1/15/02
	Determination of attainment and removal of Oxygenated Gasoline Program	8/7/99
	Revised Transportation Conformity Budgets	5/21/04

Critical Environmental and Historic Sites



Legend

Environmental Data

Critical Environmental and Historic Sites

Environmental/Historic Site

Environmental Site

Historic Site

Inholding

New Jersey Parcels Data

Natural 2012

0 0.021 mi

Map Printed On (2013-12-20 12:47)

Selections

- 1 Municipal Code: 0714, Block: 1827, Lot: 70, Qualifier:
- 2 Municipal Code: 0714, Block: 1827, Lot: 12, Qualifier:

NJDEP Known Contaminated Sites

Legend

Environmental Data
New Jersey
parcels Data



★
Known
Contaminated
Sites List



Deed Notice
Areas

Groundwater
Contamination
Areas (CEA)



Groundwater
Contamination
Areas (CKE)



Natural 2012



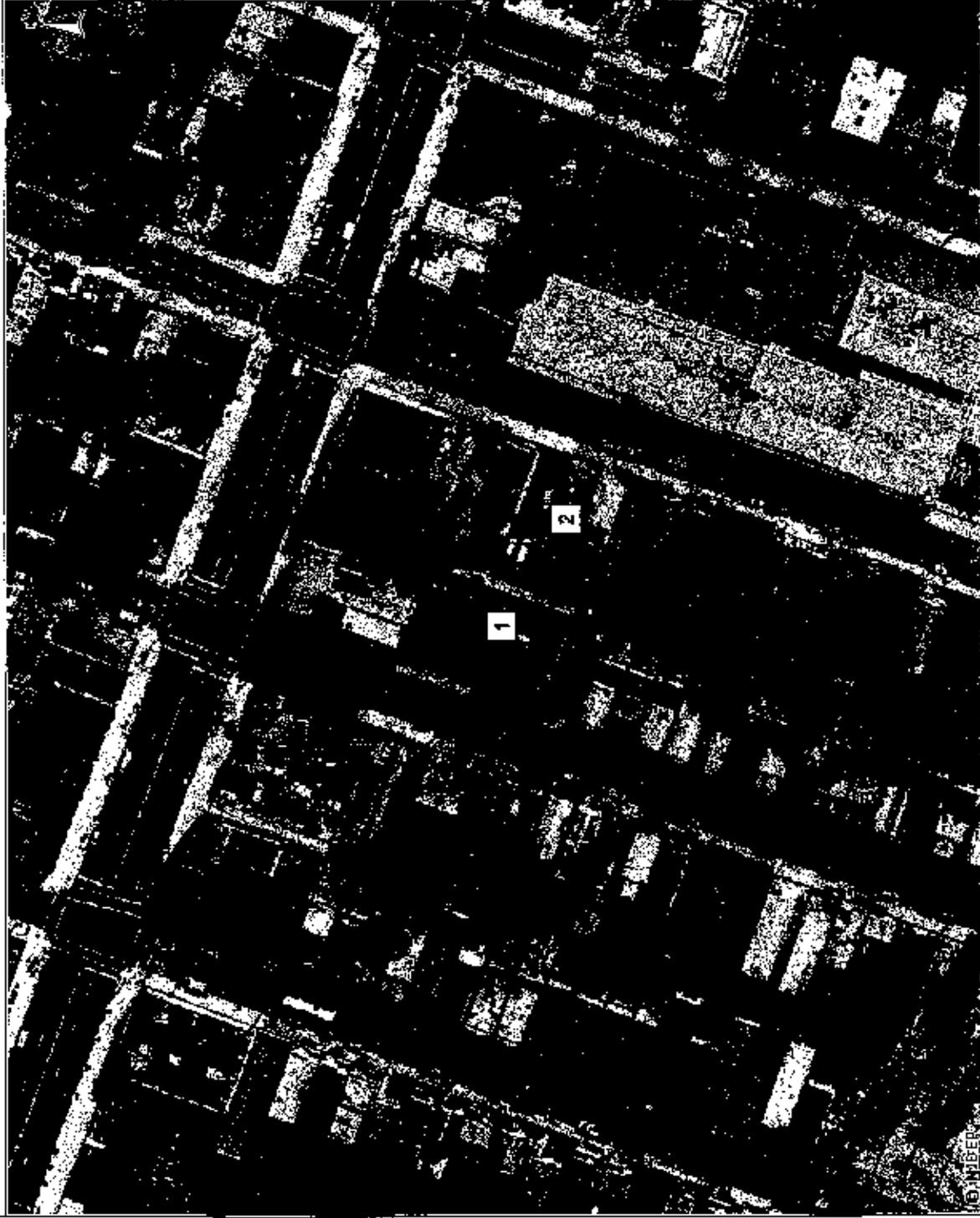
0 0.021mi

Map Printed On {2013-12-20 12:46}

Selections

- 1 Municipal Code: 0714, Block: 1827, Lot: 70, Qualifier:
- 2 Municipal Code: 0714, Block: 1827, Lot: 12, Qualifier:

NJEMS Sites



- Legend**
- Environmental Data**
- New Jersey Parcels Data
 - NJEMS Sites
 - Natura 2012

Map Printed On (2013-12-20 12:40)

0 0.018mi

Selections

- 1 Municipal Code: 0714, Block: 1827, Lot: 70, Qualifier:
- 2 Municipal Code: 0714, Block: 1827, Lot: 12, Qualifier:

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Site Coordinates	
X	Y
578141	897887

December 17, 2015 12:28

UST TANK SUMMARY

Preferred ID Number: 015982

NEWARK HOUSE

Terminated

Expiration Date:

12/31/2002

Tank ID	Tank No.	Tank Size/Units	Tank Contents	Tank Status	Tank Status Date
TANK-1	0001	3000	Heating Oil (No. 2)	Removed	1/1/1995

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 Department of Environmental Protection
 P. O. Box 402
 Trenton, NJ 08647-0402

Last Updated: June 25, 2015



FEDERALLY LISTED, PROPOSED, AND
CANDIDATE SPECIES IN NEW JERSEY



	COMMON NAME	SCIENTIFIC NAME	STATUS
FISHES	Shortnose sturgeon	<i>Acipenser brevirostrum</i>	E
	Atlantic sturgeon	<i>Acipenser oxyrinchus</i>	E
REPTILES	Box turtle	<i>Clemmys muhlenbergii</i>	T
	Spinyhead sea turtle	<i>Caretta caretta</i>	T
BIRDS	Piping plover	<i>Charadrius melodus</i>	T
	Red knot	<i>Calidris canutus rufa</i>	PT
	Roadside tern	<i>Sterna dougallii dougallii</i>	E
	Red-breasted woodpecker	<i>Picoides borealis</i>	E+
MAMMALS	Eastern cougar	<i>Puma concolor cougar</i>	E+
	Indiana bat	<i>Myotis sodalis</i>	E
	Northern long-eared bat	<i>Myotis septentrionalis</i>	PE
	Gray Wolf	<i>Canis lupus</i>	E+
	Delaware fox squirrel	<i>Sciurus niger cinereus</i>	E+
INVERTEBRATES	Small wedge mussel	<i>Alasmidonta heterodon</i>	E
	Northeastern beach tiger beetle	<i>Cicindela dorsalis dorsalis</i>	T
	Kaiser blue butterfly	<i>Lycaeides melissa samuelis</i>	E-
	Mitchell's sally butterfly	<i>Neonympha m. mitchellii</i>	E-
	American burying beetle	<i>Nicrophorus americanus</i>	E+
PLANTS	Small whorled pogonia	<i>Isotria medeoloides</i>	T
	Swamp pink	<i>Helonias bullata</i>	T
	Knauskern's bearded rush	<i>Rhynchospora knieskernii</i>	T
	Harris panic grass	<i>Dichanthellum hirstii</i>	C
	American chaffseed	<i>Schwalbea americana</i>	E
	Sensitive plant vetch	<i>Aeschynomene virginica</i>	T
	Seaside amaranth	<i>Amaranthus pumilus</i>	T

STATUS		
E	Endangered Species	Any species that is in danger of extinction throughout all or a significant portion of its range.
T	Threatened Species	Any species that is likely to become an endangered species within the foreseeable future throughout all or a significant portion of its range.
C	Candidate Species	Species that appear to warrant listing. Although these species receive no substantive or procedural protection under the Endangered Species Act, Federal agencies and other planners are encouraged to consider these species in environmental planning.
P	Proposed Species	A species for which a proposed rule to list as endangered or threatened has been published in the <u>Federal Register</u> .
*	Except for sea turtle nesting habitat, principal responsibility for these species is vested with the National Marine Fisheries Service.	
+	Presumed extirpated from New Jersey.	

Note: For a complete listing of Endangered and Threatened Wildlife and Plants, refer to 50 CFR 17.11 and 17.12. For a complete listing of taxa under review as candidate species, refer to <http://www.fws.gov/endangered/>

For further information, please visit our website at:
<http://www.fws.gov/northeast/njfieldoffice/endangered/>

or contact:

U.S. Fish and Wildlife Service
 New Jersey Field Office
 927 N. Main Street, Building D
 Pleasantville, New Jersey 08232
 Phone: (609) 646-9310
 Fax: (609) 646-0352

Revised 11/19/2013

Federally Listed and Candidate Species Occurrences in New Jersey by County and Municipality

County	Municipality	Bog Turtle (T)	Piping Plover (T)	Indiana Bat (E)	Dwarf Wedgemussel (E)	NE Beach Tiger Beetle (T)	Small Whorled Pogonia (T)	Swamp Pink (T)	Kniskern's Beaked Rush (T)	American Chaffseed (E)	Sensitive Joint-vetch (T)	Seabeach Amaranth (T)	Red Knot (C)	Hirsts' Panic Grass (C)
E = Extant (present), P = Potential (may be present), H = Historic (may still be present), X = Extirpated (no longer present) Occurrence codes of Indiana Bat: WA = Wintering (April 1 to Sept. 30), H = Hibernation														
ATLANTIC	Absecon City								P					
ATLANTIC	Atlantic City		P									E	P	
ATLANTIC	Brigantine City		E									E	E	
ATLANTIC	Buena Borough							P	P					
ATLANTIC	Buena Vista Township							P	P	H				
ATLANTIC	Corbin City							P	P					
ATLANTIC	Egg Harbor City							P	H	H				
ATLANTIC	Egg Harbor Township	H	E					E	E		H	E	P	
ATLANTIC	Estell Manor City							P	P		H			
ATLANTIC	Folsom Borough							P	P	H				
ATLANTIC	Galloway Township		E					P	E	H		E	E	E
ATLANTIC	Hamilton Township							P	E	H	H			
ATLANTIC	Hammonton Town	H						H	E	H				
ATLANTIC	Longport Borough		P									P	P	
ATLANTIC	Margate City		P									P	P	
ATLANTIC	Mullica Township							E	E	H				
ATLANTIC	Northfield City								P					
ATLANTIC	Pleasantville City							E						
ATLANTIC	Port Republic City							P	H					
ATLANTIC	Somers Point City		H											
ATLANTIC	Ventnor City		P									P	P	
ATLANTIC	Weymouth Township							P	P		H			
ATLANTIC	Weymouth Township							E	P					
BERGEN	Allendale Borough			P										
BERGEN	Alpine Borough	X		P										
BERGEN	Closter Borough			P		X								
BERGEN	Demarest Borough			P										
BERGEN	Emerson Borough			P										
BERGEN	Englewood City			P										
BERGEN	Franklin Lakes Borough			P		X								
BERGEN	Hackensack City	X												
BERGEN	Harrington Park Borough			P										
BERGEN	Haworth Borough			P	X									
BERGEN	Ho-Ho-Kus Borough			P										
BERGEN	Little Ferry Borough			P										
BERGEN	Mahwah Township			P										
BERGEN	Montvale Borough	X		P										
BERGEN	Moonachie Borough			P										
BERGEN	Northvale Borough	X												
BERGEN	Norwood Borough			P										
BERGEN	Oakland Borough			P										
BERGEN	Old Tappan Borough	X		P										
BERGEN	Park Ridge Borough			P										

Federally Listed and Candidate Species Occurrences in New Jersey by County and Municipality

County	Municipality	Bog Turtle (T)	Piping Plover (T)	Indiana Bat (E)	Dwarf Wedgemussel (E)	NE Beach Tiger Beetle (T)	Small Whorled Pogonia (T)	Swamp Pink (T)	Kniestern's Beaked Rush (T)	American Chaffseed (E)	Sensitive Joint-vetch (T)	Seabeach Amaranth (T)	Red Knot (C)	Hirsts' Panic Grass (C)
Extant (present) P = Potential (may or may not be present) E = Extinct (may still be present) X = Extirpated (no longer present) Extant occurrences of Indiana Bat: MA = May/June, April to Sept. 00, HI = hibernation														
BERGEN	Ramsey Borough		P											
BERGEN	Ridgefield Borough		P											
BERGEN	Ridgewood Village		P											
BERGEN	River Vale Township	X	P											
BERGEN	Saddle River Borough		P											
BERGEN	Tenafly Borough	X	P											
BERGEN	Washington Township		P											
BURLINGTON	Bass River Township		H					P	E		H			
BURLINGTON	Bordentown City	X												
BURLINGTON	Bordentown Township	H												
BURLINGTON	Burlington City									X				
BURLINGTON	Burlington Township	E												
BURLINGTON	Chesterfield Township	E												
BURLINGTON	Delanco Township	H												
BURLINGTON	Delran Township	E												
BURLINGTON	Eastampton Township	P						P						
BURLINGTON	Edgewater Park Township	X												
BURLINGTON	Evesham Township	H						E	P					
BURLINGTON	Florence Township	P												
BURLINGTON	Hainesport Township	P						P						
BURLINGTON	Lumberton Township	P						P						
BURLINGTON	Mansfield Township	E												
BURLINGTON	Maple Shade Township							X						
BURLINGTON	Medford Lakes Borough								P					
BURLINGTON	Medford Township	E						E	P					
BURLINGTON	Moorestown Township	E						P						
BURLINGTON	Mount Holly Township							P						
BURLINGTON	Mount Laurel Township	H						P						
BURLINGTON	New Hanover Township	E						P	P	P				
BURLINGTON	North Hanover Township	E						P						
BURLINGTON	Pemberton Borough							P	P					
BURLINGTON	Pemberton Township	P						E	P	E				
BURLINGTON	Shamong Township	P						P	H	H				E
BURLINGTON	Southampton Township	E						E	P	H				
BURLINGTON	Springfield Township	E						P						
BURLINGTON	Tabernacle Township	P						E	P	H				
BURLINGTON	Washington Township	H						P	E	H	H			
BURLINGTON	Westampton Township	E												
BURLINGTON	Woodland Township	P						E	E	E				
BURLINGTON	Wrightstown Borough							P	P					
CAMDEN	Audubon Borough	X												
CAMDEN	Berlin Borough							E						
CAMDEN	Berlin Township							E						

Federally Listed and Candidate Species Occurrences in New Jersey by County and Municipality

County	Municipality	Bog Turtle (T)	Piping Plover (T)	Indiana Bat (E)	Dwarf Wedgemussel (E)	NE Beach Tiger Beetle (T)	Small Whorled Pogonia (T)	Swamp Pink (T)	Kniskern's Beaked Rush (T)	American Chaffseed (E)	Sensitive Joint-vetch (T)	Seabeach Amaranth (T)	Red Knot (C)	Hirsts' Panic Grass (C)
E = Extant (Present) P = Potential (May be present) H = Historic (May still be present) X = Extirpated (No longer present)														
E = extant occurrences of Indiana bat (M) = Maternity (April 1 to Sept. 30) (H) = Hibernation														
CAMDEN	Camden City										X			
CAMDEN	Cherry Hill Township							P						
CAMDEN	Cheshilhurst Borough							P						
CAMDEN	Clementon Borough							H						
CAMDEN	Gibbsboro Borough							E						
CAMDEN	Gloucester Township	H						E						
CAMDEN	Haddonfield Borough							H						
CAMDEN	Lindenwold Borough							E						
CAMDEN	Oaklyn Borough	X												
CAMDEN	Pine Hill Borough	H						E						
CAMDEN	Pine Valley Borough							E						
CAMDEN	Runnemede Borough							X						
CAMDEN	Voorhees Township							E						
CAMDEN	Waterford Township							E	H	H				
CAMDEN	Winslow Township							H	E	H				
CAPE MAY	Avalon Borough		E									E	E	
CAPE MAY	Cape May City		E								X	P	P	
CAPE MAY	Cape May Point Borough		H					X				P	P	
CAPE MAY	Dennis Township							E	P				E	E
CAPE MAY	Lower Township		E					E		H		E	E	
CAPE MAY	Middle Township		E					E		H		P	E	
CAPE MAY	North Wildwood City		E									P	E	
CAPE MAY	Ocean City		E		X							E	P	
CAPE MAY	Sea Isle City		E									E	P	
CAPE MAY	Stone Harbor Borough		E									P	E	
CAPE MAY	Upper Township	H	E					E	P			E	P	
CAPE MAY	Wildwood City		P									P	P	
CAPE MAY	Wildwood Crest Borough		H									P	E	
CAPE MAY	Woodbine Borough							P	P					
CUMBERLAND	Bridgeton City							H						
CUMBERLAND	Commercial Township							P			H		E	
CUMBERLAND	Deerfield Township							P						
CUMBERLAND	Downe Township							E					E	
CUMBERLAND	Fairfield Township							E					E	
CUMBERLAND	Greenwich Township							P						
CUMBERLAND	Hopewell Township	P						H						
CUMBERLAND	Lawrence Township							E					E	
CUMBERLAND	Maurice River Township							E	P	H	E		E	
CUMBERLAND	Millville City							E			P			
CUMBERLAND	Stow Creek Township							H						
CUMBERLAND	Upper Deerfield Township	P						E						
CUMBERLAND	Vineland City							E						
ESSEX	Cedar Grove Township			P										

Federally Listed and Candidate Species Occurrences in New Jersey by County and Municipality

County	Municipality	Bog Turtle (T)	Piping Plover (T)	Indiana Bat (E)	Dwarf Wedgemussel (E)	NE Beach Tiger Beetle (T)	Small Whorled Pogonia (T)	Swamp Pink (T)	Knieskern's Beaked Rush (T)	American Chaffseed (E)	Sensitive Joint-vetch (T)	Seabeach Amaranth (T)	Red Knot (C)	Hirsts' Panic Grass (C)
E = Extant (present), P = Potential (may be present), H = Historic (may still be present), X = Dispersed (no longer present) MA = Maternity (April 1 to Sept. 30), HI = Hibernation														
ESSEX	Essex Fells Borough			P										
ESSEX	Fairfield Township			HI										
ESSEX	Livingston Township			MA	X									
ESSEX	Millburn Township			MA										
ESSEX	North Caldwell Borough			P										
ESSEX	Roseland Borough			P										
ESSEX	West Caldwell Township			P										
ESSEX	West Orange Township			P										
GLOUCESTER	Clayton Borough							E						
GLOUCESTER	Deptford Township							H						
GLOUCESTER	East Greenwich Township	E						H						
GLOUCESTER	Elk Township	P						E						
GLOUCESTER	Franklin Township							H	P					
GLOUCESTER	Glassboro Borough							E						
GLOUCESTER	Greenwich Township	P												
GLOUCESTER	Harrison Township	E						P						
GLOUCESTER	Logan Township	P									H			
GLOUCESTER	Mantua Township	H						H						
GLOUCESTER	Monroe Township							E	P	H				
GLOUCESTER	Newfield Borough							H	P					
GLOUCESTER	South Harrison Township	E						E						
GLOUCESTER	Washington Township	H						E						
GLOUCESTER	Wenonah Borough							H						
GLOUCESTER	West Deptford Township							H						
GLOUCESTER	Woodbury Heights Borough							H						
GLOUCESTER	Woolwich Township	E						H						
HUNTERDON	Alexandria Township	E		P										
HUNTERDON	Bethlehem Township	E		P										
HUNTERDON	Bloomsbury Borough			P										
HUNTERDON	Califon Borough			P			P							
HUNTERDON	Clinton Town	P		P										
HUNTERDON	Clinton Township	E		P										
HUNTERDON	Delaware Township			P										
HUNTERDON	East Amwell Township			P										
HUNTERDON	Franklin Township	E		P										
HUNTERDON	Frenchtown Borough			P										
HUNTERDON	Glen Gardner Borough	E		P										
HUNTERDON	Hampton Borough	P		P										
HUNTERDON	High Bridge Borough	P		P										
HUNTERDON	Holland Township	P		P										
HUNTERDON	Kingwood Township	P		P										
HUNTERDON	Lambertville City			P										
HUNTERDON	Lebanon Borough	P		P										

Federally Listed and Candidate Species Occurrences in New Jersey by County and Municipality

County	Municipality	Bog Turtle (T)	Piping Plover (T)	Indiana Bat (E)	Dwarf Wedgemussel (E)	NE Beach Tiger Beetle (T)	Small Whorled Pogonia (T)	Swamp Pink (T)	Kniestern's Beaked Rush (T)	American Chaffseed (E)	Sensitive Joint-vetch (T)	Seabeach Amaranth (T)	Red Knot (C)	Hirsts' Panic Grass (C)
E = Extant (occasional), P = Potential (may be present), H = Historic (may still be present), X = Extinct (no longer present) MA = Maternity (April 1 to Sept 30), H = Hibernation														
HUNTERDON	Lebanon Township	E		P			P							
HUNTERDON	Milford Borough	P		P										
HUNTERDON	Raritan Township	P		P										
HUNTERDON	Readington Township	E		P										
HUNTERDON	Stockton Borough			P										
HUNTERDON	Tewksbury Township	E		MA			H							
HUNTERDON	Union Township	E		P										
HUNTERDON	West Amwell Township			P										
MERCER	East Windsor Township	E												
MERCER	Ewing Township			P										
MERCER	Hamilton Township	H												
MERCER	Hopewell Township			P										
MERCER	Lawrence Township			P										
MERCER	Princeton Township			P										
MERCER	Robbinsville Township	H												
MERCER	Trenton City				X									
MERCER	West Windsor Township	P		P				H						
MIDDLESEX	Cranbury Township	P		P										
MIDDLESEX	East Brunswick Township	H		P				E						
MIDDLESEX	Edison Township			P				X						
MIDDLESEX	Helmetta Borough	H		P				P						
MIDDLESEX	Middlesex Borough			P										
MIDDLESEX	Monroe Township			P				P						
MIDDLESEX	New Brunswick City			P				X						
MIDDLESEX	North Brunswick Township			P										
MIDDLESEX	Old Bridge Township			P				P						
MIDDLESEX	Perth Amboy City							X						
MIDDLESEX	Piscataway Township			P										
MIDDLESEX	Plainsboro Township	P		P										
MIDDLESEX	Sayreville Borough	X						X						
MIDDLESEX	South Brunswick Township			P										
MIDDLESEX	South Plainfield Borough			P										
MIDDLESEX	Spotswood Borough			P										
MIDDLESEX	Woodbridge Township			P										
MONMOUTH	Aberdeen Township		P										P	
MONMOUTH	Allenhurst Borough		P										P	
MONMOUTH	Asbury Park City		P										P	
MONMOUTH	Atlantic Highlands Borough		P										P	
MONMOUTH	Avon-by-the-Sea Borough		P										E	
MONMOUTH	Belmar Borough		P										E	
MONMOUTH	Bradley Beach Borough		P										E	
MONMOUTH	Brielle Borough							E						
MONMOUTH	Colts Neck Township							E	E					

Federally Listed and Candidate Species Occurrences in New Jersey by County and Municipality

County	Municipality	Bog Turtle (T)	Piping Plover (T)	Indiana Bat (E)	Dwarf Wedgemussel (E)	NE Beach Tiger Beetle (T)	Small Whorled Pogonia (T)	Swamp Pink (T)	Knieskern's Beaked Rush (T)	American Chaffseed (E)	Sensitive Joint-vetch (T)	Seabeach Amaranth (T)	Red Knot (C)	Hirsts' Panic Grass (C)
E = Extant (present), P = Potential (may be present), H = Historic (may still be present), X = Extirpated (no longer present), Extant occurrences of Indiana bat: MA = Maternity (April 1 to Sept. 30), HI = Hibernation														
MONMOUTH	Deal Borough		P											P
MONMOUTH	Farmingdale Borough								P					
MONMOUTH	Freehold Borough								P					
MONMOUTH	Freehold Township	E						E	P					
MONMOUTH	Gateway National Recreation Area		E			E						E	P	
MONMOUTH	Highlands Borough		P									P		
MONMOUTH	Howell Township	E						E	E					
MONMOUTH	Keansburg Borough		P									P		
MONMOUTH	Keyport Borough		P									P		
MONMOUTH	Loch Arbour Village		P									P		
MONMOUTH	Long Branch City	X	E									E		
MONMOUTH	Manalapan Township	E						E						
MONMOUTH	Manasquan Borough		P									E		
MONMOUTH	Middletown Township		P									P		
MONMOUTH	Millstone Township	E						E				E		
MONMOUTH	Monmouth Beach Borough		E									E		
MONMOUTH	Neptune Township		P						H			P		
MONMOUTH	Roosevelt Borough	E						P						
MONMOUTH	Sea Bright Borough		E									E		
MONMOUTH	Sea Girl Borough		E									E		
MONMOUTH	Spring Lake Borough		E									E		
MONMOUTH	Tinton Falls Borough								P					
MONMOUTH	Union Beach Borough		P									P		
MONMOUTH	Upper Freehold Township	E						P						
MONMOUTH	Wall Township	E						H	E					
MORRIS	Boonton Town	P		HI										
MORRIS	Boonton Township	E		HI										
MORRIS	Butler Borough			HI										
MORRIS	Chatham Borough	P		MA										
MORRIS	Chatham Township	E		MA										
MORRIS	Chester Borough	E		MA										
MORRIS	Chester Township	E		HI			P							
MORRIS	Denville Township	H		HI										
MORRIS	Dover Town	H		HI										
MORRIS	East Hanover Township			MA	X									
MORRIS	Florham Park Borough	H		MA										
MORRIS	Hanover Township	H		HI										
MORRIS	Harding Township	E		MA										
MORRIS	Jefferson Township	E		HI			P							
MORRIS	Kinnelon Borough	P		HI			P							
MORRIS	Lincoln Park Borough			HI										
MORRIS	Long Hill Township	E		MA										
MORRIS	Madison Borough			MA										

Federally Listed and Candidate Species Occurrences in New Jersey by County and Municipality

County	Municipality	Bog Turtle (T)	Piping Plover (T)	Indiana Bat (E)	Dwarf Wedgemussel (E)	NE Beach Tiger Beetle (T)	Small Whorled Pogonia (T)	Swamp Pink (T)	Knieskem's Beaked Rush (T)	American Chaffseed (E)	Sensitive Joint-vetch (T)	Seabeach Amaranth (T)	Red Knot (C)	Hirsts' Panic Grass (C)
E = Extant (present), P = Potential (may be present), H = Historic (may still be present), X = Extinct (no longer present)														
Extant occurrences of Indiana bat: MA = Maternity (April 1 to Sept. 30), HI = Hibernation														
OCEAN	Ocean Gate Borough													
OCEAN	Ocean Township		H					P						
OCEAN	Pine Beach Borough													
OCEAN	Plumsted Township	E						E		P				
OCEAN	Point Pleasant Beach Borough		P		X					X				
OCEAN	Seaside Heights Borough		P											
OCEAN	Seaside Park Borough		P											
OCEAN	Ship Bottom Borough		P											
OCEAN	South Toms River Borough							P	P					
OCEAN	Stafford Township		H					E	E					
OCEAN	Surf City Borough		P											
OCEAN	Toms River Township		H					E	P					
OCEAN	Tuckerton Borough							P	P					
PASSAIC	Bloomington Borough			HI			E							
PASSAIC	Clifton City			P										
PASSAIC	Haledon Borough			P										
PASSAIC	Little Falls Township			P										
PASSAIC	North Haledon Borough			P										
PASSAIC	Pompton Lakes Borough			P			P							
PASSAIC	Ringwood Borough			P			P							
PASSAIC	Totowa Borough			P										
PASSAIC	Wanaque Borough			P			P							
PASSAIC	Wayne Township	X		P										
PASSAIC	West Milford Township	H		HI			P							
PASSAIC	West Paterson Borough			P										
SALEM	Alloway Township		P					E						
SALEM	Elmer Borough							P						
SALEM	Elsinboro Township											H		
SALEM	Lower Alloways Creek Township		P					E				H		
SALEM	Mannington Township		E					P				H		
SALEM	Oldmans Township		P									H		
SALEM	Pennsville Township											H		
SALEM	Pilesgrove Township		E					P						
SALEM	Pittsgrove Township		P					E						
SALEM	Quinton Township		H					E				H		
SALEM	Salem City											H		
SALEM	Upper Pittsgrove Township		E					E						
SALEM	WoodsTown Borough							P						
SOMERSET	Bedminster Township		P	MA										
SOMERSET	Bernards Township		E	MA										
SOMERSET	Bernardsville Borough		P	MA										
SOMERSET	Branchburg Township		P	P										
SOMERSET	Bridgewater Township		P	P										

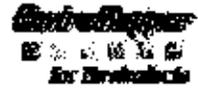
Federally Listed and Candidate Species Occurrences in New Jersey by County and Municipality

County	Municipality	Bog Turtle (T)	Piping Plover (T)	Indiana Bat (E)	Dwarf Wedgemussel (E)	NE Beach Tiger Beetle (T)	Small Whorled Pogonia (T)	Swamp Pink (T)	Knieskern's Beaked Rush (T)	American Chaffseed (E)	Sensitive Joint-vetch (T)	Seabeach Amaranth (T)	Red Knot (C)	Hirsts' Panic Grass (C)
E = Endemic (present), P = Potential (may be present), H = Historic (may still be present), X = Extinct (no longer present), MA = Migrant (occurrences of a migrant), MA = Maternity (April to Sept. 30), HI = Hibernation														
SOMERSET	Far Hills Borough	E		MA										
SOMERSET	Franklin Township	H		P										
SOMERSET	Green Brook Township			P										
SOMERSET	Hillsborough Township			P										
SOMERSET	Millstone Borough			P										
SOMERSET	Montgomery Township			P										
SOMERSET	North Plainfield Borough			P										
SOMERSET	Peapack-Gladstone Borough	E		MA										
SOMERSET	Raritan Borough			P										
SOMERSET	Somerville Borough			P										
SOMERSET	Warren Township	E		MA										
SOMERSET	Watchung Borough	X		MA										
SUSSEX	Andover Borough	H		P	P									
SUSSEX	Andover Township	E		HI	P	H								
SUSSEX	Branchville Borough			P	P									
SUSSEX	Byram Township			HI	P									
SUSSEX	Byram Township	E		HI	P	P								
SUSSEX	Frankford Township	E		P	E	P								
SUSSEX	Franklin Borough	E		MA	P	H								
SUSSEX	Fredon Township	E		P	P									
SUSSEX	Green Township	E		P	P									
SUSSEX	Hamburg Borough	E		MA	P									
SUSSEX	Hampton Township	E		MA	E	P								
SUSSEX	Hardyston Township	E		HI	P	H								
SUSSEX	Hopatcong Borough	P		HI	P	P								
SUSSEX	Lafayette Township	E		MA	E	H								
SUSSEX	Montague Township	E		MA	E	E								
SUSSEX	Newton Town	P		MA	P									
SUSSEX	Ogdensburg Borough	E		HI	P	H								
SUSSEX	Sandyston Township	E		P	E	E								
SUSSEX	Sparta Township	E		HI	P	H								
SUSSEX	Stanhope Borough	P		HI	P									
SUSSEX	Stillwater Township	E		P	P	P								
SUSSEX	Sussex Borough	P		MA	P									
SUSSEX	Vernon Township	E		MA	P	P								
SUSSEX	Walpack Township	E		P	E	P								
SUSSEX	Wantage Township	E		MA	P	P								
UNION	Berkeley Heights Township	E		MA										
UNION	Cranford Township			P										
UNION	Mountainside Borough	X		MA										
UNION	New Providence Borough			MA										
UNION	Scotch Plains Township	E		MA										
UNION	Springfield Township			P										

Federally Listed and Candidate Species Occurrences in New Jersey by County and Municipality

County	Municipality	Bog Turtle (T)	Piping Plover (T)	Indiana Bat (E)	Dwarf Wedgemussel (E)	NE Beach Tiger Beetle (T)	Small Whorled Pogonia (T)	Swamp Pink (T)	Knikskern's Beaked Rush (T)	American Chaffseed (E)	Sensitive Joint-veitch (T)	Seabeach Amaranth (T)	Red Knot (C)	Hirsts' Panic Grass (C)
E - Extant (present), P - Potential (may be present), H - Historic (may still be present), X - Extinct (no longer present) Extant occurrences of Indiana bat: MA = Maternity (April to Sept. 30), HI = Hibernation														
UNION	Summit City	X		MA										
UNION	Westfield Town			P										
WARREN	Allamuchy Township	E		P	E									
WARREN	Alpha Borough			P	P									
WARREN	Belvidere Town	P		P	P									
WARREN	Blairstown Township	H		P	P									
WARREN	Franklin Township	E		P	P									
WARREN	Frelinghuysen Township	E		P	P									
WARREN	Greenwich Township	P		P	P									
WARREN	Hackettstown Town	P		P	P									
WARREN	Hardwick Township	E		P	H	P								
WARREN	Harmony Township	E		P	P									
WARREN	Hope Township	E		P	P									
WARREN	Independence Township	E		P	E									
WARREN	Knowlton Township	P		P	E									
WARREN	Liberty Township	E		P	E									
WARREN	Lopatcong Township			P	P									
WARREN	Mansfield Township	P		P	P									
WARREN	Oxford Township	E		P	P									
WARREN	Phillipsburg Town			P	P									
WARREN	Pohatcong Township			P	P									
WARREN	Washington Borough	P		P	P									
WARREN	Washington Township	E		P	P									
WARREN	White Township	E		P	E									

EPA: United States Environmental Protection Agency



Air, Water, Waste... Search Place: 128 S 10th St, Newark, NJ 07107 Search of: 400

Select an option to map:

- Air (0)
- Water (0)
- Waste (4)
- Land (5)
- Tanks (0)
- Radionu (0)

View:

- All
- 20 per page
- Single facility
- Facility cluster
- Program Systems
- Chemicals
- Industry
- Greenhouse Gas Emissions

SITE LOCATION

Shapefile | Spreadsheet | GeoRSS | KML | Metadata | Where Can I Get the Data?

Facility Name/Address	AIBS/AIS	ACRES	BB	CERCLIS	ENR	PCS/ICES	RADINP	RCA/RTD/STRT	TSCA
128 S 10th St	-	-	-	-	-	-	-	View Report	-
130 S 10th St	-	-	-	-	-	-	-	View Report	-
132 S 10th St	-	-	-	-	-	-	-	View Report	-
134 S 10th St	-	-	-	-	-	-	-	View Report	-

2012 Summary of TRI Information for ZIP Code 07107

Date Source: 2012 National Analysis dataset (released to the public in November 2013)

Map of TRI Facilities in ZIP Code 07107



Number of TRI Facilities in ZIP Code 07107: 0

Total On-site Releases and Off-site Transfers:

Total On-site Releases:	0 lbs
Air:	0 lbs
Water:	0 lbs
Land:	0 lbs
Total Off-Site Transfers:	0 lbs

How does ZIP Code 07107 compare to the state of New Jersey?

Number of TRI facilities in New Jersey: 382 Total Releases and Transfers in New Jersey: 12,011,673 lbs
 ZIP Code 07107 accounts for 0% of total TRI releases/transfers in New Jersey.
 New Jersey ranks 40 out of 56 states and DC in releases/transfers based on lbs released/transferred (Rank 1 = highest releases)

What Large Aquatic Ecosystem does ZIP Code 07107 contribute to?

This location is not within an area covered by an EPA administered Large Aquatic Ecosystem program.

What industry contributes the most On-site Releases to ZIP Code 07107?

Total On-site Releases:	lbs
Air:	lbs
Water:	lbs
Land:	lbs

Which facility contributes the most Total Releases and Transfers in ZIP Code 07107?

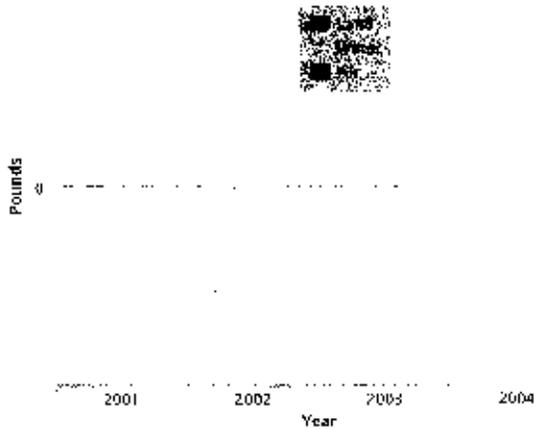
This facility did not report pollution prevention activity during the year.
 The environmental medium: Air (0 lbs)
 With a primary chemical release of: N/A
 Representing 0% of total Air releases for this area

No TRI Facilities

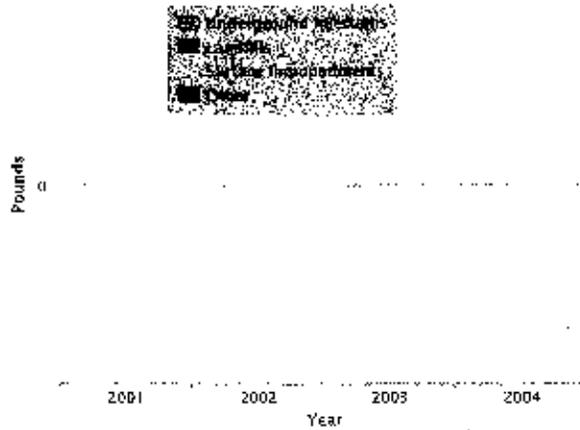
Are Total Releases and Transfers Increasing or decreasing?

Releases from 2001 to 2012 do not show a trend based on a comparison of chemicals (200+). Correl.

Total On-site Releases by Environmental Medium for ZIP Code 07107



Total On-site Releases to Land (details)



Top Five TRI Chemicals by Environmental Medium for ZIP Code 07107 for 2012
(Air, Water, Land, Transfer)

No Releases to Air Reported

No Releases to Water Reported

No Releases to Land Reported

No Releases to Transfer Reported

Note: * = Carcinogenic Chemical

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Essex County, New Jersey
 Survey Area Data: Version 8, Aug 18, 2008

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Mar 19, 2011—Apr 16, 2012

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

MAP LEGEND

- | | | | |
|--|------------------------|--|-----------------------|
| | Area of Interest (AOI) | | Soil Area |
| | Soils | | Stony Spot |
| | Soil Map-Unit Polygons | | Very Stony Spot |
| | Soil Map Unit Lines | | Wet Spot |
| | Soil Map Unit Points | | Other |
| | Special Point Features | | Special Line Features |
| | Blowout | | Streams and Canals |
| | Borrow Pit | | Transportation |
| | Clay Spot | | Rafts |
| | Closed Depression | | Interstate Highways |
| | Gravel Pit | | US Routes |
| | Gravelly Spot | | Major Roads |
| | Landfill | | Local Roads |
| | Lava Flow | | Background |
| | Marsh or swamp | | Aerial Photography |
| | Mine or Quarry | | |
| | Miscellaneous Water | | |
| | Perennial Water | | |
| | Rock Outcrop | | |
| | Saline Spot | | |
| | Sandy Spot | | |
| | Severely Eroded Spot | | |
| | Sinkhole | | |
| | Slide or Slip | | |
| | Sodic Spot | | |

Map Unit Legend

Essex County, New Jersey (NJ013)			
Map Unit Symbol	Map Unit Name	Acres to ACl	Percent of ACl
USBOOB	Urban land, Boonton substratum - Boonton complex, red sandstone lowland, 0 to 8 percent slopes	0.3	100.0%
Totals for Area of Interest		0.3	100.0%

Soil Survey



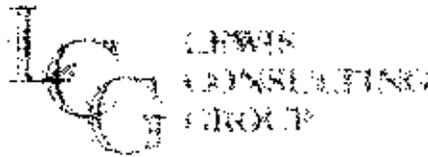
- Legend**
- Environmental Data**
- New Jersey Parcels Data
 - Soils (S SURGO)
 - Natural 2012

Map Printed On (2013-12-20 12:51)

0 0.021 mi

Selections

- 1 Municipal Code: 0714, Block: 1827, Lot: 70, Qualifier:
- 2 Municipal Code: 0714, Block: 1827, Lot: 12, Qualifier:



LEWIS
CONSULTING
GROUP

Environmental Consultants

December 19, 2013

NJDEP
Historic Preservation Office
Mail Code 501-04B
P.O. Box 420
501 East State Street
Trenton, NJ 08625

ATTN: Ms. Meghan Baratta

RE: FAIRMOUNT SOUTH 10TH STREET APARTMENTS
128-134 SOUTH 10TH STREET / 101 SOUTH 9TH STREET
BLOCK 1827, LOTS 12 & 70
CITY OF NEWARK, ESSEX COUNTY, NEW JERSEY

Dear Ms. Baratta:

In accordance with Section 106 of the National Historic Preservation Act of 1966, as amended (16 U.S.C. 4701), and its implementing regulation, 36 CFR Part 800, "Protection of Historic Properties," and as authorized by the U.S. Department of Housing and Urban Development (HUD) under 24 CFR Part 58, we are submitting for your review information regarding the proposed project identified as *Fairmount South 10th Street Apartments*. The proposed project is the adaptive reuse of a vacant building and building on an abutting vacant lot into twenty-three (23) units of permanent supportive and affordable housing. This project will house formerly homeless individuals and families as well as low income individuals and families. The project site is located in the Fairmount Heights Neighborhood of Newark's West Ward, part of the Abandoned Properties Initiative.

Enclosed, please find the necessary documentation per §800.11 consisting of a Site Location Map, photographs, and a narrative of the proposed project.

Based on our initial research, we have made the required determinations and findings, which we now ask for you to review. Our findings conclude that *No Historic Properties are present or affected*. Please respond in writing within the thirty-day time period as noted at §800.3(c)(4). If we have not heard back from you within thirty days, we will assume you concur with our findings.

2374 Highway 40, Building A, Suite 100, Morristown, NJ 07960
Office: (908) 739-1400 Fax: (908) 739-4200

If you concur with the findings in this submission, please sign and date on the line below and return to the office at the following address:

2519 Highway 35
Building A, Suite 202
Manasquan, NJ 08736

If you do not concur, we request that you express your specific concerns and/or objections clearly in writing so that we may continue the consultation process as needed. In addition, please indicate in your response if there are other sources of information that we should review, and if there are other parties, Indian tribes, or members of the public we should include in the consultation process. Thank you for your prompt attention to this matter.

Sincerely,

LEWIS CONSULTING GROUP

Jeanne M. Valente, Project Manager/Environmental Scientist
on behalf of Parkmont Housing and Redevelopment LLC

CONCURRENCE:

State Tribal Historic Preservation Officer	Date

I concur with your findings. There are no historic properties identified within the project area. Significant effects are not anticipated. The project is consistent with the National Historic Preservation Act and the National Historic Preservation Act. The project is consistent with the National Historic Preservation Act and the National Historic Preservation Act.

 1/23/14

Date
NP

Deputy State Historic Preservation Officer
DANIEL D. SAWYER

Historic Areas

Legend

Environmental Data

- New Jersey Parcels Data

- Historic Archaeological Site Grid

Historic Properties

- Listed (Indiv.)
- Listed (HID)
- Eligible (Indiv.)
- Eligible (HID)
- Identified (Indiv.)
- Identified (HID)

Historic Districts

- Listed
- Eligible
- Identified

Natural 2012



0 0.02 mi

Map Printed On (2013-12-20 12:48)

Selections

- 1 Municipal Code: 0714, Block: 1827, Lot: 70, Qualifier:
- 2 Municipal Code: 0714, Block: 1827, Lot: 12, Qualifier:



New Jersey Geological and Water Survey

Digital Geodata Series
DGS98-6 Sole-Source Aquifers of New Jersey

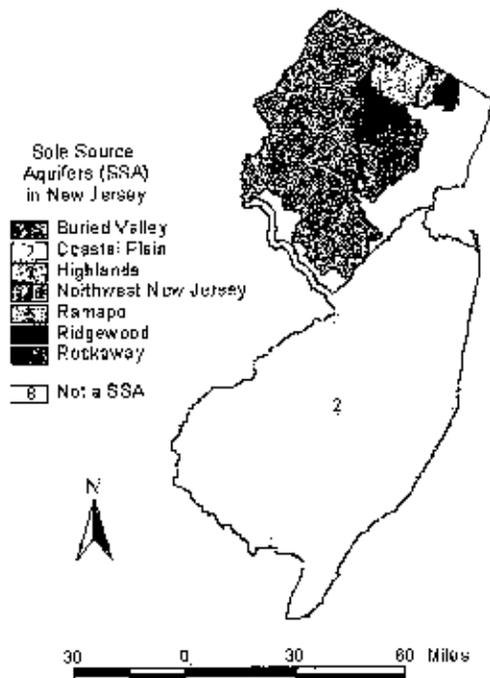
[IMAGE](#) | [DOWNLOAD](#) | [DGS98-6.zip \(250 KB\)](#)

Abstract

Sole-source aquifers (SSA) are those aquifers that contribute more than 50% of the drinking water to a specific area and the water would be impossible to replace if the aquifer were contaminated. Sole-source aquifers are defined with guidelines set forth by the U.S. Environmental Protection Agency (EPA) as authorized in section 1424(c) of the Safe Drinking Water act of 1974. Any federally-funded project in an area that could affect ground-water in a sole-source aquifer must be reviewed by the USEPA. This 'project review area' includes the aquifer's 'recharge zone' and it's 'stream-flow source zone'. The recharge zone is the area through which water recharges the aquifer. The source zone is the upstream area that contributes recharge water to the aquifer. Seven sole-source aquifers are defined in New Jersey and their project review areas cover most of the state.

DGS98-6 contains an ARC/INFO Geographic Information System (GIS) polygon coverage of the sole-source aquifers for New Jersey that are approved as of June 1998. The coverage was built by the N.J. Geological Survey from standard GIS files of U.S. Geological Survey (USGS) hydrologic units, New Jersey state and municipal boundaries, and aquifers.

Map Showing the Sole-Source Aquifers of New Jersey



Sole Source Aquifers

Legend

Environmental Data Sole-Source Aquifer

-  Barren Valley
-  Coastal Plain
-  Highlands
-  Northwest New Jersey
-  Not a Sole Source Aquifer
-  Ramapo
-  Ridgewood
-  Rockaway
-  New Jersey Parcels & Data
-  Natural 2012



Map Printed On (2013-12-20 12:54)

Selections

- 1 Municipal Code: 0714, Block: 1827, Lot: 70, Qualifier:
- 2 Municipal Code: 0714, Block: 1827, Lot: 12, Qualifier:



U.S. Fish and Wildlife Service

National Wetlands Inventory

USFWS Wetlands Inventory Map

Dec 23, 2013



Wetlands

-  Freshwater Emergent
-  Freshwater Forested/Shrub
-  Estuarine and Marine Deepwater
-  Estuarine and Marine
-  Freshwater Pond
-  Lake
-  Riverine
-  Other

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currency of the data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

User Remarks:

NJDEP - Wetlands

Legend

Environmental Data

- New Jersey
- Parcels Data

Wetlands (2007)

- WETLANDS
- Natural 2012



0 0.021mi

Map Printed On {2013-12-20 12:50}

Selections

- 1 Municipal Code: 0714, Block: 1827, Lot: 70, Qualifier:
- 2 Municipal Code: 0714, Block: 1827, Lot: 12, Qualifier:

Sewer Service Areas

Legend

Environmental Data

- New Jersey
- Parcels Data

- Sewer Service Areas

Natura12012



Map Printed On [2013-12-20 12:46]

0 0.021mi

Selections

- 1 Municipal Code: 0714, Block: 1827, Lot: 70, Qualifier:
- 2 Municipal Code: 0714, Block: 1827, Lot: 12, Qualifier:



EJView ACS Summary Report



Location: -74.196574,40.748698 128 South 10th Street, Newark, New Jersey

Study Area: 0.25 miles around the point location

Summary of ACS Estimates	2006 - 2010
Population	3,250
Population Density (per sq. mile)	17,523
Minority Population	3,230
% Minority	99%
Households	1,010
Housing Units	1,542
Housing Units Built Before 1950	831
Per Capita Income	16,661
Land Area (sq. miles) (source: SF1)	0.19
% Land Area	100%
Water Area (sq. miles) (source: SF1)	0.00
% Water Area	0%

	2006 - 2010 ACS Estimates	Percent	MOE (±)
Population by Race			
Total	3,250	100%	497
Population Reporting One Race	3,178	98%	1,217
White	149	5%	227
Black	2,967	91%	494
American Indian	0	0%	123
Asian	0	0%	123
Pacific Islander	0	0%	123
Some Other Race	63	2%	127
Population Reporting Two or More Races	72	2%	142
Total Hispanic Population	290	9%	266
Total Non-Hispanic Population	2,960		
White Alone	20	1%	123
Black Alone	2,940	90%	496
American Indian Alone	0	0%	123
Non-Hispanic Asian Alone	0	0%	123
Pacific Islander Alone	0	0%	123
Other Race Alone	0	0%	123
Two or More Races Alone	0	0%	123
Population by Sex			
Male	1,694	52%	364
Female	1,555	48%	305
Population by Age			
Age 0-4	207	6%	138
Age 0-17	957	29%	267
Age 18+	2,293	71%	533
Age 65+	265	8%	144

Data Note: Detail may not sum to totals due to rounding. Hispanic population can be of any race. N/A means not available.

Source: U.S. Census Bureau, American Community Survey (ACS) 2006 - 2010.



EJView ACS Summary Report



Location: -74.196574,40.748698

Study Area: 0.25 miles around the point location

	2006 - 2010 ACS Estimates	Percent	MOE (±)
Population 25+ by Educational Attainment			
Total	2,088	100%	274
Less than 9th Grade	189	9%	150
9th - 12th Grade, No Diploma	236	11%	172
High School Graduate	748	36%	154
Some College, No Degree	646	31%	161
Associate Degree	97	5%	138
Bachelor's Degree or more	268	13%	157
POPULATION AGE 5+ YEARS BY ABILITY TO SPEAK ENGLISH			
Total	3,043	100%	443
Speak only English	2,476	81%	409
Non-English at Home ^{1,2,3,4}	567	19%	284
⁴ Speak English "very well"	281	9%	207
² Speak English "well"	236	8%	246
³ Speak English "not well"	45	1%	146
⁴ Speak English "not at all"	5	0%	128
^{3,4,5} Speak English "less than well"	50	2%	150
^{2,3,4} Speak English "less than very well"	285	9%	246
POPULATION AGE 5+ YEARS BY LANGUAGE SPOKEN AT HOME			
Total	N/A	N/A	N/A
Speak only English	N/A	N/A	N/A
Non-English Speaking	N/A	N/A	N/A
Population by Place of Birth for the Foreign-Born			
Total	N/A	N/A	N/A
Europe	N/A	N/A	N/A
Asia	N/A	N/A	N/A
Africa	N/A	N/A	N/A
Oceania	N/A	N/A	N/A
Americas	N/A	N/A	N/A
Households by Household Income in 1999			
Household Income Base	1,010	100%	109
< \$15,000	271	27%	108
\$15,000 - \$25,000	113	11%	131
\$25,000 - \$50,000	308	31%	142
\$50,000 - \$75,000	94	9%	124
\$75,000 +	222	22%	148
Occupied Housing Units by Tenure			
Total	1,010	100%	109
Owner Occupied	288	29%	61
Renter Occupied	722	71%	98

Data Note: Detail may not sum to totals due to rounding. Hispanic population can be of any race. N/A means not available.

2006-2010 ACS 5-year Estimates: The American Community Survey (ACS) summary files provide nation-wide population and housing characteristic data at all Census summary levels down to the Block Group level. This data was collected between January 1, 2006 and December 31, 2010. ACS replaces the decennial census sample data, and is not the 2010 Census population counts data. (<http://www.census.gov/acs/www/#fragment-3>)

Marginal of error (MOE). The MOE provides a measure of the uncertainty in the estimate due to sampling error in the ACS survey. Applying the MOE value yields the confidence interval for the estimate. For example, an estimate value of 50 and +/- MOE of 5 means the true value is between 45 and 55 with a 90 percent certainty (http://www.census.gov/acs/www/Downloadacs/data_documentation/Accuracy/MultiyearACSAccuracyofData2010.pdf). Maximum MOE is shown for each value within study area.

Source: U.S. Census Bureau, American Community Survey (ACS) 2006 - 2010.

EDUCATIONAL FACILITIES

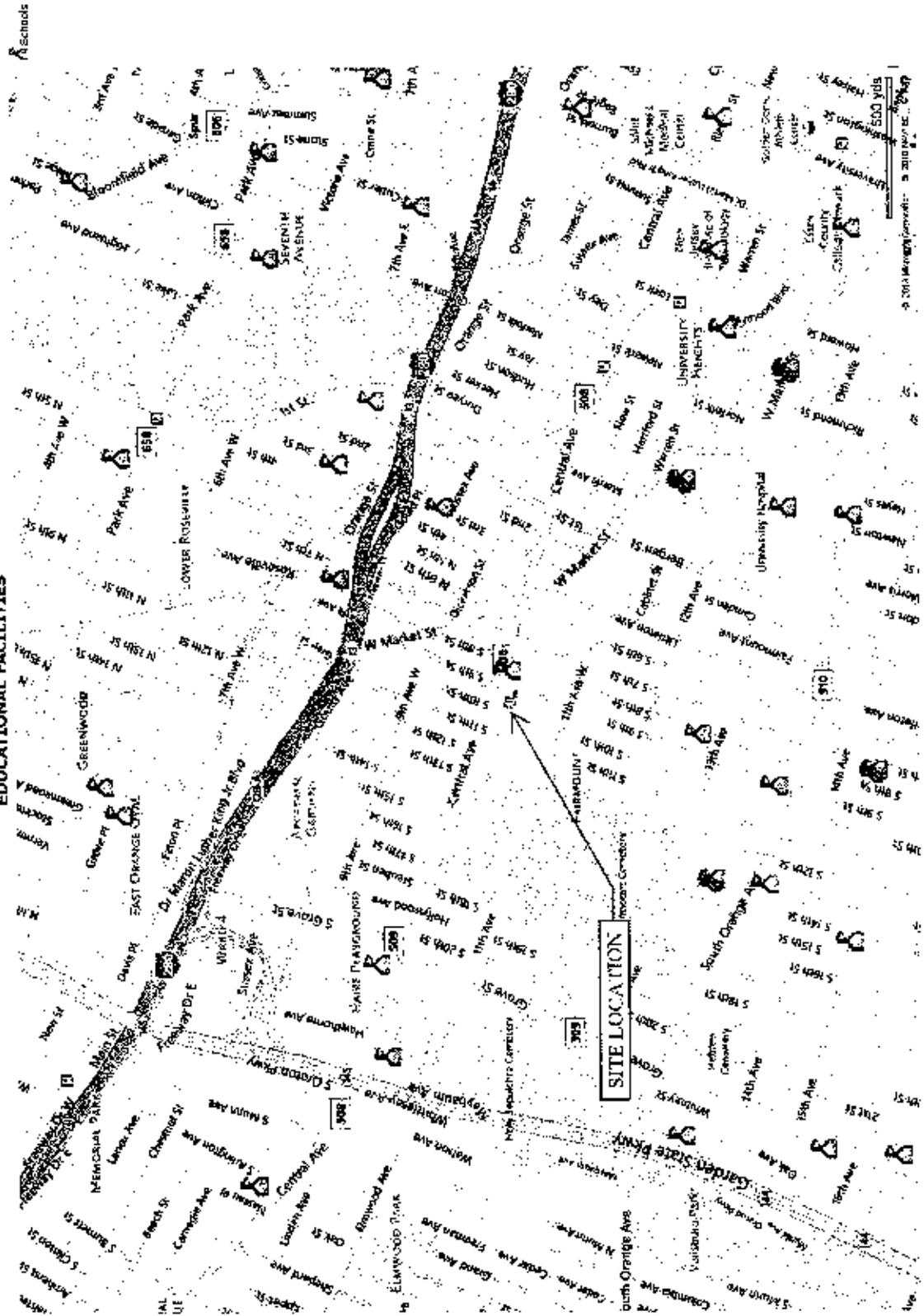
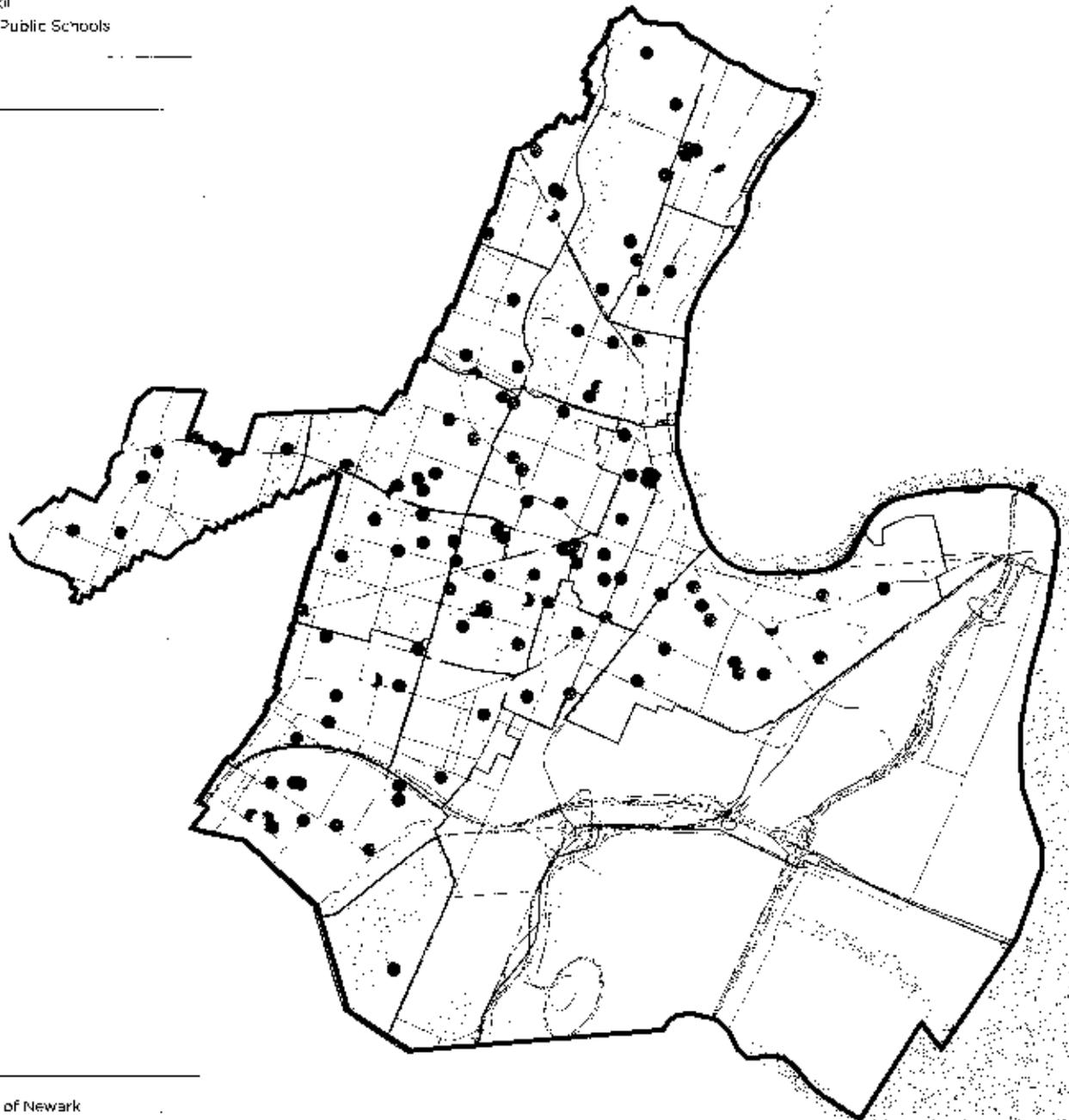


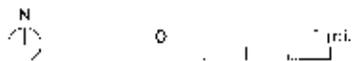
FIG 8.2: Schools
Newark, NJ, 2010

- Private School
 - Charter School
 - Preschool
 - Newark Public Schools
-
- Park



Source: City of Newark

Orientation Scale



01. Public Transit

Increase the use of transit by residents, commuters, and visitors to/from and within the city

Public transit in Newark consists of rail and bus service. NJ TRANSIT operates commuter rail service on the Northeast Corridor, Raritan Valley, North Jersey Coast, Montclair-Boonton, and Morris and Essex Lines, as well as the Newark Light Rail system. PANYNJ owns and operates a rail rapid transit (i.e., subway) system called the Port Authority Trans-Hudson, or PATH, and the AirTrain connecting the Northeast Corridor with Newark's airport terminals. Finally, Amtrak owns and operates regional and national rail service along the Northeast Corridor line. Major transit stations in Newark include Penn Station (bus, light rail, commuter rail, rail rapid transit, and regional rail), Broad Street Station (bus, light rail, and commuter rail); and Newark

Liberty International Airport Station (commuter rail, regional rail, and airport monorail).

Rail ridership on NJ TRANSIT's commuter lines serving Newark has increased significantly between 1990 and 2011 – from about 20 million to more than 30 million passengers, respectively. Ridership on the Newark Light Rail has also increased overall, from less than four million passengers in 1990 to 5.5 million passengers in 2011.

NJ TRANSIT operates an extensive local and regional bus network in Newark consisting of 46 local, commuter, and long-distance bus routes and approximately 800 stops and stations. The system is well patronized, with nearly 54 million passenger trips in 2011. However, while all Newark residents live within a quarter mile (or about a five-minute walk) of a bus line, there remain gaps



COMMERCIAL FACILITIES



feet 4000
km 1



FIG 8.4: Health and Community Resources Network, NJ 2010

- Police Station
- Health Facility
- Fire Engine
- Park



Source: City of Newark

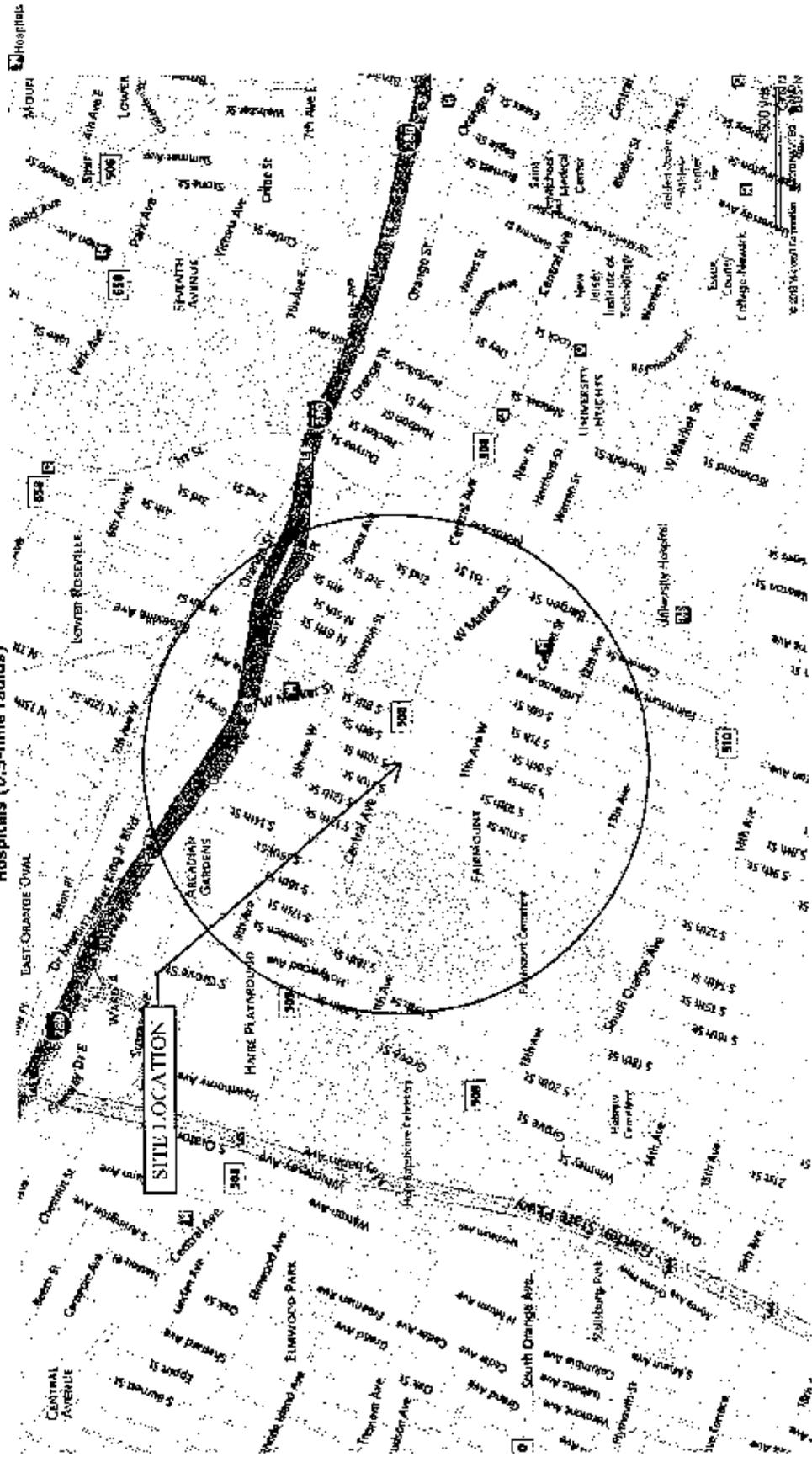
Orientation

Scale



0 1 mi.

Hospitals (0.5-mile radius)



05. Waste

Move toward becoming a “zero waste” city – a place that burns and burles as close to nothing as possible

Newark processes waste for northern New Jersey and New York City at the region’s largest incinerator and serves as a pass-through point for many waste transfer stations and recycling operations. Newark residents and businesses thus bear a disproportionate burden in terms of public health and quality of life for the region’s waste processing system. Moving toward “zero waste” will require changes at the level of City bureaucracy, business practice, and individual behavior.

The below strategies will help the City meet its goal of scaling up the diversion of saleable materials from the municipal solid waste stream and doubling the rate of recycling over the next five years.

Strategy 5.1

Initiate a public waste management campaign

The economic and environmental case for waste diversion and increased recycling are extremely compelling in Newark. For every ton of garbage the City diverts from the local Covanta incinerator

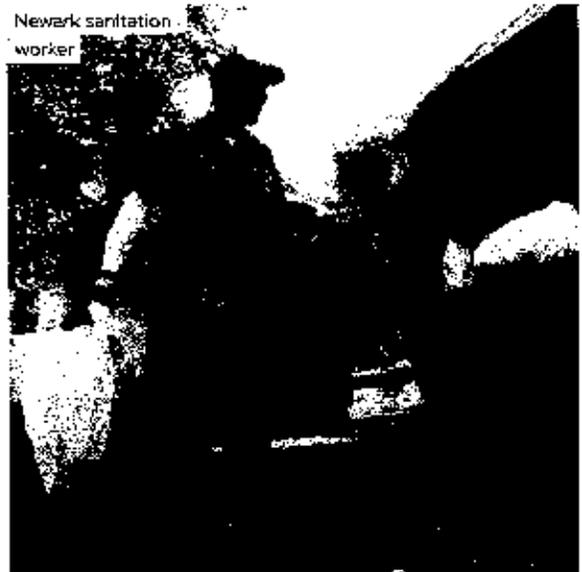
(which accepts household waste) or landfill (which accepts mostly bulk materials), it saves approximately \$86 in “tipping fees.” In addition, if the material can be sold to a manufacturer or recycling company, the City earns revenue ranging from \$4 to \$30 per ton, depending on the type of material. Recycling also allows the City to collect a payment from New Jersey, called a Municipal Tonnage Grant, which has in recent years amounted to about \$220,000 annually. Finally, by diverting garbage from the incinerator, the City avoids contributing to the air pollution associated with burning the materials. Despite filtration technology on the incinerator, it continues to be a major source of pollution in Newark, with plastics and household hazardous waste (such as batteries, light bulbs, and small electronics) posing a particular threat to human health.

In 2010, the City spent approximately \$9.6 million on tipping fees for municipal solid waste (MSW). It received approximately \$5 million in “host fees” for serving as the site of the incineration plant for Essex County. (The plant also accepts garbage from New York City, several other NJ counties, and in smaller quantities from Pennsylvania.) Only 7% of the regular household trash collected by the City from Newark households was recycled in 2010. If the City were to double its recycling rate over its 2010 collections, and if fees and payments stay roughly the same, the savings

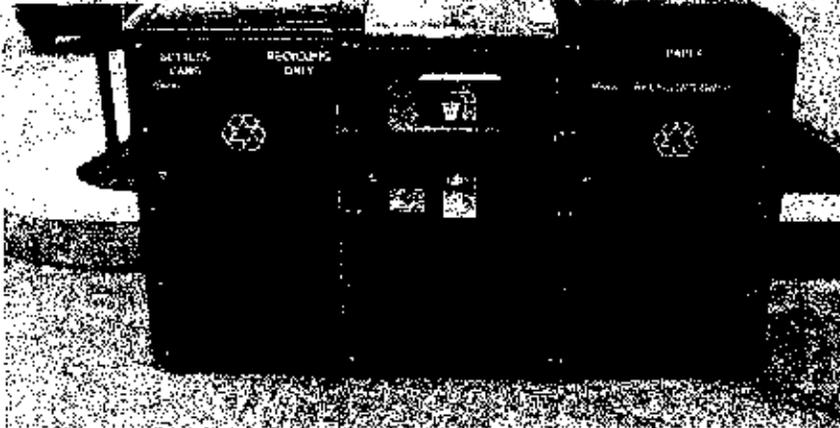
Single-stream recycling facility in Newark



Newark sanitation worker



A recycling and trash collection station outside Newark City Hall



Construction and demolition waste



Construction and demolition waste recycling facility



and additional payments would yield approximately \$1 million annually. This amount of additional revenue could be used to cover the costs associated with any redeployment of staff, trucks, and related equipment needed to serve the additional demand for recycling collections. In fact, a more robust and strategically targeted recycling program should more than pay for itself and has the potential to become a revenue center within the Department of Neighborhood Services (NRS), which provides a range of crucial services to the public and has suffered large cuts to its budget and staffing over the past five years.

NRS, with support from the Newark Sustainability Office, has already undertaken an ambitious series of activities to boost recycling collections during 2012. These include an effort to ensure all municipal buildings are recycling, enforcement of recycling requirements at multifamily residential buildings, and a cooperative roll-out of recycling awareness and compliance at Newark Housing Authority and Newark Public Schools facilities. NRS recently expanded the spectrum of recyclable plastics in Newark to include Types 1 through 7. The Department is also seeking to complete the paperwork necessary to propose to the Municipal Council that the City institute public space recycling and to arrange for competitive contracts with vendors to collect electronic waste, organic (non-food) waste, textiles, and other salable portions of the current waste stream.

To continue to move Newark toward its vision of “zero waste,” to increase waste diversion by encouraging business-to-business sales, and to double the local recycling rate in the next five years, the City will pursue the following multi-pronged strategies, which are described in more detail in the Newark Sustainability Action Plan:

5.1.1 Simplify collections for residents

5.1.2 Launch a high-visibility public awareness campaign about the City’s recycling goals, including information on pick-up schedules, permissible materials, what to do with household hazardous waste and electronics, and the value of recycling

5.1.3 Engage an Incentive program, such as RecycleBank

5.1.4 Optimize pick-up routes and staffing, with a focus on high-value commodities

5.1.5 Institute public space recycling and collection of salable portions of the municipal waste stream through the development of RFPs and facilitate delivery of a waste reduction package to the Municipal Council

5.1.6 Continue the current roll-out of enhanced education and enforcement for recycling compliance in large buildings, including municipal facilities, multifamily residences, and Newark Housing Authority and Newark Public Schools facilities

5.1.7 Enhance education and enforcement for commercial recycling, including clear guidelines on the City website, with opportunities for smaller businesses to buy recycling and waste hauling services collectively

04. Wastewater

Maintain sewer infrastructure in an adequate state of repair; reduce the frequency and mitigate the impact of street-level flooding on residents and businesses; and over the long term, improve the health of the Passaic River and Newark Bay

The City is responsible for managing massive amounts of wastewater – both sanitary sewage and stormwater runoff – and its success in this effort is directly linked to the health of Newark’s waterways, the efficiency and resilience of its infrastructure, and the health and safety of residents and businesses.

Half of Newark’s land area is served by a separate sewer system (SSS), which has distinct pipes for collecting sanitary sewage and stormwater, while the other half utilizes a combined sewer system (CSS). The CSS was constructed prior to 1910 and is mostly located at the city’s center. In dry weather, the system delivers sanitary sewage to a treatment facility in the port area operated by the Passaic Valley Sewerage Commissioners (PVSC). In wet weather, however, storm, snow melt, and other surface runoff water enter the combined sewers, and if the conveyance capacity of the system is exceeded (which happens frequently during periods of heavy rain) the excess flow is diverted and discharged into the Passaic River and Newark Bay – an event known as combined sewer overflow (CSO). CSOs are a major source of waterborne contaminants that impact the City’s ability to comply with state and federal water quality regulations. Periods of heavy rain can also lead to basement flooding in homes and businesses, as well as pervasive street-level flooding, which is exacerbated by a lack of pervious surfaces and inadequate drainage facilities.

Like its water supply system, Newark’s sewers are aging. In the near term, the City will need to continue to spend significantly more on the rehabilitation and replacement of existing infrastructure than it will to increase capacity. Simultaneously, significant investments in “green infrastructure” will help to offset capacity issues in combined sewer districts, reduce combined sewer overflows, and improve drainage in flood-prone areas.

Strategy 4.1

Maintain and upgrade grey infrastructure to address critical environmental challenges and provide safe and reliable service

Newark relies on an extensive system of “grey infrastructure” – including sewers, pipes, pumping stations, catch basins, and combined sewer outfalls – to convey, treat, and discharge its wastewater. Many components of this system are more than 100 years old; they are approaching the end of their service life and need to be upgraded or replaced in order to avoid deterioration and failure. At the same time, the City must meet a host of regulatory requirements and water quality standards.

In 2011, the City created a Sewer System Master Plan, which includes a comprehensive evaluation of its sewer system and a 10-year capital improvement plan (CIP), to make critical improvements. Refer to this document for more detail on any of the below strategies.

4.1.1 Design and construct all outstanding CSO floatable control facilities

There are 17 permitted CSO outfalls in Newark: 12 along the Passaic River and five in the Peripheral Ditch along the perimeter of Newark International Airport. The City is currently under an Administrative Consent Order issued by NJDEP to construct screening and netting facilities at its CSO points to control floatables and other large solids. The City has completed construction at eight of its CSO points, but a lack of funding for capital projects has stalled the construction of additional facilities.

For more information on this strategy, see the Newark Sewer System Master Plan.

4.1.2 Continue to evaluate, rehabilitate, and replace all brick and non-brick sewers

Brick was used to construct the city’s earliest sewers, and brick sewers today make up the majority of the main line sewers within

Newark Water Department

Source Water Assessment Summary

A State Review of Potential Contamination Sources Near Your Drinking Water



The Department of Environmental Protection (DEP) has conducted an assessment of the water sources that supply each public water system in the state, including yours. The goal of this assessment was to measure each system's susceptibility to contamination, not actual (if any) contamination measured in a water supply system.

The assessment of your water system, the *Newark Water Department*, involved:

- Identifying the area (known as the source water assessment area) that supplies water to your public drinking water system;
- Inventorying any significant potential sources of contamination in the area; and
- Analyzing how susceptible the drinking water source is to the potential sources of contamination.

DEP evaluated the susceptibility of all public water systems to eight categories of contaminants. These contaminant categories are explained, along with a summary of the results for your water system, on page 3. Page 4 contains a map of your water system's source water assessment area.

A public water system's susceptibility rating (L for low, M for medium or H for high) is a combination of two factors. H, M, and L ratings are based on the potential for a contaminant to be at or above 50% of the Drinking Water Standard or MCL (H), between 10 and 50% of the standard (M) and less than 10% of the standard (L).

- How "sensitive" the water supply is to contamination. For example, a shallow well or surface water source, like a reservoir, would be more exposed to contamination from the surface or above ground than a very deep well.
- How frequently a contaminant is used or exists near the source. This is known as "intensity of use." For example, the types of activities (such as industry or agriculture) surrounding the source.

The susceptibility rating does not tell you if the water source is actually contaminated. The Consumer Confidence Report annually issued by your water utility contains important information on the results of your drinking water quality tests, as required by the federal Safe Drinking Water Act.

Where does drinking water come from?

There are two basic sources of drinking water: ground water and surface water.

Ground water is water found beneath the Earth's surface. Ground water comes from rain and snow seeping into rock and soil. Ground water is stored in underground areas called aquifers. Aquifers supply wells and springs. Wells in New Jersey range from about 15 feet to 2,000 feet deep.

Surface water is the water naturally open to the atmosphere, such as rivers, lakes, streams and reservoirs. Precipitation that does not infiltrate the ground or evaporate into the sky runs off into surface water bodies.

Ground water can seep into a stream, river or other surface water body, recharging surface water bodies. Likewise, under some circumstances, surface water can seep into an adjacent aquifer.

A water system obtains its water from 1) wells drilled into the ground that pump out ground water; 2) devices called surface water intakes placed on a river, stream, reservoir; or 3) both.

What factors may affect the quality of your drinking water source?

A variety of conditions and activities may affect the quality of drinking water source. These include geology (rock and soil types); depth of a well or location of a surface water intake; how the land surrounding the source is used (for industry, agriculture or development); the use of pesticides and fertilizers; and the presence of contaminated sites, leaking underground storage tanks, and landfills.

What steps are being taken now to ensure my drinking water quality?

The DEP has numerous programs in place to maintain and protect the quality of our State's water resources. For example, the Safe Drinking Water Program is designed to ensure that water delivered for human consumption meets DEP's stringent health-based drinking water standards. Additionally, DEP has permitting, waste management, and clean up programs in place to avoid and control potential contamination. Key DEP drinking water protection initiatives will be phased-in over time in Source Water Assessment areas to advance existing program protections.

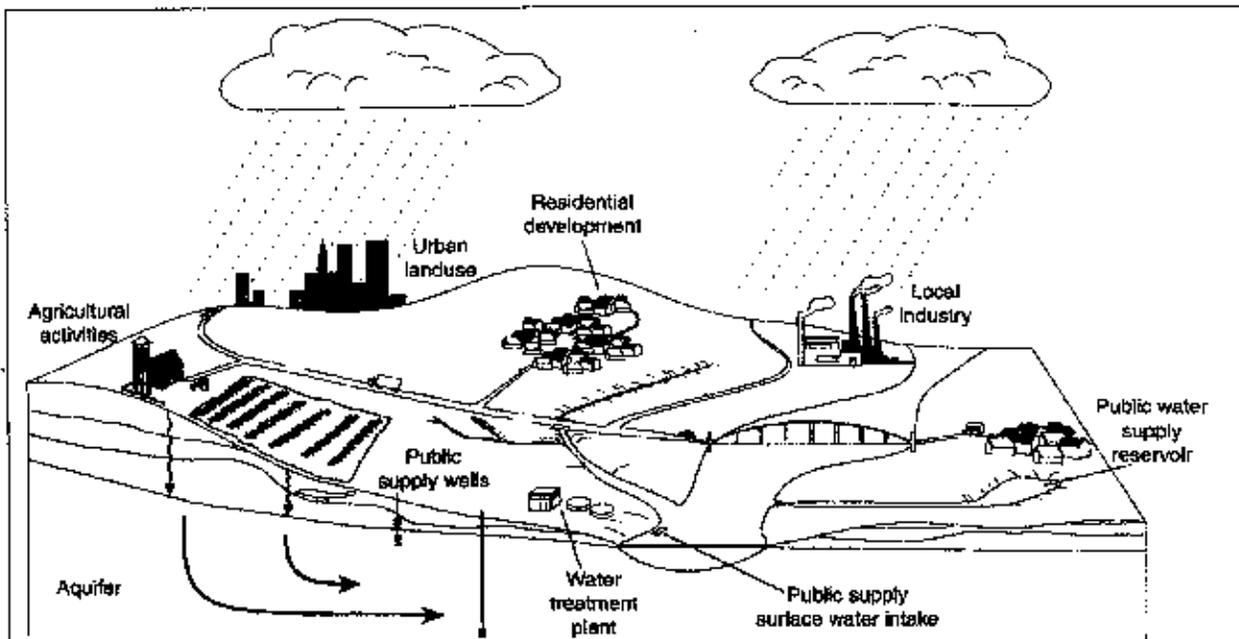


Illustration courtesy of USGS

Among the factors that may affect the quality of drinking water are the type of rock and soil and how the land is used. While some rain and snow evaporates into the sky, most of it runs off into nearby rivers and streams or seeps into the ground. Drinking water comes from underground aquifers or surface water bodies.

What can you and others do to help?

Federal law requires each state to establish and implement a Source Water Assessment Program. While government at the state and local levels can do their part, there are actions that you and your neighbors in homes and businesses can take now to help protect our precious and shared natural resource.

Here's just a few ways you and others can help ensure clean and plentiful water for New Jersey – now and in the future. Join us today for a clean water future.

In your home or business:

- Dispose of waste properly. Some materials such as motor oil, paint, flea collars, and household cleaners have the potential to contaminate source water. Contact your local Department of Public Works for proper household hazardous waste disposal.
- Limit your use of fertilizer, pesticides, and herbicides.

Here are some actions that municipal and county officials/local and county planners can take and you can help encourage and support.

- Manage and work with owners of existing potential contaminant sources to minimize potential contamination.
- Establish regulations prohibiting or restricting certain activities or land uses within the source water assessment area. Take appropriate enforcement action when necessary.
- Update municipal master plans to ensure greater protection.
- Purchase lands or create conservation easements within the source water assessment area.

Newark Water Department- PWSID # 0714001

Newark Water Department is a public community water system consisting of 0 well(s), 0 wells under the influence of surface water, 1 surface water intake(s), 1 purchased ground water source(s), and 1 purchased surface water source(s).

This system's source water comes from the following aquifer(s) and/or surface water body(s) (if applicable): Charlottesville Reservoir

This system purchases water from the following water system(s) (if applicable): ELIZABETHTOWN WC, NJDWSC

Susceptibility Ratings for Newark Water Department Sources

The table below illustrates the susceptibility ratings for the seven contaminant categories (and radon) for each source in the system. The table provides the number of wells and intakes that rated high (H), medium (M), or low (L) for each contaminant category. For susceptibility ratings of purchased water, refer to the specific water system's source water assessment report.

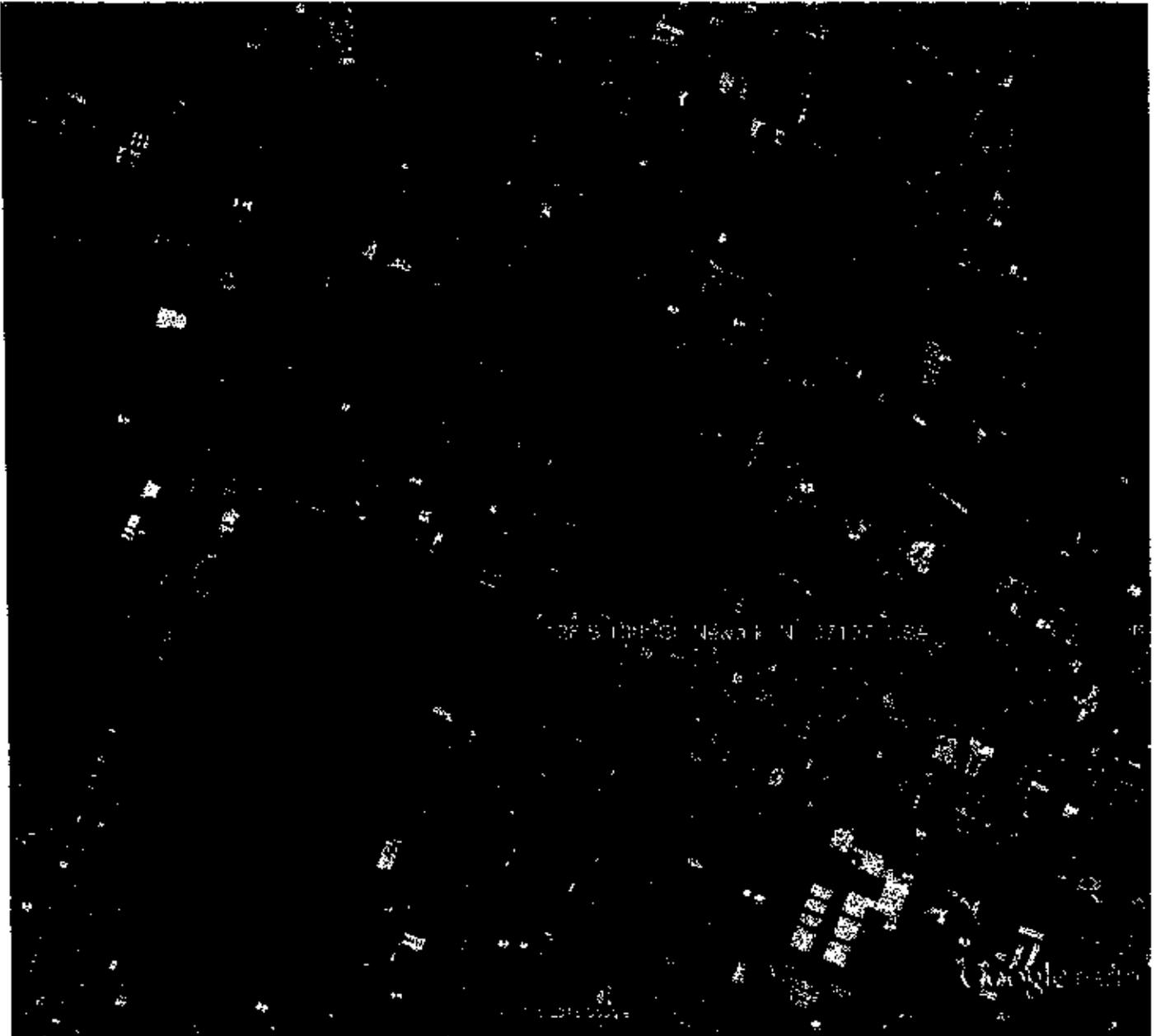
The seven contaminant categories are defined at the bottom of this page. DEP considered all surface water highly susceptible to pathogens, therefore all intakes received a high rating for the pathogen category. For the purpose of Source Water Assessment Program, radionuclides are more of a concern for ground water than surface water. As a result, surface water intakes' susceptibility to radionuclides was not determined and they all received a low rating.

If a system is rated highly susceptible for a contaminant category, it does not mean a customer is or will be consuming contaminated drinking water. The rating reflects the potential for contamination of source water, not the existence of contamination. Public water systems are required to monitor for regulated contaminants and to install treatment if any contaminants are detected at frequencies and concentrations above allowable levels. As a result of the assessments, DEP may customize (change existing) monitoring schedules based on the susceptibility ratings.

Sources	Pathogens			Nutrients			Pesticides			Volatile Organic Compounds			Inorganics			Radionuclides			Radon			Disinfection Byproduct Precursors			
	H	M	L	H	M	L	H	M	L	H	M	L	H	M	L	H	M	L	H	M	L	H	M	L	
Wells - 0																									
GUDI - 0																									
Surface water Intakes - 1	1					1			1			1	1					1				1	1		

- **Pathogens:** Disease-causing organisms such as bacteria and viruses. Common sources are animal and human fecal wastes.
- **Nutrients:** Compounds, minerals and elements that aid growth, that are both naturally occurring and man-made. Examples include nitrogen and phosphorus.
- **Volatile Organic Compounds:** Man-made chemicals used as solvents, degreasers, and gasoline components. Examples include benzene, methyl tertiary butyl ether (MTBE), and vinyl chloride.
- **Pesticides:** Man-made chemicals used to control pests, weeds and fungus. Common sources include land application and manufacturing centers of pesticides. Examples include herbicides such as atrazine, and insecticides such as chlordane.
- **Inorganics:** Mineral-based compounds that are both naturally occurring and man-made. Examples include arsenic, asbestos, copper, lead, and nitrate.
- **Radionuclides:** Radioactive substances that are both naturally occurring and man-made. Examples include radium and uranium.
- **Radon:** Colorless, odorless, cancer-causing gas that occurs naturally in the environment. For more information go to <http://www.nj.gov/dep/rpp/radon/index.htm> or call (800) 648-0394.
- **Disinfection Byproduct Precursors:** A common source is naturally occurring organic matter in surface water. Disinfection byproducts are formed when the disinfectants (usually chlorine) used to kill pathogens react with dissolved organic material (for example leaves) present in surface water.

PARKS & OPEN SPACE



feet 3000
km 1



SECTION G

Site DNL Calculator

For more information on using the noise calculator, to access the user guidebook, or send comments, please visit the following page:

[Day/Night Noise Level Electronic Assessment Tool](#)

Guidelines:

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway input variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

Site ID
 Record Date
 User's Name

Railroad #1 Track Identifier:

Rail # 1

Train Type	Electric <input type="checkbox"/>	Diesel <input type="checkbox"/>
Effective Distance	<input type="text" value="2760"/>	
Average Train Speed	<input type="text" value="30"/>	
Engines per Train	<input type="text" value="1"/>	
Railway cars per Train	<input type="text" value="7"/>	
Average Train Operations (ATO)	<input type="text" value="252"/>	
Night Fraction of ATO	<input type="text" value="42"/>	
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
Bolled Tracks?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
Train DNL	<input type="text" value="59.6992"/>	
Calculate Rail #1 DNL	<input type="text" value="59.6992"/>	<input type="button" value="Reset"/>

Railroad #2 Track Identifier:

Rail # 2			
Train Type	Electric <input type="checkbox"/>	Diesel <input type="checkbox"/>	
Effective Distance	<input type="text" value="2800"/>		
Average Train Speed	<input type="text" value="30"/>		
Engines per Train	<input type="text" value="1"/>		
Railway cars per Train	<input type="text" value="7"/>		
Average Train Operations (ATO)	<input type="text" value="515"/>		
Night Fraction of ATO	<input type="text" value="44"/>		
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input type="checkbox"/>	No: <input type="checkbox"/>
Ballast Tracks?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input type="checkbox"/>	No: <input type="checkbox"/>
Train DNL	<input type="text" value="61.4985"/>		
Calculate Rail #2 DNL	<input type="text" value="61.4985"/>	Reset	

Airport Noise Level:

Loud Impulse Sounds? Yes No

Combined DNL for all Road and Rail sources:

Combined DNL including Airport:

Site DNL with Loud Impulse Sound:

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- **No Action Alternative**
Cancel the project at this location [DNL Calculator](#)
- **Other Reasonable Alternatives**
Choose an alternate site [DNL Calculator](#)
- **Mitigation**
 - Contact your Field or Regional Environmental Officer - [Environmental Contacts](#)**
 - Increase mitigation in the building walls** (only effective if no outdoor, noise sensitive areas).
 - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses**
[DNL Calculator](#)
 - Incorporate natural or man-made barriers.** See [The Noise Guidebook](#)
 - Construct noise barrier.** See the [Barrier Performance Module](#)

**Worksheet B
Aircraft Noise**

Noise Assessment Guidelines

List all airports within 15 miles of the site:

1. Newark Liberty International Airport (EWR)
2. _____
3. _____

Necessary Information:	Airport 1	Airport 2	Airport 3
1. Are DNL, NDF or CNR contours available? (yes/no)	yes		
2. Any supersonic aircraft operations? (yes/no)	no		
3. Estimating approximate contours from Figure 3:			
a. number of nighttime jet operations	—		
b. number of daytime jet operations	—		
c. effective number of operations (10 times a + b)	—		
d. distance A for 65 dB	—		
70dB	—		
75 dB	—		
e. distance B for 65 dB	—		
70 dB	—		
75 dB	—		
4. Estimating DNL from Table 2:			
a. distance from 65 dB contour to flight path, D ¹	3,415 ft		
b. distance from NAL to flight path, D ²	18,165 ft		
c. D ² divided by D ¹	5.31		
d. DNL	< 55 dB		
5. Operations projected for what year?	2000		
6. Total DNL from all airports		< 55	

Worksheet D
Railway Noise

Noise Assessment Guidelines

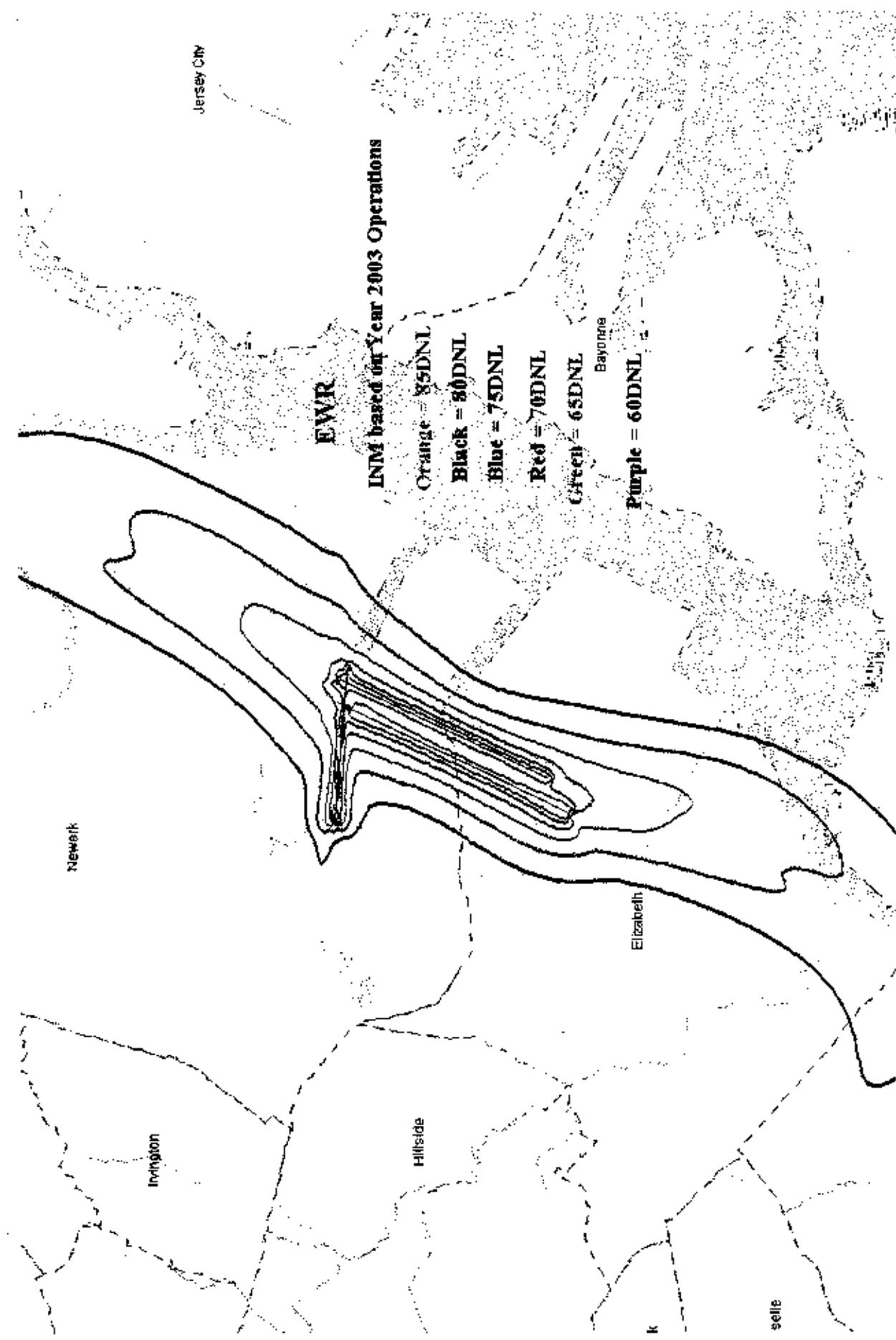
List All Railways within 8000 feet of the site:

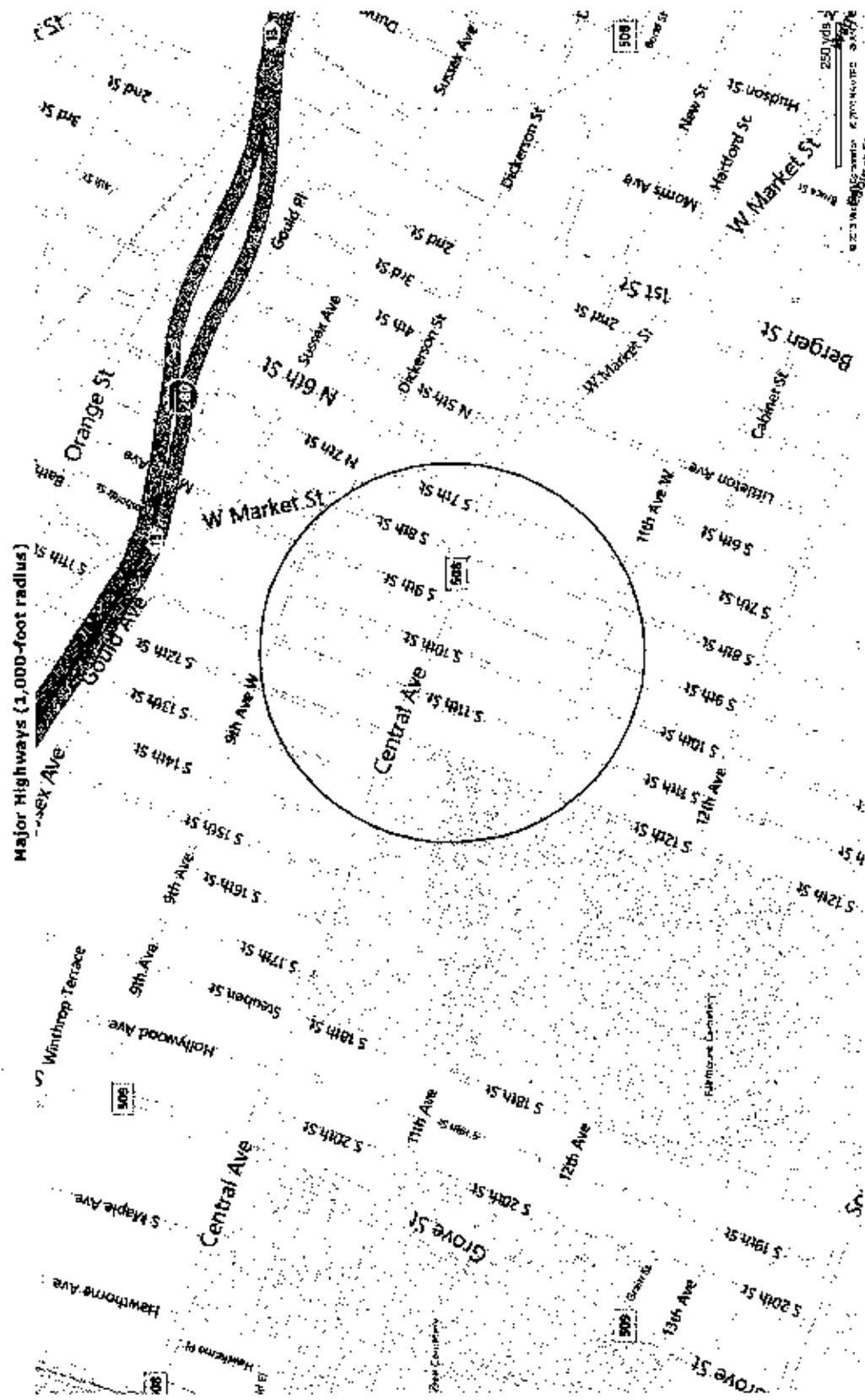
1. New Jersey Transity Morris & Essex Line
2. New Jersey Transit Newark Light Rail
3. _____

Necessary information:

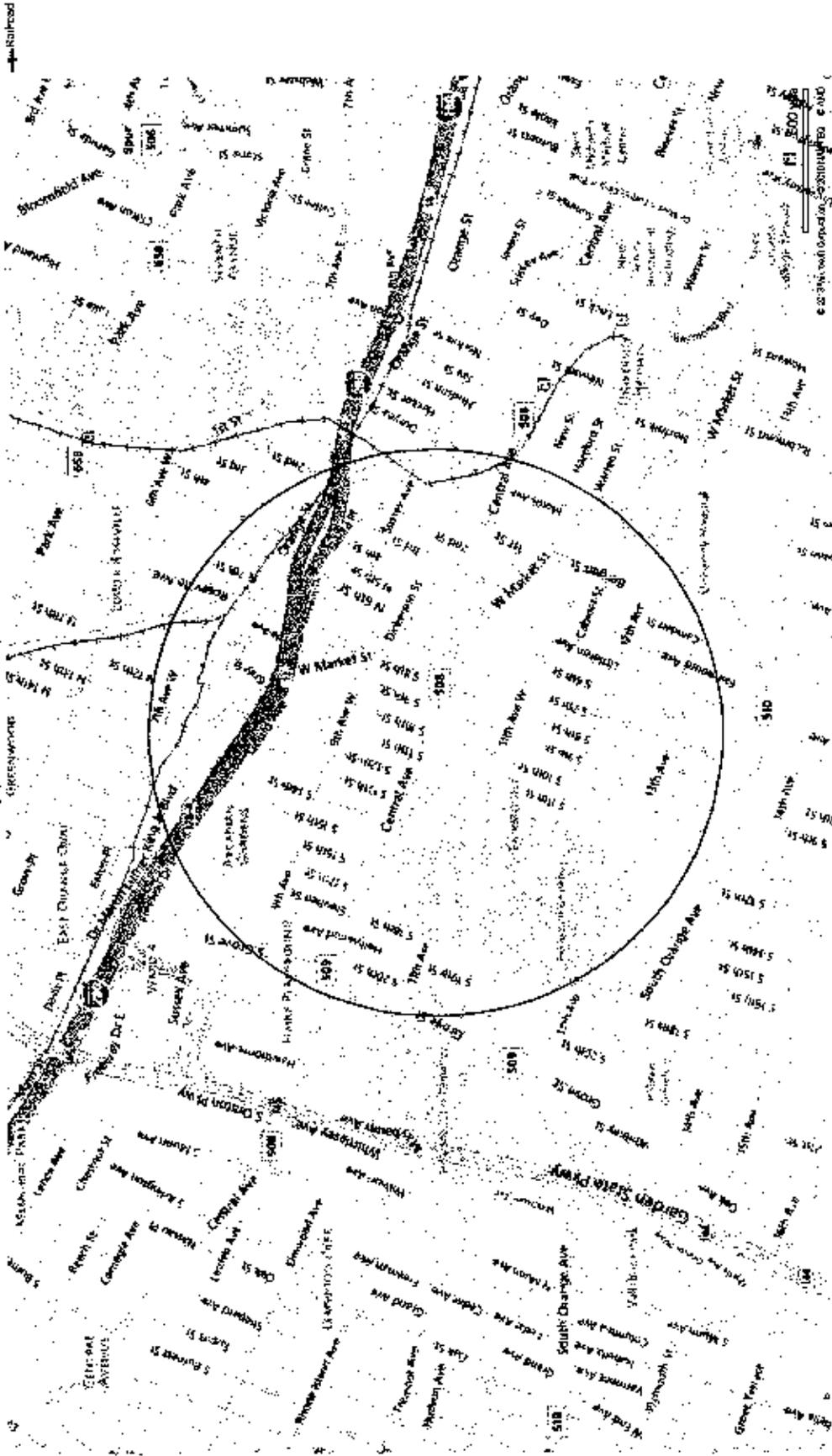
Railway No. 1 **Railway No. 2** **Railway No. 3**

1. Distance in feet from the NAL to the railway track: 2,760 ft 2,800 ft
2. Number of trains in 24 hours:
 - a. diesel —
 - b. electrified 212 316
3. Fraction of operations occurring at night (10 p.m. - 7 a.m.): 42 44
4. Number of diesel locomotives per train: 1 1
5. Number of rail cars per train:
 - a. diesel trains -- --
 - b. electrified trains 7 7
6. Average train speed: 30 30
7. Is track welded or bolted? bolted bolted
8. Are whistles or horns required for grade crossings? yes yes





Railroads (3,000-foot radius)



SECTION H



TERMS
Environmental Services, Inc.

599 Springfield Avenue, Berkeley Heights, NJ 07922

PHASE I ENVIRONMENTAL SITE ASSESSMENT

**128-134 S. 10th Street and 101 S. 9th Street
Newark, New Jersey 07107**

November 20, 2013



Prepared For:

**Parkmont Housing and Redevelopment LLC
73 Washington Street
Newark, New Jersey 07003-2414**

Prepared By:

**TERMS Environmental Services, Inc. (TERMS)
599 Springfield Ave.
Berkeley Heights, New Jersey 07922**

TABLE OF CONTENTS

	PAGE
EXECUTIVE SUMMARY	
1.0 PURPOSE & LIMITATIONS.....	6
1.1 Purpose.....	6
1.2 Scope of Services.....	6
1.3 Assumptions.....	7
1.4 Limitations and Exceptions.....	7
1.5 Terms & Conditions.....	8
1.6 User Reliance.....	8
2.0 SITE DESCRIPTION.....	8
2.1 Site Location and Legal Description.....	8
2.2 Site and Vicinity Characteristics.....	8
2.3 Current Use of the Property.....	8
2.4 Description of Structures, Roads, & Other Improvements on the Site.....	8
2.5 Current Uses of Adjoining Properties.....	9
3.0 USER PROVIDED INFORMATION.....	9
3.1 Title Record.....	9
3.2 Environmental Liens or Activity and Use Limitations.....	9
3.3 Specialized Knowledge.....	9
3.4 Commonly Known or Reasonable Ascertainable Information.....	9
3.5 Valuation Reduction for Environmental Issues.....	9
3.6 Owner, Property Manager, and Occupant Information.....	10
3.7 Reasons for Performing Phase I.....	10
3.8 Other.....	10
4.0 RECORDS REVIEW.....	10
4.1 Standard Environmental Records Sources.....	10
4.1.1 Federal, State and Tribal Sites.....	10
4.1.1.1 National Priorities List (NPL)/Delisted NPL.....	11
4.1.1.2 CERCLIS/CERCLIS NFRAP.....	11
4.1.1.3 Resource Conservation & Recovery Act (RCRA) CORRACTIS.....	11
4.1.1.4 Resource Conservation & Recovery Act (RCRA) TSD.....	11
4.1.1.5 Resource Conservation & Recovery Act (RCRA) Generators.....	11
4.1.1.6 Federal Institutional/Engineering Control Registry.....	11
4.1.1.7 Federal ERNS List.....	12
4.1.1.8 State and Tribal Hazardous Waste Sites (SHWS).....	12
4.1.1.9 State and Tribal Solid Waste Facilities/Landfill Sites.....	12
4.1.1.10 State and Tribal Leaking Underground Storage Tanks (LUSTs).....	12
4.1.1.11 State and Tribal Registered Underground Storage Tanks (UST).....	12
4.1.1.12 State and Tribal Institutional/Engineering Control Registry.....	13
4.1.1.13 State and Tribal Voluntary Cleanup Site.....	13
4.1.1.14 State and Tribal Brownfield Sites.....	13
4.1.1.15 Orphan Sites.....	13
4.2 Additional Environmental Records Sources.....	13
4.3 Physical Setting Sources.....	13
4.4 Historical Use Information on the Property.....	14

4.5	Historical Use Information on Adjoining Properties	14
5.0	SITE RECONNAISSANCE	15
5.1	Methodology and Limiting Conditions.....	15
5.2	General Site Setting.....	15
5.3	Exterior and Interior Observations.....	15
5.3.1	Hazardous Substances and Petroleum Products.....	15
5.3.2	Aboveground or Underground Storage Tanks (AST/UST).....	16
5.3.3	Odors	16
5.3.4	Pools of Liquid	16
5.3.5	Drums.....	16
5.3.6	Hazardous Substance and Petroleum Products.....	16
5.3.7	Unidentified Substance Containers	16
5.3.8	PCBs.....	16
5.3.9	Heating/Cooling.....	16
5.3.10	Stains or Corrosion (Interior).....	16
5.3.11	Drains and Sumps.....	16
5.3.12	Pits, Ponds or Lagoons.....	16
5.3.13	Stained Soil or Pavement (Exterior).....	17
5.3.14	Stressed Vegetation.....	17
5.3.15	Solid Waste	17
5.3.16	Waste Water	17
5.3.17	Wells.....	17
5.3.18	Septic Systems.....	17
5.4	Other Environmental Considerations	17
5.4.1	Asbestos Containing Material	17
5.4.2	Radon	17
5.4.3	Lead Based Paint.....	18
5.4.4	Mold and Microbial Matter	18
6.0	INTERVIEWS.....	18
6.1	Interview with Owner/Operator	18
6.2	Interview with Local Government Officials.....	18
6.3	Interviews with Others.....	18
7.0	FINDINGS	18
8.0	CONCLUSIONS.....	19
9.0	SIGNATURES OF ENVIRONMENTAL PROFESSIONALS.....	19
10.0	QUALIFICATIONS OF ENVIRONMENTAL PROFESSIONALS.....	19

APPENDICES:

APPENDIX 1	MAPS AND FIGURES
APPENDIX 2	SITE PHOTOGRAPHS
APPENDIX 3	REGULATORY DATABASE REPORT
APPENDIX 4	HISTORICAL SOURCES
APPENDIX 5	PREPARER QUALIFICATIONS
APPENDIX 6	OTHER INFORMATION

EXECUTIVE SUMMARY

PROPERTY DESCRIPTION:

The subject property located at 128-134 S. 10th Street and 101 S. 9th Street, Newark, Essex County, New Jersey, is also known as Block 1827, Lots 70 and 12, on the City of Newark tax map. The site is an approximate 0.3-acre property developed with a four-story vacant hospital/nursing home building and associated lot improvements. The site also includes a vacant residential lot in the rear that fronts along S. 9th Street. The building is brick construction on a block foundation and dates from 1927. The building was vacant and in disrepair at the time of the inspection. The site is located in a mostly residential area south of Central Avenue, approximately ¼-mile northwest of the central downtown district. The site vicinity has been developed as such since the early 1900s.

TERMS performed a site inspection of the subject property on October 3, 2013. A complete visual inspection was performed given the site conditions. TERMS was accompanied by Kristin Ford, the site contact, at the time of the inspection. During the inspection, the interior and exterior areas of the building and exterior areas of the lot were inspected. The interior was in very poor condition at the time of the inspection. There is a basement where some mechanicals are located. There is a paved driveway at the north side of the building and a concrete patio area at the northeast corner. The lot on 9th Street, behind the hospital building, was vacant and vegetated. Utilities to the site are all municipal.

TERMS observed two suspect vent pipes on the north side of the building. It is unknown whether these pipes were related to a former heating oil AST that may have been located in the basement, or a former UST located in the vicinity outside the building. The site was listed in the NJDEP UST database for having one 3,000-gallon #2 heating oil UST removed in 1995. A public records request to the City of Newark did not yield additional records, such as permits, pertaining to tanks from construction department. The user provided TERMS with a Letter of Findings from an electromagnetic tank search done previously at the site in June 2013 by A-J Tank Service, Inc. The electromagnetic sweep of the area in question at the north side of the building was inconclusive, and the letter recommended further investigation of the two suspect vent pipes to determine if they are connected to underground tanks.

FINDINGS AND CONCLUSIONS:

Following a site reconnaissance, records review and interview with owner/operator and state and/or local agency representatives, one recognized environmental condition was identified for the site. Suspect vent pipes were observed at the north side of the building. Given this observation, the absence of additional records regarding the reported 3,000-gallon UST that was listed as removed, and the inconclusive results of the previously conducted tank survey, TERMS recommends further investigation of this area to determine whether any USTs are present on the site.

Although not required by the ASTM standard, it should also be noted that an ACM survey and bulk sampling was conducted at the site. The results are provided under separate cover. In addition, radon testing was requested, however, in order to obtain a proper representative sample, "closed-house" conditions must be maintained. Due to the current poor condition of the building, these conditions cannot be maintained at this time. Finally, lead-based paint and mold may be present in the building.

Below is the Assessment Summary of our recommendations for the subject property. Additional information regarding recommendations is provided in Section 7.0.

ASSESSMENT SUMMARY TABLE				
Report Component	Section (s)	Concern Noted or Reported	Recommended Actions	Estimated Cost
Current Tenant or Property Use Concerns	2.3	No	None	None
ASTs/USTs	5.3.2	Yes	Phase II investigation of suspect vent pipe area	\$2,500**
Radon*	5.4.2	Yes	Radon testing once closed-house conditions can be maintained	\$200
Lead Based Paint*	5.4.3	Yes	None at this time	None
Mold*	5.4.4	Yes	None at this time	None
Suspected Asbestos Containing Material*	5.4.1	Yes	ACM survey results provided under separate cover	None
Suspect PCB Containing Equipment	5.3.8	No	None	None
Historical Use of Subject Property	4.4	No	None	None
Potential Off Site Sources	4.5	No	None	None
Federal, State and Local Agency Concerns	4.1.1	No	None	None

*Not required by ASTM E 1527-05

**It should be noted that this is an estimated cost only, and the final cost would be dependent on actual work performed. This estimate also does not include removal or remediation of any USTs that may be found.

1.0 PURPOSE & LIMITATIONS

1.1 Purpose

TERMS Environmental Services, Inc. (TERMS) was directed by Parkmont Housing and Redevelopment LLC to perform a Phase I Environmental Site Assessment to evaluate the extent, if any, of past usage and/or distribution of hazardous materials or wastes at the subject site. TERMS performed this ESA in conformance with the scope and limitations of *ASTM Standard Practice E.1527-05*, for the subject site located at 128-134 S. 10th Street and 101 S. 9th Street, Newark, New Jersey, and all the properties that were located within the minimum search distances specified under the *ASTM Standard*.

The objective of the Phase I Assessment was to identify areas representing a significant environmental concern through a review of the site history, site reconnaissance, current and historical maps and photographs, and regulatory agency reviews. This survey was performed in a manner designed to identify environmental concerns at the site, which were discerned through visual observations and information gathering procedures. Visually obtained information acquired during the site reconnaissance is subject to limitations such as bodies of water, dense vegetation, adjacent buildings or other obstacles.

This practice does not include collecting and/or analyzing samples using invasive techniques of the various environmental media during this portion of the evaluation. The scope of services utilized to successfully complete this Phase I Assessment was employed with the intent to satisfy requirements under "Due Diligence" practices as outlined under *CERCLA Section* as amended by the Small Business Liability Relief and Brownfields Revitalization Act (the Brownfields Amendments).

1.2 Scope of Services

The above stated objectives were met by the following the scope of work as described below:

- Task 1: Review of reasonably available historical records including aerial photographs, fire insurance maps, property tax files, recorded land title records, USGS topographic maps, local street directories and or other historical records.
- Task 2: Review of available Standard Environmental Records sources contained in Federal, State and County Regulatory Agency files. The following federal files were reviewed were practical: the NPL Site List, Delisted NPL site list, CERCLIS list, CERCLIS NFRAP site list, RCRA CORRACTS facilities list, RCRA non-CORRACTS TSD facilities list, RCRA generators list, institutional control/engineering control registries and the ERNS list. In addition, state and tribal files were reviewed where practical: lists of hazardous waste sites identified for investigation or remediation, state and tribal equivalent NPL, State or tribal equivalent CERCLIS, landfill and/or solid waste disposal site lists, leaking storage tank lists, registered storage tank lists, institutional control/engineering control registries, voluntary cleanup sites, and Brownfield sites. Additional local, state or tribal records were checked when such records are reasonably ascertainable, useful, accurate and or complete.

- Task 3: Interviews with current owners/occupants of the property and or local government officials were conducted when possible. Interviews with neighboring or nearby property owners or occupants were conducted if possible.
- Task 4: Perform site inspections and reconnaissance including the systematic traversing of the site to provide an overlapping field of view. Where needed, photographs were taken to document environmental conditions of concern.

The observations and research reported herein are considered sufficient in detail and scope to form a reasonable basis for a general environmental assessment of the subject site. TERMS warrants that the results of this Phase I Assessment were accomplished in accordance with generally accepted practices of the professionals undertaking similar studies with regard to time and geographical area. TERMS adhered to the same degree of care and skill exercised by the profession under similar circumstances. These environmental methods were developed to identify adverse environmental conditions relating to the subject site, and were necessarily limited to the conditions observed at the time of the site visit.

1.3 Assumptions

Information provided by others is assumed to be true, correct, and reliable. A reasonable effort was made to verify all information whenever possible. However, no responsibility for its accuracy is assumed by TERMS. The passage of time may result in a change of the environmental characteristics at this site and surrounding properties; therefore, this report does not warrant against future operators or conditions, nor does this warrant operations or conditions of a type or at a location not investigated. This report is not a regulatory compliance audit.

TERMS' observations, findings, and opinions must not be considered as scientific certainties, but only as opinion based on our professional judgment concerning the significance of the data gathered during the course of the site assessment. Specifically, TERMS does not and cannot represent that the site contains no hazardous or toxic material, or other latent conditions, beyond that observed by TERMS personnel during the site assessment and disclosed within the body of this report.

1.4 Limitations and Exceptions

This report has been prepared in accordance with the generally accepted professional standard and is subject to the following limitations. As stated in Section 4.5.1 of ASTM 1527-05, under Uncertainty Not Eliminated, a Phase I is "intended to reduce, but not eliminate, the uncertainty regarding the potential for recognized environmental conditions in connection with a property", and recognize "reasonable limits of time and cost". In addition, TERMS does not assume responsibility for any conditions which did not constitute a recognized environmental concern at the time the Phase I report was prepared. TERMS cannot draw conclusions regarding the presence or absence of environmental concerns beneath the property surface or otherwise hidden from view. No other warranty, expressed or implied is made. The report has been prepared for the sole use and benefit of *Parkmont Housing and Redevelopment LLC* and is not to be reproduced or used in a manner without the express written permission of TERMS and *Parkmont Housing and Redevelopment LLC*.

In addition:

- No soil and/or groundwater samples were collected by TERMS.

1.5 Terms & Conditions

This study and report have been prepared for the exclusive use of *Parkmont Housing and Redevelopment LLC* solely for the use in environmental evaluation of the site. The scope of service performed in the execution of this evaluation may not be appropriate to satisfy the needs of other users. Therefore, this report shall not be disseminated or conveyed to any other party, without the prior consent of *Parkmont Housing and Redevelopment LLC* and TERMS Environmental Services, Inc.

The conclusion and recommendations of this report are based on the information available at the time of the inspection. This report is provided for the purpose of identifying areas of concern located at the subject property. Although we provide general information and recommendations more specific recommendations are available through TERMS Environmental Services, Inc. who will provide a proposal for such a scope of work upon request.

1.6 User Reliance

This Phase I Environmental Site Assessment has been prepared for the use and reliance of *Parkmont Housing and Redevelopment LLC*.

2.0 SITE DESCRIPTION

2.1 Location and Legal Description

According to the City of Newark Tax Assessor's property records, the subject site located at 128-134 S. 10th Street and 101 S. 9th Street is known as Block 1827, Lots 70 and 12. The site is located south of Central Avenue on the block between S. 10th Street to the west and S. 9th Street to the east. The site location can be seen on Figure 1 in *Appendix I*. A parcel map provided by the user is included as Figure 2.

2.2 Site and Vicinity Characteristics

The site is an approximate 0.3-acre commercial property developed with a four story former hospital/nursing home building and associated lot improvements. The site also includes a vacant residential lot at the rear of the hospital that fronts along S. 9th Street. The site is located in a mostly residential area off Central Avenue approximately ½-mile northwest of the downtown business district. Residential properties lie to the east, south, and west along S. 9th and S. 10th Streets, and a former hospital building lies to the north. The site vicinity has been developed as such since the early 1920s.

2.3 Current Use of the Property

The site was not in use and the building was not occupied at the time of the inspection. Historical uses of the site included offices and hospital/nursing home.

2.4 Description of Structures, Roads, Other Improvements on the Site

The building on the site is four-story brick construction on a block foundation with a basement, and dates from around 1927. The interior was in very poor condition at the time of the inspection. There is a basement where some mechanicals are located. There is a paved driveway at the north side of the building and a concrete patio area at the northeast corner. The lot on S. 9th

Street, behind the hospital building, was vacant and vegetated. Utilities to the site are all municipal.

2.5 Current Uses of Adjoining Properties

The nearby properties are currently being used for mostly residential purposes with some retail/commercial mixed in. Descriptions of the properties are listed below:

North	Former hospital building along Central Avenue
East	Residential along S. 9 th Street
South	Residential along S. 10 th Street
West	Residential and commercial across S. 10 th St.

3.0 USER PROVIDED INFORMATION

3.1 Title Records

The user did not provide any title information.

3.2 Environmental Liens or Activity and Use Limitations

An environmental lien search was not conducted during the preparation of this Phase I. The user is required by ASTM E 1527-05 to conduct an environmental lien search to qualify for the innocent landowner protection, contiguous property owner, or bona fide prospective purchaser limitations on Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) liability.

3.3 Specialized Knowledge

The user provided TERMS with a copy of a Letter of Findings for an electromagnetic tank survey that was previously conducted on the site in June 2013 by A-1 Tank Service, Inc. During the exterior search, two suspect vent pipes were observed on the north side of the building. The electromagnetic tank sweep was inconclusive, and A-1 recommended further investigation of these pipes to determine if they are connected to underground tanks. A copy of the Tank Search letter is included in *Appendix 6*.

3.4 Commonly known or Reasonably Ascertainable Information

The user is not aware of any commonly known or reasonable ascertainable information regarding the subject site.

3.5 Valuation Reduction for Environmental issues

The user did not report any potential valuation reduction issues related to the use or storage of hazardous substances or petroleum products.

3.6 Owner, Property Manager, and Occupant Information

According to the City of Newark Tax Assessor's property records, the owner of the site was listed as the City of Newark. The site was not occupied at the time of the inspection. Historical occupants included offices and a hospital/nursing home. Industrial uses were not identified for the site. A copy of the property detail is included in *Appendix 4*.

3.7 Reason for Performing Phase I

This Phase I Environmental Assessment has been performed at the request of *Parkmont Housing and Redevelopment LLC* in an effort to identify potential environmental liabilities associated with past use of the subject site. This report is intended to satisfy the "all appropriate inquiry" requirement into the previous ownership and uses of the property and qualify for the innocent landowner protection, contiguous property owner, or bona fide prospective purchaser limitations on Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) liability.

3.8 Other

No other information was provided by the user in the preparation of this Phase I ESA.

4.0 RECORDS REVIEW

4.1 Standard Environmental Records Sources

Environmental Data Resources, Inc. (EDR) conducted a search of available environmental records. This search meets the government records search requirements of ASTM Standard Practice for Environmental Assessments, E-1527-05. A full report of the search findings is included as *Appendix 3*. A summary is provided below.

4.1.1 Federal, State and Tribal Listed Sites

Review of state, tribal and federally listed potential contamination sites followed standard procedures recommended by ASTM for conducting Phase I Environmental Site Assessments. A list of ASTM potential contamination sites is presented in *Appendix 3* and summarized below. A map showing the radii screened for the contaminated sites is presented in *Appendix 3*.

The target property was listed in the following databases searched by EDR.
NJDOC Newark House, 134 10th Street S. - NJEMS, FINDS, UST. The site was listed in the UST facility database under Facility ID #015982. The owner/organization name was listed as Lydell Sherrer/NJDOC (Department of Corrections). One 3,000-gallon #2 heating oil UST was listed as installed in 1952 and removed in 1995. No additional information was available on the NJDEP database. A copy of the facility listing is included with the database report in *Appendix 3*.

4.1.1.1 National Priorities List (NPL)

The NPL includes sites prioritized for clean up under the Superfund program. The database report listed no facilities on the National Priorities List (NPL) within one mile of the subject property. Additional information on this database can be found in *Appendix 3*.

4.1.1.2 CERCLIS/CERCLIS NFRAP

A site identified by the Comprehensive Environmental Response Compensation and Liability Information System (CERCLIS) is a known or suspected uncontrolled/abandoned hazardous waste site. These sites are being or have been investigated by the United States Environmental Protection Agency (USEPA). The database report listed no CERCLIS facilities within 0.50 miles of the subject property.

A CERCLIS-NFRAP site is an archived site that has been removed from the inventory of CERCLIS sites. The archived status indicates that, to the best of EPA's knowledge, assessment at the site has been completed and USEPA has determined that no further steps will be taken to add this site to the NPL. This decision does not necessarily indicate that there is no hazard associated with the site only that it is not judged to be a potential NPL site. The database report listed three CERCLIS-NFRAP facilities within 0.50 miles of the subject property. Based on regulatory status, apparent topographic conditions, and/or distance from the site, none of the facilities appears to present a concern for the site. Additional information on this database can be found in *Appendix 3*.

4.1.1.3 Resource Conservation & Recovery Act (RCRA) CORRACTS

The CORRACTS database identifies hazardous waste handlers with RCRA corrective action activity. The database report identified no CORRACTS facilities within one mile of the subject site. Additional information on this database can be found in *Appendix 3*.

4.1.1.4 Resource Conservation & Recovery Act (RCRA) TSD

The RCRA Treatment Storage Disposal (TSD) facilities database includes information on sites that transport, store, treat and/or dispose of hazardous waste, which is defined under the Resource Conservation and Recovery Act (RCRA). The database report listed no RCRA-TSD facilities within 0.5 miles of the subject site. Additional information on this database can be found in *Appendix 3*.

4.1.1.5 Resource Conservation & Recovery Act (RCRA) Generators

The RCRA Generators database includes information on sites that generate hazardous waste as defined by RCRA. This database further defines generators as Small or Large Quantity Generators (SQG/LQG). The search listed no LQG facilities or SQG facilities within ¼ mile of the subject site. Additional information on this database can be found in *Appendix 3*.

4.1.1.6 Federal Institutional/Engineering Database

This database lists sites with institutional or engineering controls in place. Institutional Controls include administrative measures such as groundwater use restrictions, construction restrictions, property use restrictions and post remediation care requirements.

intended to prevent exposure to contaminants remaining at the site. Deed restrictions are generally required as part of the institutional control. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter the environmental media or affect human health. No institutional controls or engineering controls are identified for the subject property. Additional information on this database can be found in *Appendix 3*.

4.1.1.7 Federal Emergency Response Notification System (ERNS)

The Emergency Response Notification System (ERNS) records and stores information on reported releases of oil and hazardous substances. The subject property is not identified in this database. Additional information on this database can be found in *Appendix 3*.

4.1.1.8 State or Tribal Hazardous Waste Sites (SHWS)

The SHWS list includes sites where soil or groundwater contamination has been confirmed and where cleanup efforts have either begun or are pending. The database report listed 129 SHWS facilities within one mile of the subject site. Based on regulatory status, apparent topographic conditions, and/or distance from the site, none of the listings appears to present a concern for the site. The complete list can be found in *Appendix 3*.

4.1.1.9 State and Tribal Solid Waste Facilities/Landfill Sites

Solid Waste Facility/Landfill sites type records typically contain an inventory an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites. No Solid Waste Facility/Landfill facilities were identified within 0.5 miles of the subject site. Additional information on this database can be found in *Appendix 3*.

4.1.1.10 State and Tribal Leaking Underground Storage Tanks (LUSTS) and Historical Leaking Underground Storage Tanks (HIST LUST)

The Leaking Underground Storage Tank program listed 11 leaking underground storage tank (LUST) facilities and 32 Historical Leaking Underground Storage Tank (HIST LUST) facilities within 0.50 miles of the subject site. Based on regulatory status, apparent topographic conditions, and/or distance from the site, none of the facility listings appears to present a concern for the site. The complete list and additional information on this database can be found in *Appendix 3*.

4.1.1.11 State and Tribal Registered Underground Storage Tanks (UST)

The Underground Storage Tank (UST) Database contains registered UST's. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the NJDEP. The EDR database report listed 13 UST facility listings within ¼ mile of the subject site. None of these facilities was identified as the site or the adjoining properties. The complete list can be found in *Appendix 3*.

4.1.1.12 State and Tribal Institutional Control/Engineering Control Registries

A Classification Exception Area (CEA) is an institutional control providing notice that groundwater contamination exists at a particular location above State standards. A Declaration of Environmental Restriction, or Deed Restriction, is an institutional control that restricts the use of the contaminated property, holds owner(s) to the regulatory and statutory requirements for cleanup. The subject property is not registered in this database. Additional information on this database can be found in *Appendix 3*.

4.1.1.13 VCP

Through the VCP, responsible parties, developers, local officials, or individuals may work with the department to remediate non-priority contaminated sites that pose no immediate threat to human health or the environment. The data base search identified 18 VCP facilities within ½ mile of the subject property. Based on regulatory status, apparent topographic conditions, and/or distance from the site, none of the listings appears to present a concern for the site. The complete list can be found in *Appendix 3*.

4.1.1.14 State and Tribal Brownfield Sites

Brownfields are identified as former or current commercial or industrial sites that are presently vacant or underutilized, on which there is a suspected to have been a discharge of contamination to the soil or groundwater at concentrations greater than applicable cleanup criteria. The database search report identified 14 Brownfields facilities within ½ mile of the subject site. Based on regulatory status, apparent topographic conditions, and/or distance from the site, none of the listings appears to present a concern for the site. The complete list and additional information on this database can be found in *Appendix 3*.

4.1.1.15 Other Databases Noted/Orphan Facilities

The database report listed approximately 20 orphan facilities. Evaluation of these facilities is not included in the ASTM scope of services. However, none of these facilities was identified as the site or the adjoining properties. The complete list is included in *Appendix 3*.

4.2 Additional Environmental Records Sources

TERMS requested information from the City of Newark regarding issues of environmental concern for the site. The clerk responded with a letter that a search was conducted in the Department of Engineering/UCC Permits and no records for above or belowground tanks were found. Copies of the OPRA request and response are included in *Appendix 6*.

4.3 Physical Setting Sources

The subject site is located at an elevation of approximately 180 feet above sea level. The general topographic gradient at the site is to the north-northeast. The dominant soil component on the site is Urban land. The closest surface water body appears to be a drainage approximately ¼-mile to the northeast. The physical setting can be seen on a portion of the Elizabeth, NJ topographic map, included as Figure 1 in *Appendix 1* of this report, and on the Physical Setting Source Map included in the database report in *Appendix 3*.

4.4 Historical Use Information on the Site

Prior uses of the property have been evaluated via historical Sanborn fire insurance maps, topographic maps, aerial photographs, and city directory listings. These historical resources were reviewed in order to assess historical structures and potential recognized environmental conditions associated with the site and surrounding properties.

Sanborn fire insurance maps were reviewed for the years 1892, 1908, 1931, 1950, 1973, 1989, 1994, and 2003. The 1892 map shows the site as undeveloped lots. The 1908 map shows the site developed with three residential buildings along S. 10th Street, and one store/residential building on the S. 9th Street lot. The 1931 map shows the west side of the site re-developed with the current building, which is labeled a "nurses' home" and shows a build date of 1927. The 1950 map appears similar. The 1973 map shows the building now labeled as Newark House Home for the Aged; the lot on S. 9th Street is now vacant. The 1989, 1994, and 2003 maps appear the same.

Topographic maps were reviewed for the years 1891, 1900, 1905, 1947, 1955, 1967, 1981, and 1995. The 1891, 1900, and 1905 maps show the site located in Newark. The 1947 map shows the site in a developed city block. The 1967, 1981, and 1995 maps show the site located in a shaded area in which only landmark buildings are shown, indicating the extent of urban development. Copies of the maps with the property location marked are included in *Appendix 4*.

Aerial photographs were reviewed for the years 1933, 1939, 1946, 1954, 1966, 1969, 1970, 1976, 1984, 1991, 1995, 2006, 2008, and 2010. All of the photographs reviewed show the site developed with one large structure similar in size, location, and footprint to the current building. The 1933, 1939, 1946, and 1954 photographs also appear to show the S. 9th Street lot of the site developed with the residential structure corresponding to that shown on the Sanborn maps.

A city directory abstract reviewed for the site address 134 S. 10th Street listed residences, nurses, and various public entities including Presbyterian Hospital Nurses' Home, NJ Fellowship Fund for the Aged, Newark House Cooperative Residence Club and Community Service Center, and NJ State Department of Corrections in the years reviewed from 1922 to 1986. Residences were listed at the 101 S. 9th Street address in the years reviewed from 1922 to 1958. No industrial uses were identified for the site from review of the city directories.

4.5 Historical Use Information on Adjoining Properties

Prior uses of the adjoining properties have been evaluated historical Sanborn fire insurance maps, topographic maps, aerial photographs, and city directory listings. These historical resources were reviewed in order to assess historical structures and potential recognized environmental conditions associated with the site and surrounding properties.

Sanborn fire insurance maps were reviewed for the years 1892, 1908, 1931, 1950, 1973, 1989, 1994, and 2003. The 1892 map shows the adjoining properties as undeveloped lots. The 1908 map shows the adjoining properties developed with mostly residential, and a women and children's hospital to the north. The 1931 and subsequent maps show additional residential and also retail development on the adjoining properties.

Topographic maps were reviewed for the years 1891, 1900, 1905, 1947, 1967, 1981, and 1995. The 1891, 1900, and 1905 maps show the adjoining properties located in Newark. The 1947 map shows the adjoining properties on developed city blocks. The 1967, 1981, and 1995 maps show the adjoining properties located in a shaded area in which only landmark buildings are shown, indicating the extent of urban development. Copies of these documents are included in *Appendix 4*.

Aerial photographs were reviewed for the years 1933, 1939, 1946, 1954, 1966, 1969, 1970, 1976, 1984, 1991, 1995, 2006, 2008, and 2010. The aerial photographs show the adjoining properties developed similar to their current state. Copies of the aerial photographs are included in *Appendix 4* of this report.

A city directory abstract reviewed for the nearby properties listed mostly residential with some retail/commercial properties in the surrounding area from the 1920s through the 2000s.

5.0 SITE RECONNAISSANCE

5.1 Methodology and Limiting Conditions

TERMS performed visual inspections of the site on October 3, 2013. A limited visual inspection was performed given the site conditions, which were poor. However, representative interior areas of the building were accessed. TERMS was accompanied by Kristin Ford, the site contact, at the time of the inspection. During the inspection, the interior and exterior areas of the building and exterior areas of the lot were inspected.

5.2 General Site Setting

The site is located in a mostly residential neighborhood south of Central Avenue, approximately ¼-mile northwest of the downtown business district. Residential properties lie to the east and south, and mixed residential with some retail/commercial properties lie to the north and west. The site vicinity has been developed since the early 1900s. No industrial uses were identified in the site vicinity.

5.3 Exterior and Interior Observations

The site is an approximate 0.3-acre commercial property developed with a four story former hospital/nursing home building and associated lot improvements. The site also includes a vacant residential lot at the rear of the hospital that fronts along S. 9th Street. The site was not in use and the building was not occupied at the time of the inspection. Historical uses of the site included office and hospital/nursing home. The building on the site is four-story brick construction on a block foundation with a basement, and dates from around 1927. The interior was in very poor condition at the time of the inspection. There is a basement where some mechanicals are located. There is a paved driveway at the north side of the building and a concrete patio area at the northeast corner. The lot on S. 9th Street, behind the hospital building, was vacant and vegetated. Utilities to the site are reported to be all municipal.

5.3.1 Hazardous Substances and Petroleum Products (in Connection with Identified Uses)

No hazardous substances or petroleum products in connection with identified uses were observed on the site at the time of the inspection.

5.3.2 Aboveground or Underground Storage Tanks (ASTs/USTs)

No ASTs were observed on the site at the time of the inspection. Two suspect UST vent pipes were observed at the north side of the building. It could not be determined from visual inspection whether these pipes are connected to former or existing ASTs or USTs.

5.3.3 Odors

A strong odor of mold and mildew was observed throughout the building during the site inspection.

5.3.4 Pools of Liquids

Pools of liquid were not observed on the subject property during the inspection.

5.3.5 Drums

No drums were observed on the site at the time of the inspection.

5.3.6 Hazardous Substances and Petroleum Products (Not Necessarily in Connection with Identified Uses)

No hazardous materials were observed during the site inspection.

5.3.7 Unidentified Substance Containers

There were no unidentified substance containers observed on the subject property during the inspection.

5.3.8 PCBs

No evidence of PCB containing equipment was observed on the site at the time of the inspection.

5.3.9 Heating/Cooling

The building is reportedly heated and cooled by a natural gas fired system.

5.3.10 Stains or Corrosion (Interior)

The interior of the building was in very poor condition with stains and corrosion present throughout.

5.3.11 Drains and Sumps

No floor drains or sumps were observed on the site at the time of the inspection.

5.3.12 Pits, Ponds or Lagoons

No pits, ponds, or lagoons were observed on the subject property.

5.3.13 Stained Soil or Pavement (Exterior)

Stained soil or pavement was not observed on the subject property during the inspection.

5.3.14 Stressed Vegetation

Stressed vegetation was not observed on the subject property during the inspection.

5.3.15 Solid Waste

No evidence of solid waste generation was observed on the site at the time of the inspection.

5.3.16 Waste Water

No evidence of waste water generation was observed on the site at the time of the inspection.

5.3.17 Wells

No monitoring or production wells were observed during the inspection. No water wells were observed. Drinking water for the site is provided by the municipality.

5.3.18 Septic Systems

No evidence of septic systems was observed on the site at the time of the inspection. Sanitary sewer service is provided by the municipality.

5.4 Other Environmental Considerations

The following non-scope topics were considered in the preparation of this Phase I Environmental Assessment. Please note that assessment of these areas is not required by "all appropriate inquiry" or ASTM 1527-05.

5.4.1 Asbestos Containing Material (ACM)

An ACM survey and bulk sampling was conducted. The results are provided under separate cover.

5.4.2 Radon

The USEPA Radon Zone for Essex County is 2. Zone 2 areas have average indoor radon levels of greater than or equal to 2 pCi/L and less than or equal to 4 pCi/L. The USEPA tested 765 sites in Essex County, of which 98% tested less than 4 pCi/l in the living area, and 92% tested less than 4 pCi/L in the basement areas. Radon testing was requested, however, in order to obtain a proper representative sample, "closed-house" conditions must be maintained. Due to the current poor condition of the building, these conditions cannot be maintained at this time.

5.4.3 Lead Based Paint

The manufacture of lead based paint was banned in New Jersey in 1978 and the commercial use ceased thereafter. Based on the age and condition of the building, lead-based paint may be present.

5.4.4 Mold and Microbial Matter

Evidence of mold and microbial matter was observed throughout the building during the site inspection.

6.0 INTERVIEWS

During the preparation of this Phase I report, TERMS attempted to contact local government officials and interview the current property owner.

6.1 Interview with Owner/Operator

TERMS was not provided with an owner contact, however, TERMS interviewed Kristin Ford, the site contact and representative for the developer, at the time of the inspection. Information provided by Ms. Ford is included in Section 5.

6.2 Interview with Local Government Officials

A public records request was made with the City of Newark regarding information of environmental concern for the site. Information provided by the City is discussed previously in Section 4.2.

6.3 Interview with Others

No other persons were interviewed for the preparation of this Phase I Environmental Assessment.

7.0 FINDINGS

Following a site reconnaissance, records review and interview with owner/operator and state and/or local agency representatives, the following recognized environmental condition was identified for the site. Suspect vent pipes were observed at the north side of the building. Given this observation, the absence of additional records regarding the reported 3,000-gallon UST that was listed as removed, and the inconclusive results of the previously conducted tank survey, TERMS recommends further investigation of this area to determine whether the pipes are connected to USTs on the site.

Although not required by the ASTM standard, it should also be noted that an ACM survey and bulk sampling was conducted at the site. The results are provided under separate cover. In addition, radon testing was requested, however, in order to obtain a proper representative sample, "closed-house" conditions must be maintained. Due to the current poor condition of the building, these conditions cannot be maintained at this time. Finally, lead-based paint and mold may be present in the building.

8.0 CONCLUSIONS

TERMS has performed a Phase I Environmental Assessment in conformance with the scope and limitations of ASTM Practice E 1527-05 for the property located at 128-134 S. 10th Street and 101 S. 9th Street, Newark, New Jersey, identified as the subject site. Any exceptions to, or deletions from, this practice are described in Section 1.4 of this report. This assessment has revealed evidence of a recognized environmental condition in connection with the subject property that warrants additional investigation at this time. A Phase II investigation should be conducted in the area of the suspect vent pipes to determine whether they are connected to underground tanks.

9.0 SIGNATURES OF ENVIRONMENTAL PROFESSIONALS

We declare that, to the best of our knowledge and belief we meet the definition of an Environmental Professional as defined in Section 312.10 of 40 CFR 312. We have the specific qualifications based on education, training and experience to assess a property of the nature, history, and setting of the subject property. We have developed and performed the all appropriate inquiry in conformance with the standards and practices set forth in 40 CFR Part 312.

Daphina Mark

Daphina Mark, Project Manager

Ronald F. Dooney, Jr.

Ronald F. Dooney Jr., President

10.0 QUALIFICATIONS OF ENVIRONMENTAL PROFESSIONALS

Resumes of the preparers of this report are provided in *Appendix 5*.

SECTION I



MANDELL ENVIRONMENTAL CONSULTING

409 MINNISINK ROAD • SUITE 102 • TOTOWA, NJ 07512 • (973) 785-7574 • FAX (973) 785-0561

ASBESTOS BULK SAMPLE SURVEY

Conducted at:

128-134 South 10th Street
Newark, NJ

Performed by:

MANDELL ENVIRONMENTAL CONSULTING
409 Minnisink Road, Suite 102
Totowa, NJ 07512

Conducted for:

Terms Environmental Services, Inc.
599 Springfield Avenue
Berkeley Heights, NJ 07922

DATE: October 4 & 28, 2013

PREPARED BY:

Stuart Casciano 
EPA/AHERA Asbestos Building Inspector

Table of Contents

	Page
Section I Project	3
Section II Procedures	3-4
Section III Results	5
Appendix 1 Laboratory Results	
Appendix 2 Field drawing	
Appendix 3 Certifications	

I. PROJECT

Bulk samples were collected by Mandell Environmental Consulting, on October 4 and 28, 2013 at 128-134 South 10th Street, Newark, NJ. Bulk samples were collected from the presumed asbestos containing material (PACM) which were located on the interior and exterior of the building, and analyzed for asbestos content. The bulk sample survey was performed by Stuart Casciano USEPA Asbestos Permit # 654606 of Mandell Environmental Consulting. The bulk samples were analyzed for asbestos content and the results are expressed in percent by volume, or unless otherwise noted, for each type of asbestos present. The building consists of 4 floors and a basement. The building is currently vacant and the interior building components are in poor condition. The survey was limited because many of the plaster walls, ceilings, ceiling tiles and wallboard have become unstable and have collapsed.

II. PROCEDURES

Sample collection

Bulk samples were collected following the guidelines set for in the following

- USEPA Guidance for controlling Asbestos-Containing Materials in Buildings, EPA 560/5-85-024, June 1985
- Occupational Safety and Health Act (OSHA), 29 CFR part 1926.1101

The material to be sampled was initially wetted with amended water before being collected with various tools. The tools were cleaned before each sample was collected. Each sample was given an individual identification number. Chain of custody forms were maintained until delivery to the laboratory.

ACM Type (Typ)

This refers to one of three designations.

- Thermal system insulation, (T), is any insulation applied to heating or mechanical system components (such as boiler cement, pipe lagging or duct insulation).
- Surfacing material, (S), refers to a wide range of products applied to building surfaces, including but not limited to sprayed-on fireproofing and acoustical plaster.
- Miscellaneous material, (M), is any material not included in the first two categories. Examples include ceiling tiles, fire doors, wallboard, caulking, vinyl asbestos floor tiles and asbestos fire blankets.

Mandell Environmental Consulting
128-134 South 10th Street, Newark, NJ

3

Bulk samples were collected from the following materials:

<u>Material</u>	<u>ACM Type</u>
Thermal System Insulation	T
Wall Plaster	S
Wallboard	M
Cove Base Molding	M
Ceiling Tiles	M
Interior Floor Tiles	M
Floor Tile Mastic	M
Window Caulking	M
Door Caulking	M
Roofing Materials	M

Analysis

The bulk samples collected were submitted to J&S Environmental Laboratories, LLC 2333 Route 22 West, Union, NJ 07083, NJ for analysis. Bulk samples were analyzed using US EPA-600/M4/82/020 Method using Polarized Light Microscopy and by US EPA-600R-93/116 Transmission Electron Microscopy.

III. RESULTS

The results of the asbestos sampling are included in Appendix I. Based on the sample analysis the following materials were determined to contain asbestos:

Material	Description	Location	Approximate Quantity
Pipe Insulation	Gray	Basement	750 LF
Floor Tile Sub Flooring	Brown	1 st , 2 nd , 3 rd Floors	12,000 SF
9"x9" Floor Tiles	Various Colors	Throughout the building (Assume all rooms)	20,000 SF
Floor Tile Mastic	Black	Throughout the building (Assume all rooms)	20,000 SF
Roof Flashing	Black	Exterior Roof	400 SF
Window Caulking	Gray	2 nd Floor	30 Windows

The building is currently vacant and the interior building components are in poor condition. Many of the plaster walls, ceilings, ceiling tiles and wallboard have become unstable and have collapsed. The roof has several holes and had limited access. Because of these conditions the bulk sample survey and inventory of all materials was limited.

Several types of window caulking were observed around the windows. Access to the windows was limited by debris and windows not operable. Additional bulk sampling should be considered if asbestos abatement is required during window repair or replacement work.

**APPENDIX 1
LABORATORY RESULTS**

POLARIZED LIGHT MICROSCOPY ANALYTICAL REPORT

ELAP ID# 11832

Page 1 of 6

SAMPLE ID		ASBESTOS % TYPE (s)	OTHER DATA Non-Asbestos Fibers Other	DESCRIPTION SAMPLE
LAB ID	LOCATION			
TSI1-A	No Asbestos Detected.	12 % Glass, 88 % Non-Fibrous Material.	Gray Boiler Breeching.	
L5174				Basement.
TSI1-B	No Asbestos Detected.	11 % Glass, 89 % Non-Fibrous Material.	Gray Boiler Breeching.	
L5175				Basement.
TSI2-A	11 % Chrysotile.	30 % Cellulose, 59 % Non-Fibrous Material.	Gray Pipe Insulation.	
L5176				Basement.
TSI2-B	Not Analyzed -- Stopped @ 1 st Positive.		Gray Pipe Insulation.	
L5177				Basement.
TSI3-A	Not Analyzed -- Stopped @ 1 st Positive.		Gray Pipe Insulation.	
L5178				Basement.
TSI3-B	Not Analyzed -- Stopped @ 1 st Positive.		Gray Pipe Insulation.	
L5179				Basement.
STM1-A	No Asbestos Detected.	100 % Non-Fibrous Material.	White Plaster (Skim Coat).	
L5180				Basement.
STM1-A	No Asbestos Detected.	100 % Non-Fibrous Material.	Brown Plaster (Rough Coat).	
L5180A				Basement.
STM1-B	No Asbestos Detected.	100 % Non-Fibrous Material.	White Plaster (Skim Coat).	
L5181				Basement.
STM1-B	No Asbestos Detected.	100 % Non-Fibrous Material.	Gray Plaster (Rough Coat).	
L5181B				Basement.

Detection Limit of Method is estimated to be > 1% Asbestos Using a Visual Area Estimation Technique

J&S Environmental Laboratories, LLC 2333 Route 22 West, Union, NJ 07083

Phone: (908) 206-0073

Fax: (908) 206-0093

POLARIZED LIGHT MICROSCOPY ANALYTICAL REPORT

ELAP ID# 11832

Page 2 of 6

Client: Mandell Environmental Consulting Address: 409 Minnisink Road Suite 102, Totowa, NJ 07512 Phone: (973) 785-7574 Email: (973) 785-0561		Samples Received : 36 Samples Analyzed: 47 Job Site: 128-134 South 10 th Street Newark, NJ		Report No.: 2013-4409 Sampled: 10/03/2013 Received: 10/14/2013 Analyzed: 10/15/2013 Reported: 10/16/2013	
SAMPLE ID	ASBESTOS % TYPE (s)	OTHER DATA		DESCRIPTION SAMPLE	
LAB ID		Non-Asbestos Fibers	Other	LOCATION	
STM1-C	No Asbestos Detected.	100 % Non-Fibrous Material.		White Plaster (Skim Coat).	
L5182				1 st Floor.	
STM1-C	No Asbestos Detected.	100 % Non-Fibrous Material.		Gray Plaster (Rough Coat).	
L5182A				1 st Floor.	
STM1-D	No Asbestos Detected.	100 % Non-Fibrous Material.		White Plaster (Skim Coat).	
L5183				1 st Floor.	
STM1-D	No Asbestos Detected.	100 % Non-Fibrous Material.		Gray Plaster (Rough Coat).	
L5183A				1 st Floor.	
STM1-E	No Asbestos Detected.	100 % Non-Fibrous Material.		White Plaster (Skim Coat).	
L5184				1 st Floor.	
STM1-E	No Asbestos Detected.	100 % Non-Fibrous Material.		Gray Plaster (Rough Coat).	
L5184A				1 st Floor.	
STM1-F	No Asbestos Detected.	100 % Non-Fibrous Material.		White Plaster (Skim Coat).	
L5185				1 st Floor.	
STM1-G	No Asbestos Detected.	100 % Non-Fibrous Material.		Gray Plaster (Skim Coat).	
L51866				2 nd Floor.	
STM1-G	No Asbestos Detected.	100 % Non-Fibrous Material.		Gray Plaster (Rough Coat).	
L5186A				2 nd Floor.	
STM1-H	No Asbestos Detected.	100 % Non-Fibrous Material.		White Plaster (Skim Coat).	
L5187				3 rd Floor.	

Detection Limit of Method is estimated to be > 1% Asbestos Using a Visual Area Estimation Technique
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 Phone: (908) 206-0073 Fax: (908) 206-0093

POLARIZED LIGHT MICROSCOPY ANALYTICAL REPORT

ELAP ID# 11832

Page 3 of 6

Client: Mandell Environmental Consulting Address: 409 Minnisink Road Suite 102, Totowa, NJ 07512 Phone: (973) 785-7574 Email: (973) 785-0561	Samples Received: 36 Samples Analyzed: 47 Job Site: 128-134 South 10 th Street Newark, NJ	Report No.: 2013-4408 Sampled: 10/03/2013 Received: 10/14/2013 Analyzed: 10/15/2013 Reported: 10/16/2013
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SAMPLE ID	ASBESTOS % TYPE (s)	OTHER DATA Non-Asbestos Fibers Other	DESCRIPTION SAMPLE LOCATION
STM1-H	No Asbestos Detected.	100 % Non-Fibrous Material.	Gray Plaster (Rough Coat).
L5187A			3 rd Floor.
STM1-I	No Asbestos Detected.	100 % Non-Fibrous Material.	White Plaster (Skim Coat).
L5188			3 rd Floor.
STM1-I	No Asbestos Detected.	100 % Non-Fibrous Material.	Gray Plaster (Rough Coat).
L5188A			3 rd Floor.
STM4-A	No Asbestos Detected.	100 % Non-Fibrous Material.	White Plaster (Skim Coat).
L5189			4 th Floor.
STM4-A	No Asbestos Detected.	100 % Non-Fibrous Material.	Gray Plaster (Rough Coat).
L5189A			4 th Floor.
STM4-B	No Asbestos Detected.	100 % Non-Fibrous Material.	White Plaster (Skim Coat).
L5190			4 th Floor.
STM4-B	No Asbestos Detected.	100 % Non-Fibrous Material.	Gray Plaster (Rough Coat).
L5190B			4 th Floor.
STM4-C	No Asbestos Detected.	100 % Non-Fibrous Material.	White Plaster (Skim Coat).
L5191			4 th Floor.
STM4-C	No Asbestos Detected.	100 % Non-Fibrous Material.	Gray Plaster (Rough Coat).
L5191A			4 th Floor.
STM4-D	No Asbestos Detected.	100 % Non-Fibrous Material.	White Plaster (Skim Coat).
L5192			4 th Floor.

Detection Limit of Method is estimated to be > 1% Asbestos Using a Visual Area Estimation Technique

J&S Environmental Laboratories, LLC 2333 Route 22 West, Union, NJ 07083

Phone: (908) 206-0073

Fax: (908) 206-0093

POLARIZED LIGHT MICROSCOPY ANALYTICAL REPORT

ELAP ID# 11832

Page 4 of 6

SAMPLE ID		ASBESTOS % TYPE (s)	OTHER DATA	DESCRIPTION SAMPLE
LAB ID	Non-Asbestos Fibers Other		LOCATION	
STM4-D	No Asbestos Detected.	100 % Non-Fibrous Material.	Gray Plaster (Rough Coat).	
L5192A			4 th Floor.	
STM4-E	No Asbestos Detected.	100 % Non-Fibrous Material.	White Plaster (Skim Coat).	
L5193			4 th Floor.	
STM4-E	No Asbestos Detected.	100 % Non-Fibrous Material.	Gray Plaster (Rough Coat).	
L5193A			4 th Floor.	
MWB1-A	No Asbestos Detected.	4 % Glass, 10 % Cellulose, 86 % Non-Fibrous Material.	Brown Wall Board.	
L5194			1 st Floor.	
MWB1-B	No Asbestos Detected.	3 % Glass, 97 % Non-Fibrous Material.	Brown Wall Board.	
L5195			4 th Floor.	
MCT1-A	No Asbestos Detected.	72 % Cellulose, 28 % Non-Fibrous Material.	Brown Ceiling Tiles.	
L5196			1 st Floor.	
MCT1-B	No Asbestos Detected.	25 % Cellulose, 5 % Glass, 70 % Non-Fibrous Material.	Brown Ceiling Tiles.	
L5197			1 st Floor.	
MFT1-A	6 % Chrysotile.	94 % Non-Fibrous Material.	Brown Sub Flooring.	
L5198			2 nd Floor.	
MFT1-B	No Asbestos Detected.	100 % Non-Fibrous Material.	Gray Sub Flooring.	
L5199			4 th Floor.	
MFT2-A	No Asbestos Detected.	100 % Non-Fibrous Material.	Beige 9 x 9 Floor Tile.	
L5200			Basement.	

Detection Limit of Method is estimated to be > 1% Asbestos Using a Visual Area Estimation Technique
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 Phone: (908) 206-0073 Fax: (908) 206-0093

POLARIZED LIGHT MICROSCOPY ANALYTICAL REPORT

ELAP ID# 11832

Page 5 of 6

SAMPLE ID		ASBESTOS % TYPE (s)	OTHER DATA Non-Asbestos Fibers Other	DESCRIPTION SAMPLE
LAB ID	LOCATION			
MFT2-B	No Asbestos Detected.	100 % Non-Fibrous Material.	Beige 9 x 9 Floor Tile.	
L5201			Basement.	
MFT2-B	No Asbestos Detected.	100 % Non-Fibrous Material.	Black Mastic.	
L5201A			Basement.	
MFT3-A	6 % Chrysotile.	94 % Non-Fibrous Material.	Brown/Black 9 x 9 Floor Tile & Mastic.	
L5202			2 nd Floor.	
MFT3-B	Not Analyzed – Stopped @ 1 st Positive.		Brown/Black 9 x 9 Floor Tile & Mastic.	
L5203			2 nd Floor.	
MFT4-A	7 % Chrysotile.	93 % Non-Fibrous Material.	Beige 9 x 9 Floor Tile.	
L5204			4 th Floor.	
MFT4-A	No Asbestos Detected.	100 % Non-Fibrous Material.	Black Mastic.	
L5204A			4 th Floor.	
MFT4-B	Not Analyzed – Stopped @ 1 st Positive.		Beige 9 x 9 Floor Tile.	
L5205			4 th Floor.	
MFT4-B	Not Analyzed – Stopped @ 1 st Positive.		Black Mastic.	
L5205A			4 th Floor.	
MRM1-A	No Asbestos Detected.	12 % Cellulose, 88 % Non-Fibrous Material.	Black Roof Material.	
L5206			Roof.	
MRM1-B	No Asbestos Detected.	7 % Cellulose, 93 % Non-Fibrous Material.	Black Roof Material.	
L5207			Roof.	

Detection Limit of Method is estimated to be > 1% Asbestos Using a Visual Area Estimation Technique
 J&S Environmental Laboratories, LLC 2333 Route 22 West, Union, NJ 07083
 Phone: (908) 206-0073 Fax: (908) 206-0093

POLARIZED LIGHT MICROSCOPY ANALYTICAL REPORT

ELAP ID# 11832

Page 6 of 6

Client: Mandell Environmental Consulting Address: 409 Minnissink Road Suite 102, Totowa, NJ 07512 Phone: (973) 785-7574 Email: (973) 785-0561		Samples Received : 36 Samples Analyzed: 47 Job Site: 128-134 South 10 th Street Newark, NJ	Report No.: 2013-4409 Sampled: 10/03/2013 Received: 10/14/2013 Analyzed: 10/15/2013 Reported: 10/16/2013
SAMPLE ID	ASBESTOS % TYPE (s)	OTHER DATA Non-Asbestos Fibers Other	DESCRIPTION SAMPLE LOCATION
MRM1-B	No Asbestos Detected.	11 % Cellulose, 89 % Non-Fibrous Material.	Black Roofing Material.
L5207A			Roof.
MRF1-A	15 % Chrysotile.	85 % Non-Fibrous Material.	Black Roofing Material.
L5208			Roof.
MRF1-B	Not Analyzed – Stopped @ 1 st Positive.		Black Roofing Material.
L5209			Roof.

Detection Limit of Method is estimated to be > 1% Asbestos Using a Visual Area Estimation Technique
J&S Environmental Laboratories, LLC 2333 Route 22 West, Union, NJ 07083
 Phone: (908) 206-0073 Fax: (908) 206-0093

Lab Manager: _____



Analyst: _____



The analysis above was performed in accordance with 600/M4/82/020 or NYSDOH ELAP 198.6 for the determination of asbestos in bulk building materials by polarized light microscopy (PLM). Please note that while PLM analysis is commonly performed on non-friable and fine grained materials such as floor tiles and dust, the EPA method recognizes that PLM is subject to limitations. In these situations, accurate results may only be obtainable through the use of more sophisticated and accurate techniques such as transmission electron microscopy (TEM) or X-ray diffraction (XRD). The above report may not be reproduced, except in full, without written approval by J&S Environmental Laboratories, LLC. The Analysis performed by J&S Environmental Laboratories, Union, New Jersey.

Mandell Environmental Consulting collected the above sample(s).

Asbestos Analysis of Non-Friable Organically Bound Materials via Transmission Electron Microscopy

ELAP ID# 11832

Page 1 of 1

Client: Mandell Environmental Consulting Address: 409 Minnisink Road, Suite 102 Totowa, NJ 07512 Phone: (973) 785-7574 Email: (973) 785-0561	Samples Received : 36 Samples Analyzed: 02 Job Site: 128-134 South 10 th Street Newark, NJ	Report No.: 2013-4409 Sampled: 10/03/2013 Received: 10/14/2013 Analyzed: 10/22/2013 Reported: 10/22/2013
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SAMPLE ID LAB ID	Gravimetrically Reduced Subsample:	% Total Asbestos:	Asbestos Types:	% Non- Asbestos Fibrous Material:	% Non- Fibrous Material:	Description:
MRM1-A L5206	5.97 %	ND	ND	ND	100 %	Black Roof Material.
MRM1-B L5207	7.09 %	ND	ND	ND	100 %	Black Roof Material.

Any sample containing 1 % or greater amount of asbestos is considered to be an asbestos containing material (ACM)
 Test Methods -ELAP 198.4 "Method for Identifying and Quantifying Asbestos in Non-Friable Organically Bound Bulk Samples", Revised
 11/2007 and/or EPA -600/R-93/116 Section 2.5 "Asbestos in Bulk Building Materials By TEM Gravimetry."

J&S Environmental Laboratories, LLC 2333 Route 22 West, Union, NJ 07083
 Phone: (908) 206-0073 Fax: (908) 206-0083

Lab Manager:  Analyst: 

The analysis above was performed in accordance with ELAP 198.4 or EPA-600/R-93/116 for the determination of asbestos in bulk building materials by Transmission Electron Microscopy (TEM). According to NYS law, all negative NOB's (floor files, roofing materials, etc.) must be confirmed by TEM. These results apply to only these samples. J&S assumes that all sampling methods and data upon which these results are based have been accurately supplied by the client. The above report may not be reproduced, except in full, without written approval by J&S Environmental Laboratories, LLC. This report is not induced by any U.S. Government Agency. Mandell Environmental Consulting collected the above sample(s).

POLARIZED LIGHT MICROSCOPY ANALYTICAL REPORT

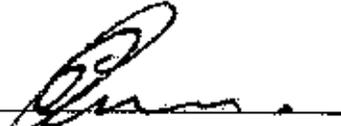
ELAP ID# 11832

Page 1 of 1

Client: Mandell Environmental Consulting Address: 409 Minnisink Road Suite 102, Totowa, NJ 07512 Phone: (973) 785-7574 Email: (973) 785-0561	Samples Received : 09 Samples Analyzed: 09 Job Site: 128-134 South 10 th Street Newark, NJ	Report No.: 2013-4760 Sampled: 10/28/2013 Received: 10/29/2013 Analyzed: 10/29/2013 Reported: 10/31/2013
--	--	--

SAMPLE ID	ASBESTOS % TYPE (s)	OTHER DATA Non-Asbestos Fibers Other	DESCRIPTION SAMPLE LOCATION
MFT1-C L5407	No Asbestos Detected.	100 % Non-Fibrous Material.	Tan Subflooring. 4 th Floor.
MWC1-A L5408	No Asbestos Detected.	100 % Non-Fibrous Material.	White Window Caulking. 3 rd Floor.
MWC1-B L5409	No Asbestos Detected.	100 % Non-Fibrous Material.	White Window Caulking. 4 th Floor.
MWC2-A L5410	No Asbestos Detected.	100 % Non-Fibrous Material.	White Window Caulking. 2 nd Floor.
MWC2-B L5411	No Asbestos Detected.	100 % Non-Fibrous Material.	Gray Window Caulking. 2 nd Floor.
MWC3-A L5412	No Asbestos Detected.	100 % Non-Fibrous Material.	Gray Exterior Window/Door Caulking. 2 nd Floor.
MWC3-B L5413	No Asbestos Detected.	100 % Non-Fibrous Material.	Gray Exterior Window/Door Caulking. 2 nd Floor.
MCB1-A L5414	No Asbestos Detected.	100 % Non-Fibrous Material.	Yellow Cove Base. 4 th Floor.
MCB1-B L5415	No Asbestos Detected.	100 % Non-Fibrous Material.	Yellow Cove Base. 1 st Floor.

Detection Limit of Method is estimated to be > 1% Asbestos Using a Visual Area Estimation Technique
 J&S Environmental Laboratories, LLC 2333 Route 22 West, Union, NJ 07083
 Phone: (908) 206-0073 Fax: (908) 206-0093

Lab Manager:  Analyst: 

The analysis above was performed in accordance with 600/M4/82/020 or NYSDOH ELAP 198.6 for the determination of asbestos in bulk building materials by polarized light microscopy (PLM). Please note that while PLM analysis is commonly performed on non-friable and fine grained materials such as floor tiles and dust, the EPA method recognizes that PLM is subject to limitations. In these situations, accurate results may only be obtainable through the use of more sophisticated and accurate techniques such as transmission electron microscopy (TEM) or X-ray diffraction (XRD). The above report may not be reproduced, except in full, without written approval by J&S Environmental Laboratories, LLC. The Analysis performed by J&S Environmental Laboratories, Union, New Jersey.
 Mandell Environmental Consulting collected the above sample(s).

Asbestos Analysis of Non-Friable Organically Bound Materials via Transmission Electron Microscopy

ELAP ID# 11832

Page 1 of 1

Client: Mandell Environmental Consulting Address: 409 Minnisink Road, Suite 102 Totowa, NJ 07512 Phone: (973) 785-7574 Email: (973) 785-0561	Samples Received : 09 Samples Analyzed: 04 Job Site: 128-134 South 10 th Street Newark, NJ	Report No.: 2013-4760 Sampled: 10/28/2013 Received: 11/01/2013 Analyzed: 11/05/2013 Reported: 11/05/2013
--	--	--

SAMPLE ID LAB ID	Gravimetrically Reduced Subsample:	% Total Asbestos:	Asbestos Types:	% Non- Asbestos Fibrous Material:	% Non- Fibrous Material:	Description:
MWC1-A L5408	7.82 %	ND	ND	ND	100 %	White Window Caulking.
MWC2-B L5411	8.89 %	1.33 %	Chrysotile.	ND	98.67 %	Gray Window Caulking.
MWC3-B L5413	9.76 %	ND	ND	ND	100 %	Gray Exterior Window/Door Caulking.
MCB1-A L5414	38.75 %	ND	ND	ND	100 %	Yellow Cove Base.

Any sample containing 1 % or greater amount of asbestos is considered to be an asbestos containing material (ACM)
 Test Methods -ELAP 198.4 "Method for Identifying and Quantitating Asbestos In Non-Friable Organically Bound Bulk Samples", Revised
 11/2007 and/or EPA -600/R-93/116 Section 2.5 "Asbestos In Bulk Building Materials By TEM Gravimetry."

J&S Environmental Laboratories, LLC 2333 Route 22 West, Union, NJ 07083

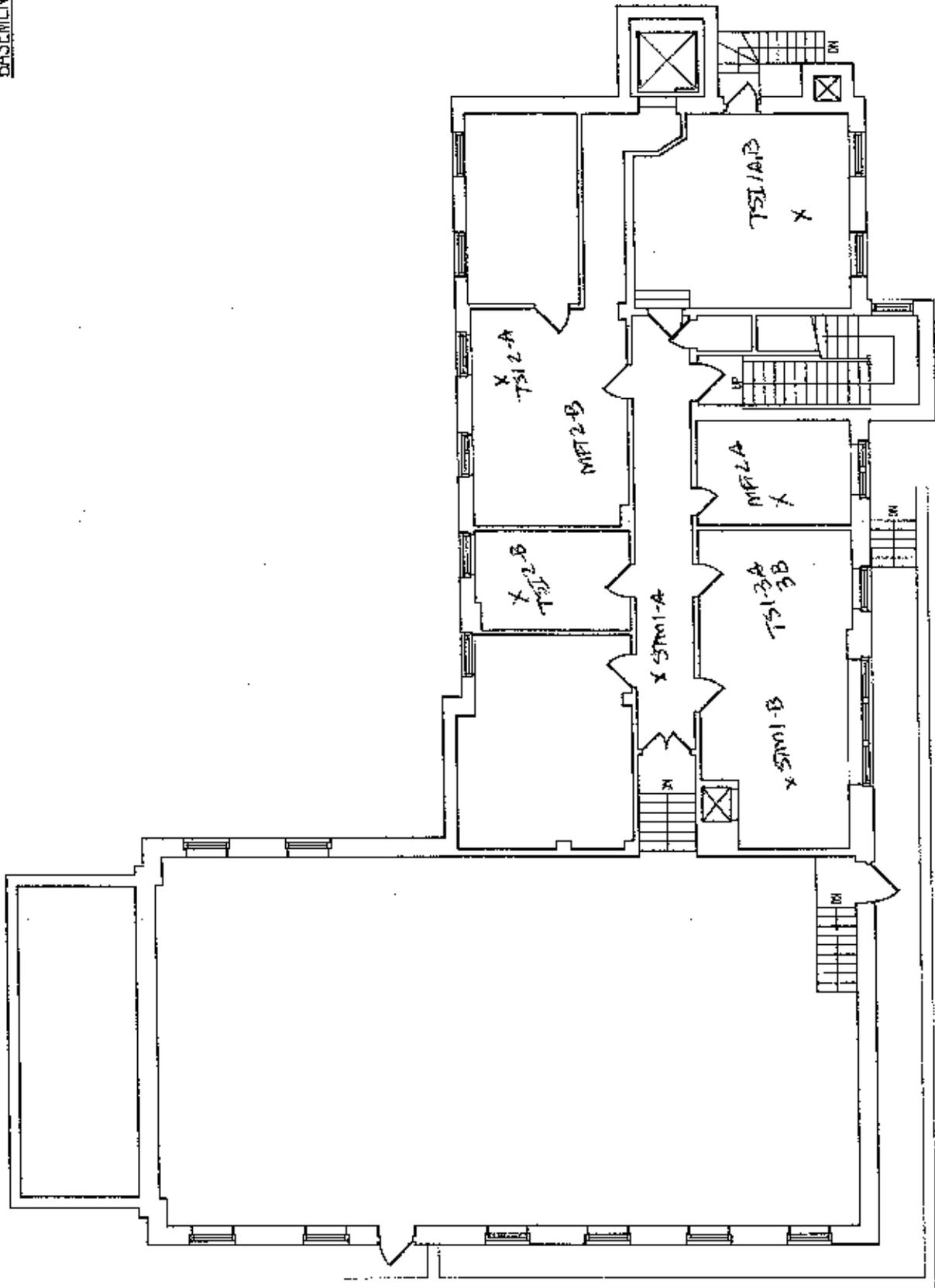
Phone: (908) 206-0073

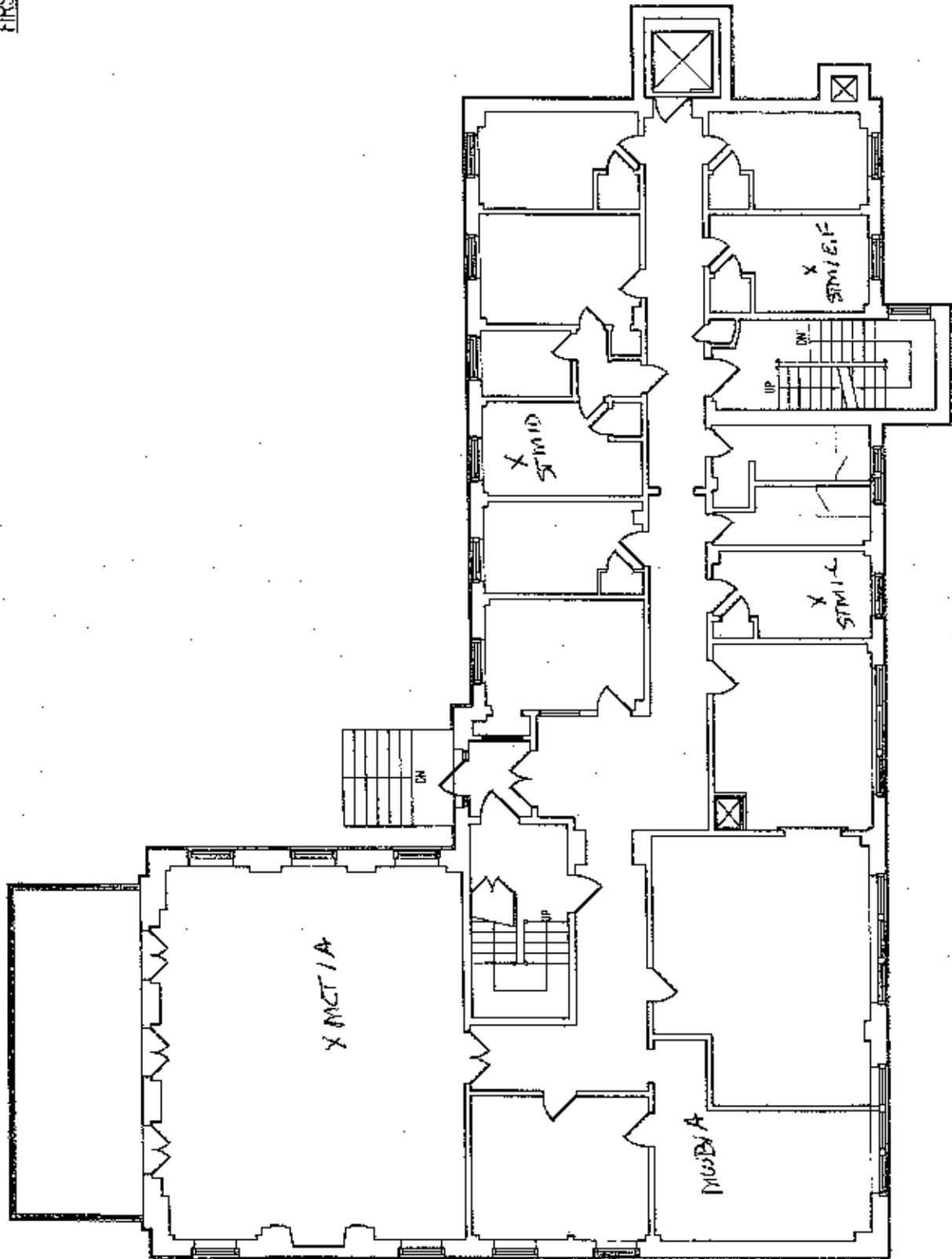
Fax: (908) 206-0093

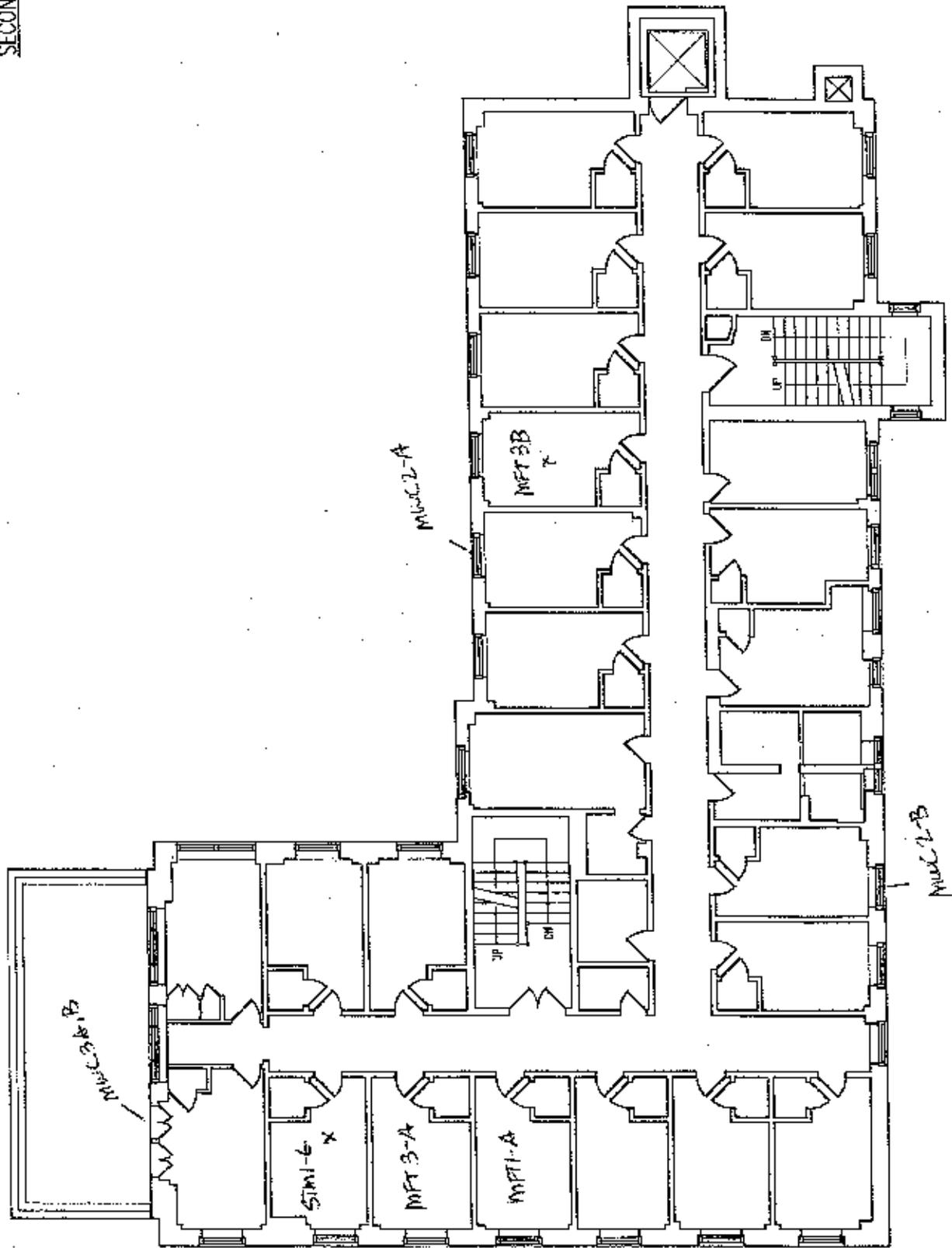
Lab Manager: Shavell Gelonius Analyst: [Signature]

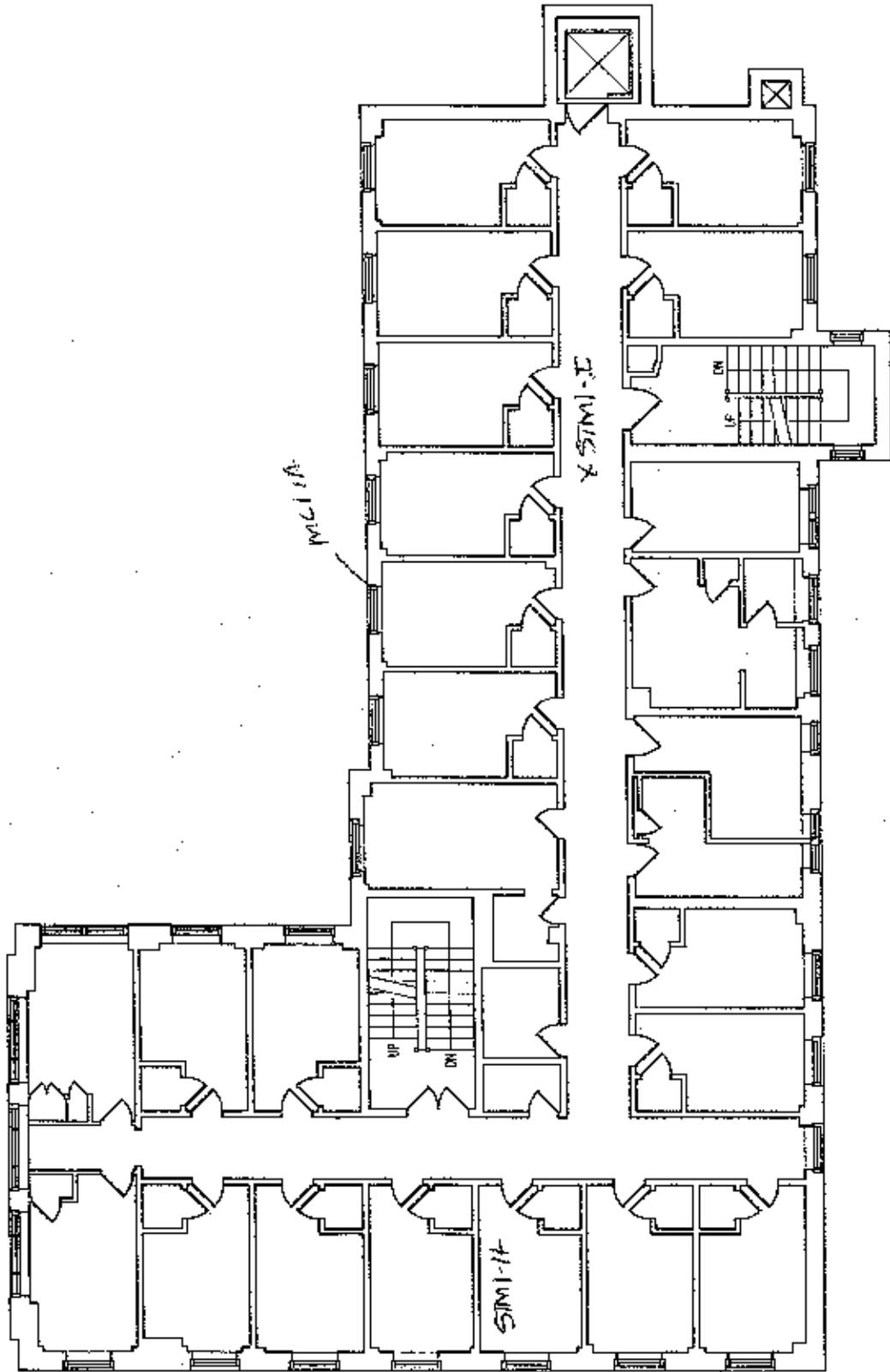
The analysis above was performed in accordance with ELAP 198.4 or EPA-600/R-93/116 for the determination of asbestos in bulk building materials by Transmission Electron Microscopy (TEM). According to NYS law, all negative NOB's (floor tiles, roofing materials, etc.) must be confirmed by TEM. These results apply to only these samples. J&S assumes that all sampling methods and data upon which these results are based have been accurately supplied by the client. The above report may not be reproduced, except in full, without written approval by J&S Environmental Laboratories, LLC. This report is not induced by any U.S. Government Agency. **Mandell Environmental Consulting** collected the above sample(s).

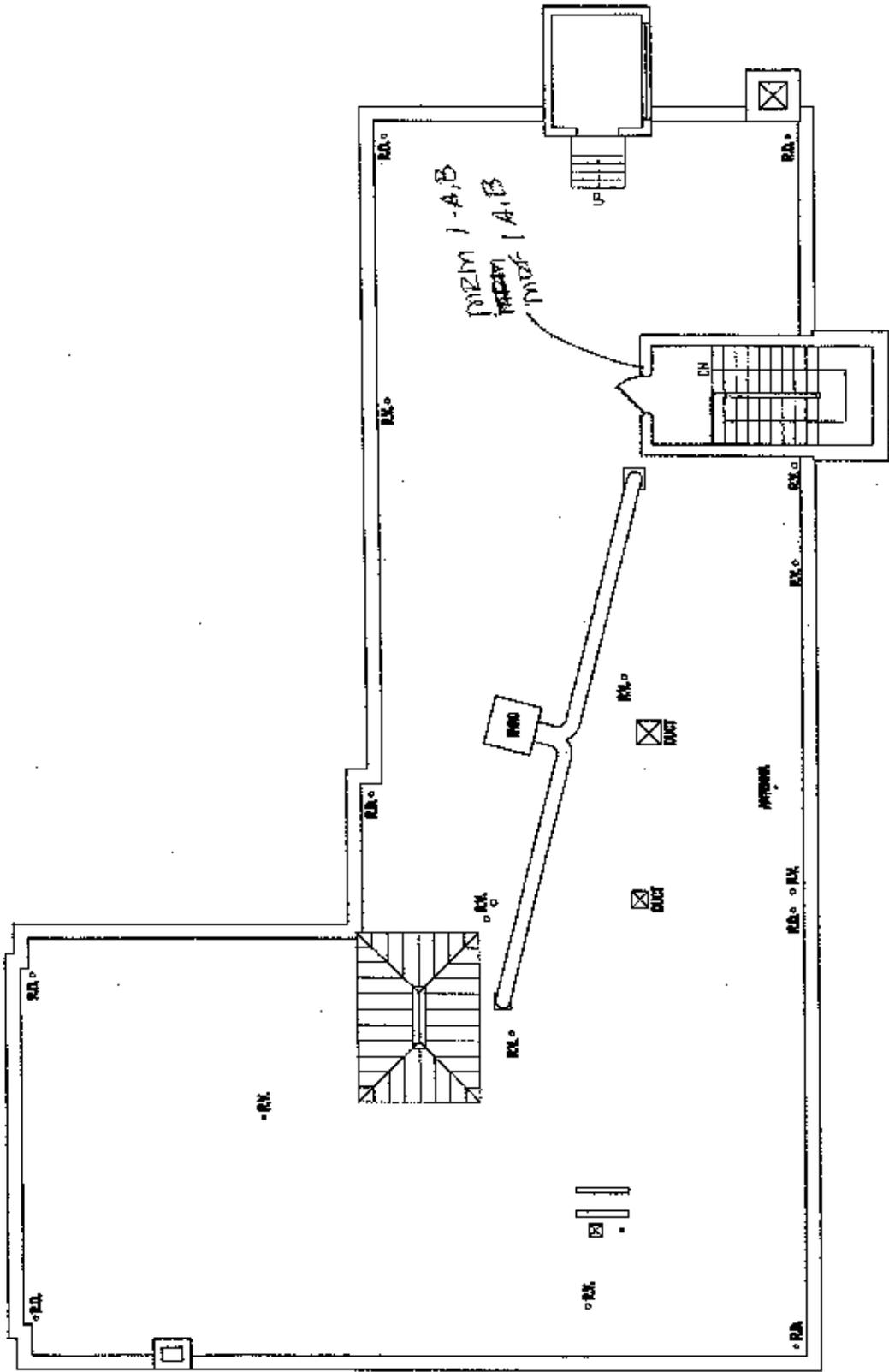
**APPENDIX 2
FIELD DRAWING**











**APPENDIX 3
CERTIFICATIONS**

McCabe Environmental & Occupational Training Institute

1 Madison Street, Building F, East Rutherford, NJ 07073 · Phone 201-438-4839 · Fax 201-438-1798

Certificate of Completion

This is to certify that

Stuart A. Casciano

Successfully completed the
New York State Department of Health approved course entitled
Inspector Refresher

This course meets requirements of TSCA Title II

(The official record of successful completion is the DOH 2832 Certificate of completion New York State Department of Health Certificate of Asbestos Safety Training)

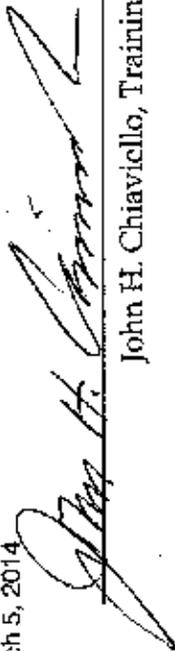
Course Date: March 5, 2013

Examination Date: March 5, 2013

Certificate Number: 654606

Expiration Date: March 5, 2014

Examination Grade: *84%*



John H. Chiavicchio, Training Director

Language: English

www.mccabeenv.com

SECTION J



**A. Seine Lighthouse Solutions, LLC
Lighthouse Environmental, Inc
PO Box 354
South Orange, NJ 07079**

Lead Based Paint Inspection Report

Site: 128 - 134 South 10th Street, Newark, NJ

DATE: December 2012

EXPLANATION OF TERMS AND ABBREVIATIONS

The following information has been provided to assist you with the attached Lead-Based Paint Inspection Report.

Action Level – The level at or above which any paint, shellac, varnish, or other coating is considered to be lead-based and, consequently, appropriate abatement and/or interim control measures should be considered. Currently, the action level as outlined in State and Federal guidelines is 1.0 milligrams/square centimeter (1.0 mg/cm²) as measured by X-Ray Fluorescence (XRF) testing, or 0.5% by weight as measured by laboratory analysis.

Reading No. – Corresponds to a specific XRF measurement as taken in a numerical sequence during the inspection.

Surface – The general location of a measurement relative to a wall on the exterior of the house or within a particular room. Wall A corresponds to the front entry wall, while walls B through D are identified proceeding in a clockwise direction.

Structure – A major component such as a window, wall, or staircase located inside or outside of the house, upon which a measurement or set of measurements were collected.

Location – The specific area on a structure where a measurement was collected.

Member – A portion of a structure such as a window jam, door header, or stair riser where a measurement was collected.

Friction Surface – Any interior or exterior surface such as a window, stair tread, or floor subject to friction or abrasion.

Impact Surface – An interior or exterior surface such as surfaces on doors subject to damage by repeated impact or contact.

Paint Condition – A subjective classification of the condition of a painted surface upon which a measurement was collected. Paint is classified into one of two categories that include "sound" or "unsound". A "sound" surface is considered to be completely intact and free from any visible signs of damage or deterioration. All other surfaces are considered "unsound". Regardless of the paint condition at the time of inspection, all friction and impact surfaces are considered "unsound" due to the ongoing generation of dust that is inherent to these surfaces during use. If test results indicate the presence of lead-based paint, particularly on an "unsound" surface, steps should be taken to establish and maintain a lead-safe condition.

I= Intact: Paint surface is smooth, continuous and free of surface defect that would result in the release of paint dust or chips.

F=Fair: Large surfaces – a surface where less than or equal to two square feet of surface are not intact. Areas without large surfaces – surface where less than or equal to 10 percent of the surface is not intact.

P=Poor: Large surfaces – a surface where more than two square feet of surface are not intact. Areas without large surfaces – surface where more than 10 percent of the surface is not intact.

Mode – The Scitoc XRF instrument used to perform the lead-based paint inspection reports the results in two measurement; K-Shell and L-Shell. The K-Shell shows the amount of lead present below the surface coats of paint. The L-Shell shows how close the lead paint is to the immediate surface.

NOTES AND CALIBRATION DATA

Date: 12/27/12

Inspector Name and Number: Sarah Calandra 008954



Initial Calibration mg/cm2: 1.1, 1.0, 1.1, 1.0, 1.0

Final calibration mg/cm2: 1.1, 1.0, 1.0, 1.1, 1.0

Paint Condition: I = Intact, F = Fair, P = Poor

Substrate: M = Metal, S = Sheetrock, P = Plaster, W = Wood,
B = Brick, O = Other

Site: 128 - 134 South 10th Street
Newark, NJ



ROOM: Room 7	WALL	XRF mg/cm ²	Substrate	Paint Condition
Window sill	A	1.5	W	P
Window apron/casing/jamb	A	2.9	W	P
Window sash	C	3.1	W	P
Wall A	A	3	S	P
Wall B	B	2.1	S	P
Wall C	C	0.4	S	P
Wall D	D	0.2	S	P
Baseboard	A	3.4	W	P
ROOM: Room 8	WALL	XRF mg/cm ²	Substrate	Paint Condition
Window sill	A	2.4	W	P
Window apron/casing/jamb	A	2.9	W	P
Wall A	A	2.1	S	P
Wall B	B	1.4	S	P
Wall C	C	2.1	S	P
Wall D	D	2.2	S	P
Baseboard	A	2.1	W	P
ROOM: Room 9	WALL	XRF mg/cm ²	Substrate	Paint Condition
Window sill	A	1.4	W	P
Window apron/casing/jamb	A	1.2	W	P
Wall A	A	2.8	S	P
Wall B	B	2.1	S	P
Wall C	C	2.1	S	P
Wall D	D	2.2	S	P
Baseboard	A	2.3	W	P
ROOM: Room 10	WALL	XRF mg/cm ²	Substrate	Paint Condition
Window sill	A	2.3	W	P
Window apron/casing/jamb	A	2.7	W	P
Wall A	A	1.9	S	P
Wall B	B	2.1	S	P
Wall C	C	2.1	S	P
Wall D	D	2.2	S	P
ROOM: Room 11	WALL	XRF mg/cm ²	Substrate	Paint Condition
Window sill	A	4.2	W	P
Window apron/casing/jamb	A	4.2	W	P
Wall A	A	4.5	S	P
Wall B	B	2.3	S	P
Wall C	C	2.1	S	P
Wall D	D	3.4	S	P
ROOM: Room 12	WALL	XRF mg/cm ²	Substrate	Paint Condition
Window sill	C	2.2	W	P
Window apron/casing/jamb	C	2.3	W	P
Wall A	A	2.4	S	P
Wall B	B	2.8	S	P
Wall C	C	2.1	S	P
Wall D	D	2.9	S	P
ROOM: Room 13	WALL	XRF mg/cm ²	Substrate	Paint Condition
Window sill	C	3.1	W	P
Window apron/casing/jamb	C	3.4	W	P
Wall A	A	3.2	S	P
Wall B	B	2.8	S	P
Wall C	C	2.1	S	P
Wall D	D	2.9	S	P

ROOM: Room 14	WALL	XRF mg/cm2	Substrate	Paint Condition
Window sill	A	2.2	W	P
Window apron/casing/jamb	A	5.6	W	P
Wall A	A	5.7	S	P
Wall B	B	5.8	S	P
Wall C	C	5.6	S	P
Wall D	D	5.1	S	P
ROOM: Room 15	WALL	XRF mg/cm2	Substrate	Paint Condition
Window sill	A	2.3	W	P
Window apron/casing/jamb	A	2.5	W	P
Wall A	A	3.4	S	P
Wall B	B	3.1	S	P
Wall C	C	3.6	S	P
Wall D	D	3.8	S	P
ROOM: Room 16	WALL	XRF mg/cm2	Substrate	Paint Condition
Window sill	A	3.1	W	P
Window apron/casing/jamb	A	3.2	W	P
Wall A	A	4.5	S	P
Wall B	B	4.8	S	P
Wall C	C	4.3	S	P
Wall D	D	4.9	S	P

SECTION K

A-1 TANK SERVICE, INC.

DEP-S08298
U.S.T. Certification #US00452
Established 1978

3 WASHINGTON STREET
WEST ORANGE, NEW JERSEY 07052 * (973) 672-4525 * FAX (973) 672-3494

*Parkmont Housing & Redevelopment
73 Washington St.
Bloomfield, NJ 07003*

June 28, 2013

RE: Letter of Findings / Tank Search
Job Location: 128-134 South 10th St., Newark

Dear Mr. Arnazi:

Upon your request, on June 28th, 2013, A-1 Tank Service visually inspected and performed an electromagnetic survey at the above referenced property.

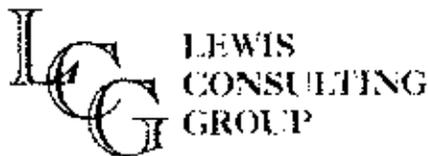
During the exterior search, two suspicious vent pipes were observed on the north side of the building. An electromagnetic sweep of the area was inconclusive and therefore A-1 Tank Service recommends further investigation of these two pipes. The most common method for investigating is by excavation in an attempt to follow these pipes to their ends to determine if they are connected to underground tanks.

If you have any questions, please contact Steve at 973-672-4525.

Sincerely,


Steve Lee
General Manager
A-1 Tank Service

Disclaimer: This inspection does not completely exclude the possibility of underground tanks at the site. The electromagnetic survey is used only as a tool to locate large metal objects up to 5 feet below grade. Metal objects on the surface that are impractical to move, overgrown shrubbery, decks, etc. could obstruct proper examination of particular areas.



Environmental Consultants

March 12, 2014

Transmitted via email: kf@parkmontcapital.com

Attn: Ms. Kristen Ford
Parkmont Housing and Redevelopment LLC
73 Washington Street
Bloomfield, NJ 07003

**RE: SUMMARY OF GEOPHYSICAL INVESTIGATION
128-134 SOUTH 10TH STREET
BLOCK 1827, LOT 70
CITY OF NEWARK, ESSEX COUNTY, NEW JERSEY
LCG PROJECT NO. 14-1289A**

Dear Ms. Ford,

Lewis Consulting Group (LCG) has prepared this summary report to assist with the evaluation of the above-referenced site. LCG conducted a Ground-Penetrating Radar (GPR) geophysical survey on March 7, 2014 for the subject property located at 128-134 South 10th Street, Newark, New Jersey. Currently, the site is improved with one (1) four-story vacant structure. The purpose of the investigation was to determine the absence/presence of underground storage tanks (USTs) associated with two (2) vent pipes observed on the northwestern exterior wall of the existing four-story, vacant site building as well as accessible areas of the site. The following is a summary of the investigation.

1.0 METHODOLOGY AND LIMITATIONS

Metal Detector Scan

LCG utilized a Fisher Model TW-6 Twinbox (transmitter/receiver) Metal Detector (TW-6) to assist in locating potential metallic objects in the selected areas of the site. The TW-6 transmitter produces an electromagnetic (EM) radio signal which creates a secondary current in subsurface metal objects. The secondary current creates a magnetic field which is detected by the receiver. The unit's audible signal will rise in pitch and the analog meter will indicate a rise in response when the unit is over a metallic object. The operator carried the TW-6 and scanned the selected accessible areas of the site. If the

device indicates the presence of metallic objects, the operator will mark the location with spray paint.

Ground-Penetration Radar (GPR) Survey

GPR data was collected with a Sensors and Software Inc. SmartCart GPR System (SmartCart) utilizing a 500MHz antenna. The antenna, containing both a transmitter and a receiver, is rolled along the ground surface during the GPR survey. The transmitter radiates short pulses of high-frequency EM energy into the ground. When the wave encounters the interface between two materials having different dielectric constants (dielectric permittivity), a portion of the energy is reflected back. The signal is transmitted to a control unit, displayed on a monitor, and digitally recorded. The system records an image of the subsurface by plotting two-way travel time of the reflected EM pulse on the vertical axis with the distance traveled along the ground surface plotted on the horizontal axis. The depth of the reflecting object or stratum is then determined by using known soil velocity functions and calculating two-way travel time values. GPR data was collected in the accessible areas of the site. The maximum depth of investigation was approximately four (4) feet at the site. Generally, the potential presence of USTs or other significant subsurface objects are indicated by the presence of large hyperbolic signatures at depth. Smaller objects such as utilities or other objects are indicated by the presence of smaller hyperbolic signatures.

Pipe/Utility Locator Scan

A Radiodetection RD8000 Utility Locator was utilized to assist in locating possible USTs at the site. The transmitter of the unit was connected to suspect vent pipes and the induced signals were then traced via the receiver's audible signal as the piping extends into the subsurface. The operator marked the path of the piping with spray paint during the investigation.

Limitations

Limitations encountered during the investigation included the presence of the building onsite, steel fencing, vehicles, snow piles, reinforced concrete and other obstructions. Please note that metal detection and GPR and pipe locating technology are remote sensing methods and in some instances, due to interference or other geophysical limitations, do not reveal data which may be indicative of subsurface anomalies. The findings of this investigation should only be used as a tool in evaluating the possibility that USTs or other hazards are or were once present on the property and should not be considered a guarantee regarding the presence or absence of USTs or other subsurface hazards. Due to the limitations at the site, the possibility that undiscovered subsurface objects exists.

2.0 FINDINGS AND CONCLUSIONS

On March 7, 2014, LCG investigated the two observed vent pipes and accessible areas around the perimeter of the site building located at 128-130 South 10th Street, Newark, New Jersey.

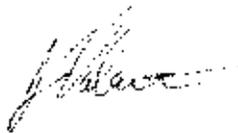
Eastern Vent Pipe: The RD8000 was attached to the eastern vent pipe located at the rear northern stairwell. A signal was traced across the driveway towards the building on the adjacent property to the north. This signal may represent a possible vent pipe, water pipe, electrical line or other subsurface utility. The path of the possible piping was marked in the field with spray paint. No EM or GPR anomalies indicative of a UST were observed in the accessible areas near the eastern vent pipe.

Western Vent Pipe: The RD8000 was attached to the western vent pipe located at the northwestern corner of the site building. A signal was traced across the driveway towards the grassy area in the center of the property. An EM and GPR anomaly in this area is indicative of a UST approximately 10 feet in length, 4 to 6 feet in diameter and 4 to 5 feet below grade. The location of the UST was subsequently marked in the field with spray paint. A representative GPR data scan collected running parallel over the UST is provided in Appendix I. Pertinent photographs of the geophysical investigation are provided in Appendix II. A site map depicting the areas scanned at the site is provided as Figure 1, Appendix III.

These findings are based upon interpretation of the geophysical data and visual observations at the site, therefore, conclusive determination would require intrusive investigation. If there are any questions regarding this report, please contact our office at (732) 276-2420.

Sincerely,

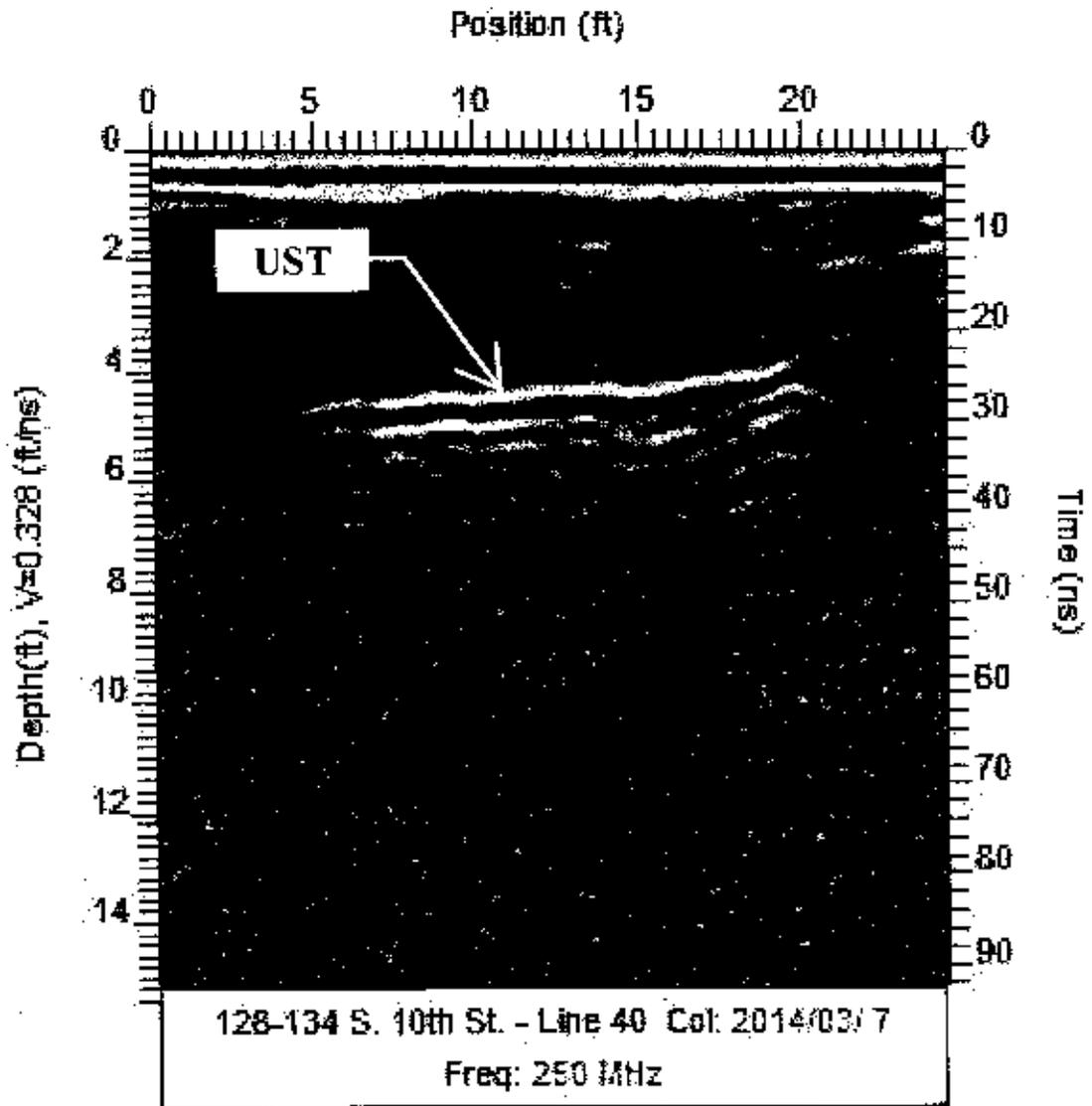
LEWIS CONSULTING GROUP



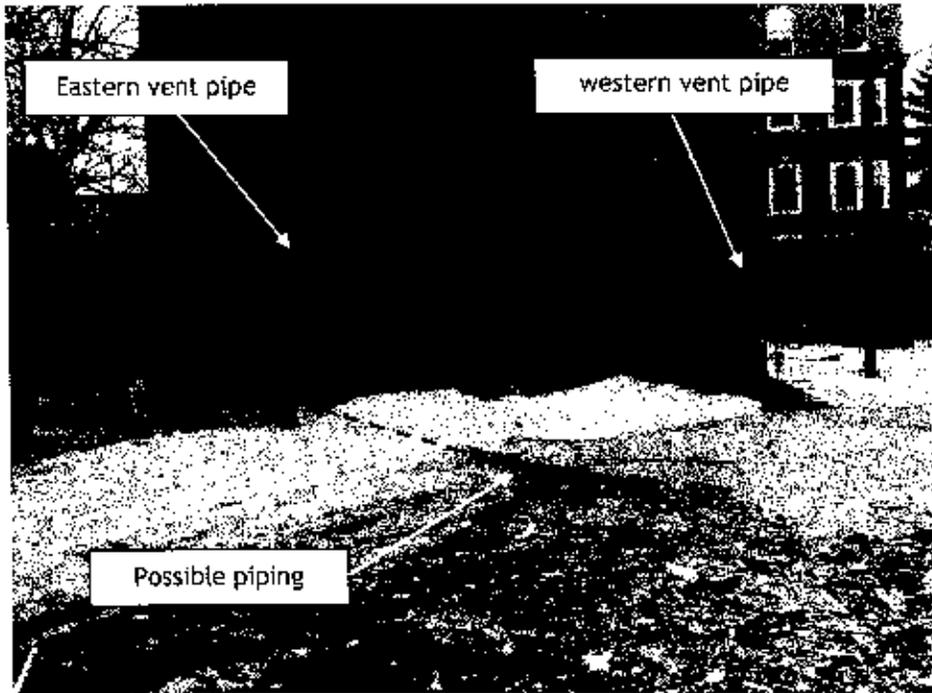
Jeanne M. Valente, Project Manager

c. Zachary D. Lewis, Principal

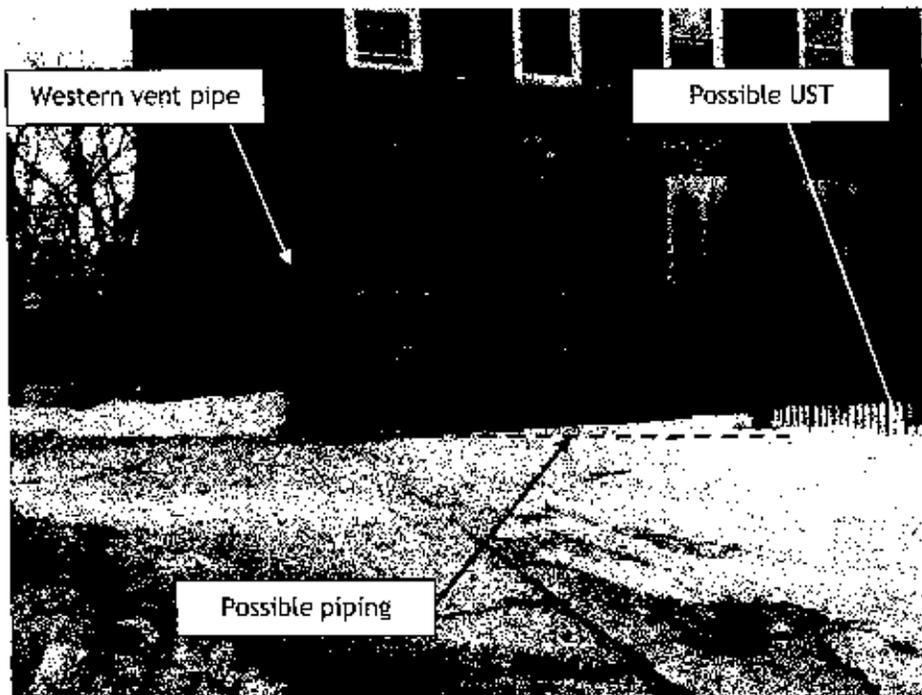
APPENDIX I



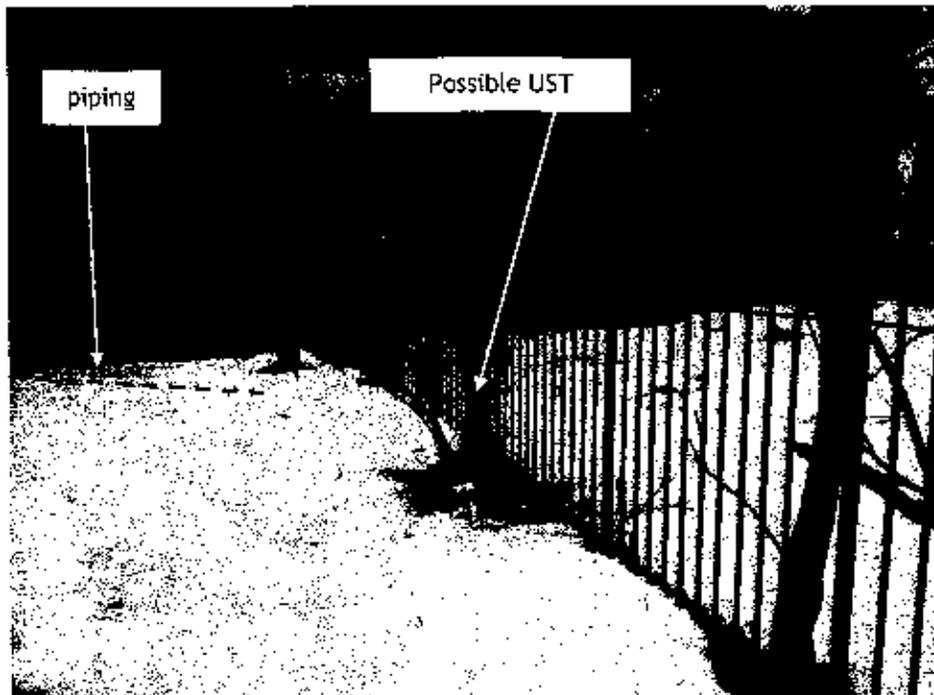
APPENDIX II



Photograph 1 of 3: Location of eastern and western vent pipes and path of possible piping from eastern vent pipe.

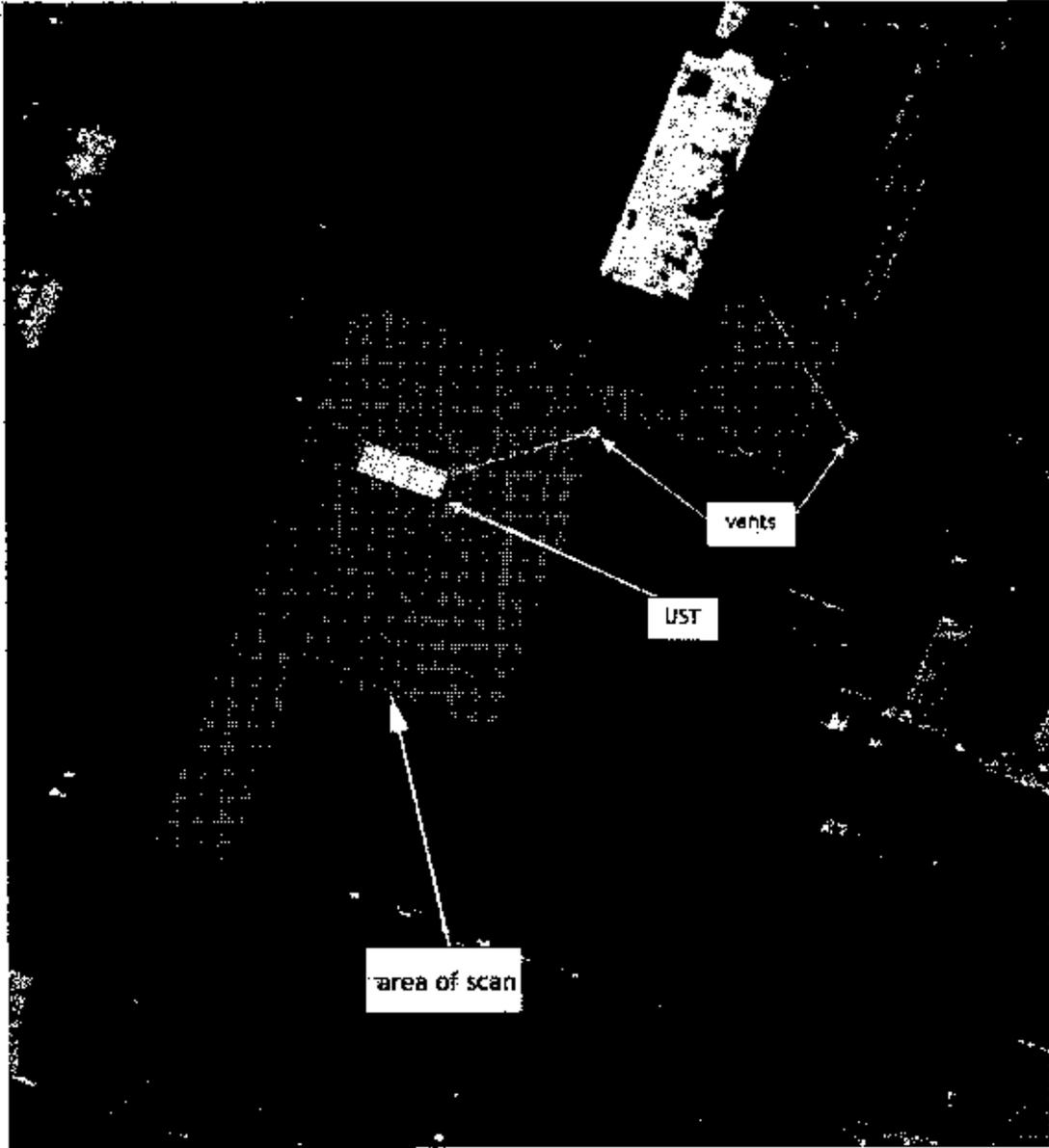


Photograph 2 of 3: Western vent pipe and piping leading to possible UST.



Photograph 3 of 3: Location of possible UST in front of building associated with western vent pipe.

APPENDIX III



Aerial photograph from GoogleEarth



SCAN AREA & ANOMALY LOCATION MAP

128-130 SOUTH 10TH STREET
BLOCK 1827, LOT 70
CITY OF NEWARK
ESSEX COUNTY, NEW JERSEY

FIGURE #1

SECTION L

Note to all applicants/respondents: This form was developed with Nuance, the official HUD software for the creation of HUD forms. HUD has made available instructions for downloading a free installation of a Nuance reader that allows the user to fill-in and save this form in Nuance. Please see <http://portal.hud.gov/hudportal/documents/huddoc?id=nuancereaderinstall.pdf> for the instructions. Using Nuance software is the only means of completing this form.

Affirmative Fair Housing Marketing Plan (AFHMP) - Multifamily Housing

U.S. Department of Housing and Urban Development
Office of Fair Housing and Equal Opportunity

OMB Approval No. 2529-0013
(exp. 8/31/2013)

1a. Project Name & Address (including City, County, State & Zip Code)	1b. Project Contract Number	1c. No. of Units
Fairmount S. 10th Street Apartments 128-134 S. 10th Street 101 S. 9th Street, Newark, NJ 07107		23
1d. Census Tract		
17		
1e. Housing/Expanded Housing Market Area		
Housing Market Area: Fairmount Heights Neighborhood, Newark, NJ Expanded Housing Market Area: Essex County		

1f. Managing Agent Name, Address (including City, County, State & Zip Code), Telephone Number & Email Address
Safeguard Realty, 73 Washington Street, Ste 100, Bloomfield, NJ 07003. 973-250-5468, pamari@safeguardrealty.com

1g. Application/Owner/Developer Name, Address (including City, County, State & Zip Code), Telephone Number & Email Address
Fairmount S. 10th Street Apartments, LLC 73 Washington Street, Ste. 100, Bloomfield, NJ 07003; 973-250-5468; kf@parkmontcapital.com

1h. Entity Responsible for Marketing (check all that apply)
 Owner Agent Other (specify) _____
 Position, Name (if known), Address (including City, County, State & Zip Code), Telephone Number & Email Address
 Account Manager, 73 Washington St., Ste. 100, Bloomfield, NJ 07003; 973-250-5468 pamari@safeguardrealty.com

1i. To whom should approval and other correspondence concerning this AFHMP be sent? Indicate Name, Address (including City, State & Zip Code), Telephone Number & E-Mail Address.
 Kristen Ford, Co-Managing Member, 73 Washington Street, Ste. 100, Bloomfield, NJ 07003; 973-250-5468, 973-202-5194, kf@parkmontcapital.com

2a. Affirmative Fair Housing Marketing Plan
 Plan Type: Date of the First Approved AFHMP:
 Reason(s) for current update:

2b. HUD-Approved Occupancy of the Project (check all that apply)
 Elderly Family Mixed (Elderly/Disabled) Disabled

2c. Date of Initial Occupancy

2d. Advertising Start Date
 Advertising must begin at least 90 days prior to initial or renewed occupancy for new construction and substantial rehabilitation projects.
 Date advertising began or will begin:
 For existing projects, select below the reason advertising will be used:
 To fill existing unit vacancies
 To place applicants on a waiting list (which currently has individuals)
 To reopen a closed waiting list (which currently has individuals)

3a. Demographics of Project and Housing Market Area
Complete and submit Worksheet 1.

3b. Targeted Marketing Activity

Based on your completed Worksheet 1, indicate which demographic group(s) in the housing market area is/are least likely to apply for the housing without special outreach efforts. (check all that apply)

- White American Indian or Alaska Native Asian Black or African American
 Native Hawaiian or Other Pacific Islander Hispanic or Latino Persons with Disabilities
 Families with Children Other ethnic group, religion, etc. (specify)

4a. Residency Preference

Is the owner requesting a residency preference? If yes, complete questions 1 through 5.
If no, proceed to Block 4b.

(1) Type

(2) Is the residency preference area:
The same as the AFHMP housing/expanded housing market area as identified in Block 1e?

The same as the residency preference area of the local PHA in whose jurisdiction the project is located?

(3) What is the geographic area for the residency preference?

(4) What is the reason for having a residency preference?

(5) How do you plan to periodically evaluate your residency preference to ensure that it is in accordance with the non-discrimination and equal opportunity requirements in 24 CFR 5.105(a)?

Complete and submit Worksheet 2 when requesting a residency preference (see also 24 CFR 5.655(c)(1)) for residency preference requirements. The requirements in 24 CFR 5.655(c)(1) will be used by HUD as guidelines for evaluating residency preferences consistent with the applicable HUD program requirements. See also HUD Occupancy Handbook (4350.3) Chapter 4, Section 4.6 for additional guidance on preferences.

4b. Proposed Marketing Activities: Community Contacts
Complete and submit Worksheet 3 to describe your use of community contacts to market the project to those least likely to apply.

4c. Proposed Marketing Activities: Methods of Advertising
Complete and submit Worksheet 4 to describe your proposed methods of advertising that will be used to market to those least likely to apply. Attach copies of advertisements, radio and television scripts, Internet advertisements, websites, and brochures, etc.

5a. Fair Housing Poster

The Fair Housing Poster must be prominently displayed in all offices in which sale or rental activity takes place (24 CFR 200.620(e)). Check below all locations where the Poster will be displayed.

Rental Office Real Estate Office Model Unit Other (specify)

5b. Affirmative Fair Housing Marketing Plan

The AFHMP must be available for public inspection at the sales or rental office (24 CFR 200.625). Check below all locations where the AFHMP will be made available.

Rental Office Real Estate Office Model Unit Other (specify)

5c. Project Site Sign

Project Site Signs, if any, must display in a conspicuous position the HUD approved Equal Housing Opportunity logo, slogan, or statement (24 CFR 200.620(f)). Check below all locations where the Project Site Sign will be displayed. Please submit photos of Project signs.

Rental Office Real Estate Office Model Unit Entrance to Project Other (specify)

The size of the Project Site Sign will be x
The Equal Housing Opportunity logo or slogan or statement will be x

6. Evaluation of Marketing Activities

Explain the evaluation process you will use to determine whether your marketing activities have been successful in attracting individuals least likely to apply, how often you will make this determination, and how you will make decisions about future marketing based on the evaluation process.

Annually, the waiting list will be reviewed to determine the percentage of applicants who represent our demographic. If applicants do not comprise at least 50% of the number of units in the project, the designated account manager and/or member of the ownership entity will reach out to community organizations to assist with how to refine marketing activities and expand the waiting list accordingly.

7a. Marketing Staff

What staff positions are/will be responsible for affirmative marketing?

Account Manager and Building Owners

7b. Staff Training and Assessment: AFHMP

- (1) Has staff been trained on the AFHMP? No
- (2) Has staff been instructed in writing and orally on non-discrimination and fair housing policies as required by 24 CFR 200.620(c)? No
- (3) If yes, who provides instruction on the AFHMP and Fair Housing Act, and how frequently?

- (4) Do you periodically assess staff skills on the use of the AFHMP and the application of the Fair Housing Act? No
- (5) If yes, how and how often?

7c. Tenant Selection Training/Staff

- (1) Has staff been trained on tenant selection in accordance with the project's occupancy policy, including any residency preferences? Yes
- (2) What staff positions are/will be responsible for tenant selection?

Account Manager and Building owners

7d. Staff Instruction/Training:

Describe AFHMP/Fair Housing Act staff training, already provided or to be provided, to whom it was/will be provided, content of training, and the dates of past and anticipated training. Please include copies of any AFHMP/Fair Housing staff training materials.

Appropriate owners and staff will attend external seminars and training at least annually and as needed. A web based Training "The Basics of Fair Housing" from the Fair Housing Institute will be provided.

B. Additional Considerations Is there anything else you would like to tell us about your AFHMP to help ensure that your program is marketed to those least likely to apply for housing in your project? Please attach additional sheets, as needed.

None.

9. Review and Update

By signing this form, the applicant/respondent agrees to implement its AFHMP, and to review and update its AFHMP in accordance with the instructions to item 9 of this form in order to ensure continued compliance with HUD's Affirmative Fair Housing Marketing Regulations (see 24 CFR Part 200, Subpart M). I hereby certify that all the information stated herein, as well as any information provided in the accompaniment herewith, is true and accurate. Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (See 18 U.S.C. 1001, 1010, 1012, 31 U.S.C. 3729, 3802).

Signature of person submitting this Plan & Date of Submission (mm/dd/yyyy)

Kristen Ford 3/11/14

Name (type or print)

Kristen Ford

Title & Name of Company

Managing Member, Fairmount S. 10th Street Apartments, LLC

For HUD-Office of Housing Use Only

Reviewing Official:

For HUD-Office of Fair Housing and Equal Opportunity Use Only

Approval

Disapproval

Signature & Date (mm/dd/yyyy)

Signature & Date (mm/dd/yyyy)

Name
(type
or
print)

Title

Name
(type
or
print)

Title

Public reporting burden for this collection of information is estimated to average six (6) hours per initial response, and four (4) hours for updated plans, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This agency may not collect this information, and you are not required to complete this form, unless it displays a currently valid Office of Management and Budget (OMB) control number.

Purpose of Form: All applicants for participation in FHA subsidized and unsubsidized multifamily housing programs with five or more units (see 24 CFR 200.615) must complete this Affirmative Fair Housing Marketing Plan (AFHMP) form as specified in 24 CFR 200.625, and in accordance with the requirements in 24 CFR 200.620. The purpose of this AFHMP is to help applicants offer equal housing opportunities regardless of race, color, national origin, religion, sex, familial status, or disability. The AFHMP helps owners/agents (respondents) effectively market the availability of housing opportunities to individuals of both minority and non-minority groups that are least likely to apply for occupancy. Affirmative fair housing marketing and planning should be part of all new construction, substantial rehabilitation, and existing project marketing and advertising activities.

An AFHM program, as specified in this Plan, shall be in effect for each multifamily project throughout the life of the mortgage (24 CFR 200.620(a)). The AFHMP, once approved by HUD, must be made available for public inspection at the sales or rental offices of the respondent (24 CFR 200.625) and may not be revised without HUD approval. This form contains no questions of a confidential nature.

Applicability: The form and worksheets must be completed and submitted by all FHA subsidized and unsubsidized multifamily housing program applicants.

INSTRUCTIONS:

Send completed form and worksheets to your local HUD Office, Attention: Director, Office of Housing

Part 1: Applicant/Respondent and Project

Identification. Blocks 1a, 1b, 1c, 1g, 1h, and 1i are self-explanatory.

Block 1d- Respondents may obtain the Census tract number from the U.S. Census Bureau (www.census.gov) when completing Worksheet One.

Block 1e- Respondents should identify both the housing market area and the expanded housing market area for their multifamily housing projects. Use abbreviations if necessary. A housing market area is the area from which a multifamily housing project owner/agent may reasonably expect to draw a substantial number of its tenants. This could be a county or Metropolitan Division. The U.S. Census Bureau provides a range of levels to draw from.

An expanded housing market area is a larger geographic area, such as a Metropolitan Division or a Metropolitan Statistical Area, which may provide additional demographic diversity in terms of race, color, national origin, religion, sex, familial status, or disability.

Block 1f- The applicant should complete this block only if a Managing Agent (the agent cannot be the applicant) is implementing the AFHMP.

Part 2: Type of AFHMP

Block 2a- Respondents should indicate the status of the AFHMP, i.e., initial or updated, as well as the date of the first approved AFHMP. Respondents should also provide the reason (s) for the current update, whether the update is based on the five-year review or due to significant changes in project or local demographics. (See instructions for Part 9).

Block 2b- Respondents should identify all groups HUD has approved for occupancy in the subject project, in accordance with the contract, grant, etc.

Block 2c- Respondents should specify the date the project was/will be first occupied.

Block 2d- For new construction and substantial rehabilitation projects, advertising must begin at least 90 days prior to initial occupancy. In the case of existing projects, respondents should indicate whether the advertising will be used to fill existing vacancies, to place individuals on the project's waiting list, or to re-open a closed waiting list. Please indicate how many people are on the waiting list when advertising begins.

Part 3 Demographics and Marketing Area.

"Least likely to apply" means that there is an identifiable presence of a specific demographic group in the housing market area, but members of that group are not likely to apply for the housing without targeted outreach, including marketing materials in other languages for limited English proficient individuals, and alternative formats for persons with disabilities. Reasons for not applying may include, but are not limited to, insufficient information about housing opportunities, language barriers, or transportation impediments.

Block 3a - Using Worksheet 1, the respondent should indicate the demographic composition of the project's residents, current project applicant data, census tract, housing market area, and expanded housing market area. The applicable housing market area and expanded housing market area should be indicated in Block 1e. Compare groups within rows/across columns on Worksheet 1 to identify any under-represented group(s) relative to the surrounding housing market area and expanded housing market area, i.e., those group(s) "least likely to apply" for the housing without targeted outreach and marketing. If there is a particular group or subgroup with members of a protected class that has an identifiable presence in the housing market area, but is not included in Worksheet 1, please specify under "Other."

Respondents should use the most current demographic data from the U.S. Census or another official source such as a local government planning office. Please indicate the source of your data in Part 8 of this form.

Block 3b - Using the information from the completed Worksheet 1, respondents should identify the demographic group(s) least likely to apply for the housing without special outreach efforts by checking all that apply.

Part 4 - Marketing Program and Residency Preference (if any).

Block 4a - A residency preference is a preference for admission of persons who reside or work in a specified geographic area (see 24 CFR 5.655(c)(1)(ii)). Respondents should indicate whether a residency preference is being utilized, and if so, respondents should specify if it is new, revised, or continuing. If a respondent wishes to utilize a residency preference, it must state the preference area (and provide a map delineating the precise area) and state the reason for having such a preference. The respondent must ensure that the preference is in accordance with the non-discrimination and equal opportunity requirements in 24 CFR 5.105(a) (see 24 CFR 5.655(c)(1)).

Respondents should use Worksheet 2 to show how the percentage of the eligible population living or working in the residency preference area compares to that of residents of the project, project applicant data, census tract, housing market area, and expanded housing market area. The percentages would be the same as shown on completed Worksheet 1.

Block 4b - Using Worksheet 3, respondents should describe their use of community contacts to help market the project to those least likely to apply. This table should include the name of a contact person, his/her address, telephone number, previous experience working with the target population(s), the approximate date contact was/will be initiated, and the specific role the community contact will play in assisting with affirmative fair housing marketing or outreach.

Block 4c - Using Worksheet 4, respondents should describe their proposed method(s) of advertising to market to those least likely to apply. This table should identify each media option, the reason for choosing this media, and the language of the advertisement. Alternative format(s) that will be used to reach persons with disabilities, and logo(s) that will appear on the various materials (as well as their size) should be described. **Please attach a copy of the advertising or marketing material.**

Part 5 - Availability of the Fair Housing Poster, AFHMP, and Project Site Sign.

Block 5a - The Fair Housing Poster must be prominently displayed in all offices in which sale or rental activity takes place (24 CFR 200.620(e)). Respondents should indicate all locations where the Fair Housing Poster will be displayed.

Block 5b - The AFHMP must be available for public inspection at the sales or rental office (24 CFR 200.625). Check all of the locations where the AFHMP will be available.

Block 5c - The Project Site Sign must display in a conspicuous position the HUD-approved Equal Housing Opportunity logo, slogan, or statement (24 CFR 200.620(f)). Respondents should indicate where the Project Site Sign will be displayed, as well as the size of the Sign and the size of the logo, slogan, or statement. **Please submit photographs of project site signs.**

Part 6 - Evaluation of Marketing Activities.

Respondents should explain the evaluation process to be used to determine if they have been successful in attracting those individuals identified as least likely to apply. Respondents should also explain how they will make decisions about future marketing activities based on the evaluations.

Part 7 - Marketing Staff and Training.

Block 7a - Respondents should identify staff positions that are/will be responsible for affirmative marketing.

Block 7b - Respondents should indicate whether staff has been trained on the AFHMP and Fair Housing Act. Please indicate who provides the training and how frequently. In addition, respondents should specify whether they periodically assess staff members' skills in using the AFHMP and in applying the Fair Housing Act. They should state how often they assess employee skills and how they conduct the assessment.

Block 7c - Respondents should indicate whether staff has been trained on tenant selection in accordance with the project's occupancy policy, including residency preferences (if any). Respondents should also identify those staff positions that are/will be responsible for tenant selection.

Block 7d - Respondents should include copies of any written materials related to staff training, and identify the dates of past and anticipated training.

Part 8 - Additional Considerations.

Respondents should describe their efforts not previously mentioned that were/are planned to attract those individuals least likely to apply for the subject housing.

Part 9 - Review and Update.

By signing the respondent assumes responsibility for implementing the AFHMP. Respondents must review their AFHMP every five years or when the local Community Development jurisdiction's Consolidated Plan is updated, or when there are significant changes in the demographics of the project or the local housing market area. When reviewing the plan, the respondent should consider the current demographics of the housing market area to determine if there have been demographic changes in the population in terms of race, color, national origin, religion, sex, familial status, or disability. The respondent will then determine if the population least to likely to apply for the housing is still the population identified in the AFHMP, whether the advertising and publicity cited in the current AFHMP are still appropriate, or whether advertising sources should be modified or expanded. Even if the demographics of the housing market area have not changed, the respondent should determine if the outreach currently being performed is reaching those it is intended to reach as measured by project occupancy and applicant data. If not, the AFHMP should be updated. The revised AFHMP must be submitted to HUD for approval. HUD may review whether the affirmative marketing is actually being performed in accordance with the AFHMP. If based on their review, respondents determine the AFHMP does not need to be revised, they should maintain a file documenting what was reviewed, what was found as a result of the review, and why no changes were required. HUD may review this documentation.

Notification of Intent to Begin Marketing.

No later than 90 days prior to the initiation of rental marketing activities, the respondent must submit notification of intent to begin marketing. The notification is required by the AFHMP Compliance Regulations (24 CFR 108.15). The Notification is submitted to the Office of Housing in the HUD Office servicing the locality in which the proposed housing will be located. Upon receipt of the Notification of Intent to Begin Marketing from the applicant, the monitoring office will review any previously approved plan and may schedule a pre-occupancy conference. Such conference will be held prior to initiation of sales/rental marketing activities. At this conference, the previously approved AFHMP will be reviewed with the applicant to determine if the plan, and/or its proposed implementation, requires modification prior to initiation of marketing in order to achieve the objectives of the AFHM regulation and the plan.

OMB approval of the AFHMP includes approval of this notification procedure as part of the AFHMP. The burden hours for such notification are included in the total designated for this AFHMP form.

Worksheet 1: Determining Demographic Groups Least Likely to Apply for Housing Opportunities
(See AFHMP, Block 3b)

In the respective columns below, indicate the percentage of demographic groups among the project's residents, current project applicant data, census tract, housing market area, and expanded housing market area (See instructions to Block 1e). If you are a new construction or substantial rehabilitation project and do not have residents or project applicant data, only report information for census tract, housing market area, and expanded market area. The purpose of this information is to identify any under-representation of certain demographic groups in terms of race, color, national origin, religion, sex, familial status, or disability. If there is significant under-representation of any demographic group among project residents or current applicants in relation to the housing/expanded housing market area, then targeted outreach and marketing should be directed towards those individuals least likely to apply. Please indicate under-represented groups in Block 3b of the AFHMP. Please attach maps showing both the housing market area and the expanded housing market area.

Instructions: For demographic data from the 2010 Census, please see <http://factfinder2.census.gov/main.html>. To find data by Census Tract, County, Metropolitan Statistical Area (MSA), or other level:

1. Click "Geographies" on the left.
2. Click the "Address" Tab and enter the address of the project and then click "GO".
(*To create a map of the area click the "Maps" tab*)
3. Select the level of interest (Census Tract, County, MSA, or other) and then close the "Select Geographies" box.
(Do NOT select more than one level at a time)
4. Click the first "Profile of General Population and Housing Characteristics: 2010" also known as DP-1.
(Refer to the "Race" section "Total Population" subsection for breakdown of demographic characteristics)
5. Record the information in Worksheet 1 for that level, click "Back to Search" in the top left corner, then click "Clear all Selections" in the "Selections" Box in the top left corner.
6. Start process again to retrieve the next level of data (County, MSA, or other).

To collect information about the percentage of persons with disabilities repeat above steps 1 through 3 to select your level of interest (Census Tract, County, MSA, etc.) then:

1. Click "Topics" on the left.
2. Click "People".
3. Click "Disability" and then click the "Disability" link directly beneath it.
4. **For Census Tract-** Select the first "Disability Status by Sex: 2000" or QT-P21. Please note that the most recent information for census tract is from 2000. In this section report percent with a disability for both sexes for population 5 years and over.
For County or MSA- Select the first "Selected Social Characteristics in the United States" or DP02 and report the percent of the total civilian noninstitutionalized population with a disability.
5. Record the information in Worksheet 1 and then click "Back to Search" in the top left corner, then click the "X" next to the level in the "Your Selections" box, but KEEP "DISABILITY" as a selection.
6. Repeat for next level of data (County, MSA, or other).

Demographic Characteristics	Project's Residents	Project's Applicant Data	Census Tract	Housing Market Area	Expanded Housing Market Area
% White			28.9	28.9	28.9
% Black or African American			39.0	39.0	39.0
% Hispanic or Latino			54.5	54.5	54.5
% Asian			1.7	1.7	1.7
% American Indian or Alaskan Native			0.1	0.1	0.1
% Native Hawaiian or Pacific Islander			0.1	0.1	0.1
% Persons with Disabilities			52.6	52.6	52.6
% Families with Children under the age of 18			39.7	39.7	39.7
Other (specify)					

Worksheet 2: Establishing a Residency Preference Area (See AFHMP, Block 4a)

Complete this Worksheet if you wish to continue, revise, or add a residency preference, which is a preference for admission of persons who reside or work in a specified geographic area (see 24 CFR 5.655(c)(1)(ii)). If a residency preference is utilized, the preference must be in accordance with the non-discrimination and equal opportunity requirements contained in 24 CFR 5.105(a). This Worksheet will help show how the percentage of the population in the residency preference area compares to the demographics of the project's residents, applicant data, census tract, housing market area, and expanded housing market area. Please attach a map clearly delineating the residency preference geographical area.

Demographic Characteristics	Project's Residents (as determined in Worksheet 1)	Project's Applicant Data (as determined in Worksheet 1)	Census Tract (as determined in Worksheet 1)	Housing Market Area (as determined in Worksheet 1)	Expanded Housing Market Area (as determined in Worksheet 1)	Residency Preference Area (if applicable)
% White						
% Black or African American						
% Hispanic or Latino						
% Asian						
% American Indian or Alaskan Native						
% Native Hawaiian or Pacific Islander						
% Persons with Disabilities						
% Families with Children under the age of 18						
Other (specify)						

Worksheet 3: Proposed Marketing Activities –Community Contacts (See AFHMP, Block 4b)

For each targeted marketing population designated as least likely to apply in Block 3b, identify at least one community contact organization you will use to facilitate outreach to the particular population group. This could be a social service agency, religious body, advocacy group, community center, etc. State the names of contact persons, their addresses, their telephone numbers, their previous experience working with the target population, the approximate date contact was/will be initiated, and the specific role they will play in assisting with the affirmative fair housing marketing. Please attach additional pages if necessary.

Targeted Population(s)	Community Contact(s), including required information noted above.
Homeless, Formerly Homeless, Special Needs, Low Income	Apostles' House, Judy Bennett, CEO, 24 Grant Street, Newark, NJ 07104 The mission of The Apostles' House (TAH) is to provide comprehensive social services to homeless and at-risk families and individuals in the Newark area in an environment that encourages and enables self-sufficiency.
Disadvantaged and disenfranchised African-Americans and other socially and economically disadvantaged individuals in Essex County.	The Urban League of Essex County, Vivian Cox Fraser, CEO, 506 Central Avenue, Newark, NJ 07107.

Worksheet 4: Proposed Marketing Activities – Methods of Advertising (See AFHMP, Block 4c)

Complete the following table by identifying your targeted marketing population(s), as indicated in Block 3b, as well as the methods of advertising that will be used to market to that population. For each targeted population, state the means of advertising that you will use as applicable to that group and the reason for choosing this media. In each block, in addition to specifying the media that will be used (e.g., name of newspaper, television station, website, location of bulletin board, etc.) state any language(s) in which the material will be provided, identify any alternative format(s) to be used (e.g. Braille, large print, etc.), and specify the logo(s) (as well as size) that will appear on the various materials. Attach additional pages, if necessary, for further explanation. Please attach a copy of the advertising or marketing material.

Targeted Population(s)→ Methods of Advertising ↓	Targeted Population:	Targeted Population:	Targeted Population:
Newspaper(s)			
Radio Station(s)			
TV Station(s)			
Electronic Media	Special Needs, Homeless		
EBlasts, Online Media			
Bulletin Boards			
Brochures, Notices, Flyers	Special Needs - Homeless; Urban League, Apostles' House, Community Outrea		
Flyers			
Other (specify)			

**Affirmative Fair Housing Marketing Plan
Fairmount S. 10th Street Apartments, LLC
128-134 South 10th Street
101 S. 9th Street
Newark, NJ 07107**

Attachment for Worksheet 3

**Apostles' House
24 Grant Street
Newark, NJ 07104**

Judy Bennett, CEO – 973-482-0625

Priority is given to clients of Apostles' House. Apostles' House will help refer current clients who are receiving support services and complete a seminar focusing on independent living skills. Please see attached Support Services Plan and history of the organization.

**Urban League of Essex County
508 Central Avenue
Newark, NJ 07107**

Vivian Cox Fraser – 973-624-9535

Equal priority will be given to clients of the Urban League of Essex County. They will help refer clients living in the neighborhood. ULEC has a long history in the Fairmount Heights Neighborhood and is the architect of the Newark Fairmount Promise Neighborhood plan. Please see attached History.

Apostles' House History

In 1982, The House of Prayer Episcopal Church motivated by the growing number of hungry and homeless in Essex County began providing emergency shelter and food to families who found their way to the lower Broadway area of downtown Newark. In 1984 joined by Trinity Cathedral and St. Philips Church, Christ Church Short Hills, St. Luke's Montclair, and St. George's Maplewood, they established the Family Emergency Shelter known as The Apostles' House at its present location on Grant Street. Today it is a thriving 501(c)3 social service agency with a staff of 48 whose organizational budget is almost \$2.5 million. It is accountable to Episcopal Diocese of Newark, and must satisfy the diocese's requirements for quality service, and remain faithful to the mission, which is in alignment with diocesan outreach goals

Project Information

Fairmount S. 10th Street Apartments
128-134 South 10th Street
Newark, NJ 07107
973-250-5468

Management Company:
Safeguard Realty Management NJ
73 Washington Street
Bloomfield, NJ 07003
973-250-5468

Service Provider:
The Apostles' House
Judy D. Bennett, CEO
24 Grant Street
Newark, NJ 07103
973-482-0625
jdbennett@hotmail.com

Apostles' House Mission and History

The mission of The Apostles' House (TAH) is to provide comprehensive social services to homeless and at-risk families and individuals in the Newark area in an environment that encourages and enables self-sufficiency.

In 1982, The House of Prayer Episcopal Church motivated by the growing number of hungry and homeless in Essex County began providing emergency shelter and food to families who found their way to the lower Broadway area of downtown Newark. In 1984 joined by Trinity Cathedral and St. Philips Church, Christ Church Short Hills, St. Luke's Montclair, and St. George's Maplewood, they established the Family Emergency Shelter known as The Apostles' House at its present location on Grant Street. Today it is a thriving 501(c)3 social service agency with a staff of 48 whose organizational budget is almost \$2.5 million. It is accountable to Episcopal Diocese of Newark, and must satisfy the diocese's requirements for quality service, and remain faithful to the mission, which is in alignment with diocesan outreach goals.

Project Supportive Housing Goals, Population, and Services

The goal is for clients of Apostles' House is to help our homeless neighbors move from the street or shelter to their own homes. The Apostles' House programs consist of two components, which are provided at no cost to the clients.

The population served will reside in 15 units at 128-134 South 10th Street, Newark, NJ 07107. Clients will be homeless individuals upon move-in. They will include grandparents raising grandchildren. Services will be made available to the remaining 8 units as needed.

Services will be provided at a minimum of bi-weekly on site and as needed according to client's service plans by an Apostles' House counselor. Child care and respite care will be provided as determined through each clients' service plan. Services will be funded through a Continuum of Care grant received by Apostles' House.

Transportation will be made available through the Apostles' House as well as through local mass transit.

To facilitate coordination of services, S. Fairmount Apartments LLC has agreed to make available to the Apostles' House a dedicated office space where clients can meet with counselors in a private, professional setting. In addition the owner will work with the on-site superintendent to facilitate access to facility on demand by Apostles' House. Procedures for access and tenant screening will be adopted prior to leasing.

For Apostles House Clients, first, through intensive case management services, clients are assessed through an intake process that captures all information, including family information and verification, work history, educational levels, mental health issues, drug abuse history and other pertinent information. Next an action plan is developed with input from the client and representatives of any other agencies/programs involved with the family. Finally, each client is given a Pearson aptitude test, and when applicable, assisted in pursuing educational goals. Additional support services are provided to former Shelter Guests to help them become housed and stay housed, which include:

- counseling for tenant rights,
- referrals to appropriate agencies,
- budget counseling,
- food provisions, and
- child care.

Second, through partnerships with affordable housing programs and government project-based vouchers (PBV) for rental subsidies, Shelter Guests are provided with their own apartment along with clinical supervision provided by the Apostles' House, which include:

- Independent Living Skills Training – Assist in the development of a self-directed plan for work, education, medical, recreation, or social needs.
- Information and Referral – Provide contact information for transportation, health care, mental health, and day care resources available to disabled individuals as they seek to implement their independent living plan.
- Peer Support – Offer support network to individuals with a disability where they can share their concerns and learn about solutions. This gives members an opportunity to share their knowledge and benefit from the experience of others.
- Family & Community Education – Will help to educate the other family members who provide support for the individual with a disability so that the support network is informed and involved.

- **Advocacy** – Will advocate on behalf of the individual with a disability if that person has been mistreated or discriminated against by other entities or individuals.

The goal is to keep 80% of clients housed in permanent housing for greater than one year. Another goal is to have 100% of clients complete Independent Life Skills training designed to provide skills and tools to successfully live in a permanent housing community. Finally it is the intention that 50% of clients further benefit from programs and recreational opportunities provided on site in the community space provided. Programs and recreation on this site will be provided by a third party organization. Support Services will also be provided onsite both at the Client's domicile as well as a private dedicated office within the building.

Tenant Sourcing and Outreach

Tenants will be found through Apostles' House programs, local nonprofit organizations such as the Urban League of Essex County, Essex County programs where Apostles' House regularly networks, the New Jersey Division of Youth and Family Services, the Newark Housing Authority and local outreach including neighborhood meetings and advertising.

Supportive services promote access to services that are necessary to integrate a tenant into the community on a continuing basis. Supportive services assist tenants to obtain generic or mental health services from existing providers. Supportive Services are provided in appropriate settings – in the home, in the community and at the agency’s offices. Supportive services shall include, but not be limited to:

I. Mental Health Counseling

A. *Symptom Assessment, Management, and Supportive Counseling*

Assessments of tenant’s mental illness symptoms and the consumer’s response to treatment; symptom education to enable the tenant to indentify his or her mental illness symptoms; mange symptoms not reduced with medication; and assistance to the tenant to adapt and cope with internal and external stress.

B. *Crisis Assessment, Intervention, and Stabilization*

A Referrals to appropriate agencies that can provide needed services.

II. Substance Abuse Counseling

A. *Provision of Substance Abuse Services*

Service staff will assist the tenants to maintain a substance-free lifestyle with services to include assessment of each person’s substance use and provision of or referral to substance abuse treatment and education. Staff will help the tenant to identify the interactive effects of his/her substance use, psychiatric symptoms, and psychiatric medications, and to recognize and manage any substance abusing behavior. Staff will assist dually diagnosed tenants in attending appropriate self-help meetings.

B. *Alumni Support Group*

Support and education does not end when an individual moves out of the Shelter. The Alumni Support Group is promoted throughout the course and tenants are encouraged to participate in the weekly sessions to discuss a range of issues related to life, addiction, and work. The group is led by a Licensed Certified Alcohol and Drug Counselor who provides support, resources, and a caring ear. All are welcome to join the group and to meet individually with the Counselor.

III. Job & Life Skills Training

A. *Education and Job Training and Support to Assist Tenants to Find and Maintain Employment*

The program staff will assist consumer residents with identification of educational and career goals, finding, choosing, and keeping a job, and referral to a necessary treatment, rehabilitation, training and support services to help each resident gain

and maintain full- or part-time community based supportive and/or competitive employment. Volunteer services programs will also be pursued as appropriate.

B. Job Workshops & Vocational Specialist Sessions

The program places an emphasis on identifying the unique skills possessed by each tenant and applying them to the challenges of finding employment and mastering key job and life skills. Group counseling in the following areas: interviewing, salary negotiation, timelines, money management, conflict resolution, and a myriad of job issues. A vocational specialist meets with tenants individually to build their resumes and apply for jobs. Additionally, weekday workshops focus on important issues that are prevalent in our tenants' lives, such as Financial Management, Substance Abuse, Mental Health, and Relationships.

C. Computer Literacy Program

Two weekly computer training sessions provide tenants with the chance to develop basic computer skills and to master advanced programs. Experienced instructors provide small-group computer training using our dedicated computer lab. The lab is equipped with seven PCs, which were generously donated and set-up through the in-kind donation from Wiley & Sons Publishing, and a cable modem, which allows for fast Internet connections to facilitate on-line job searching and researching educational opportunities. These workshops are adjusted each week based on the experience level of the participating students. As the program progresses, students learn about Microsoft applications and the vast resources of the Internet for job-searching and finding information.

D. Mentoring & Tutoring

Tenants develop one-on-one relationships with volunteers from the community. Such relationships are critically important in avoiding depression and keeping guests focused on achieving their goals. Many of our guests realize the importance of a high school diploma; thus, tutoring in preparation for the General Education Diploma (GED) is offered. We also provide English as a Second Language (ESL) tutoring and link with off-site programs to serve our Spanish speaking population. Individual employment counseling and resume writing sessions provided develops interpersonal skills and builds self-esteem in preparation for job interviews. Additionally, guests appreciate time spent with volunteers who share the simple gift of conversation.

E. Direct Assistance to Ensure That Each Tenant Obtains the Basic Necessities of Daily Living (including food, clothing, physical health and dental care, shelter and safety)

Supportive services staff assist tenants in securing and maintaining long-term, safe, affordable housing in normative settings that are clean, attractive, and promote stability and well-being. The supportive services staff assists the tenant to relate to his or her landlord and neighbors in an acceptable manner. Staff also assists the tenant with the schedule of payment of rent and other services: financial supports such as supplemental income, social security disability insurance, and general relief and money management services.

F. Direct Assistance with Structuring and Performing Basic Daily Living Activities

Assistance is provided at home or in other community-based settings as appropriate. Individualized support, problem solving, neighbor conflict, household training, and supervision are provided to assist tenants to gain or utilize the skills required to maintain their housing, carry out personal hygiene and grooming tasks; and carry out household activities such as housecleaning, recycling, household maintenance, cooking, grocery shopping and laundry; developing or improving money management skills; and use available transportation.

G. Development of Natural Supports including Recreational and Social Activities and Relationships

Supportive services provide skill training, including teaching activities and experiences to individual tenants in small groups to improve communication and facilitate appropriate interpersonal behavior. Shelter programs, existing self-help groups, natural support, and church groups may be used.

H. Support and Consultation to Tenants' Families and Other Members of the Tenants' Social Network

Supportive services staff will provide support and consultation to assist tenants to re-establish and maintain relationships with family members and friends according to the wishes and desires of the tenants.

I. Recreational Workshops

All tenants are welcome to participate in recreational workshops, such as: Visual Arts; Creative Writing; Movies & Discussion; Bingo, Chess, & Games; Music & Movement; and Spiritual Discussion. These workshops emphasize creative expression; the discovery of hidden talents; improving communication; reducing anxiety; gaining insight; and fostering socialization to help the process of re-integration into society.

IV. Tenants Advocacy

Tenants will be provided information and training on advocacy for general landlord-tenant relationships. Individual and group sessions will focus on the necessary interviewing skills to interact with local housing authorities, social service agencies, neighbors, and community. Tenant meetings will provide opportunities to foster relationships and advocacy efforts. Support staff will advocate on behalf of the individual with a disability if that person has been mistreated or discriminated against by other entities or individuals.

Support staff will also assist with navigating the tenants through the rental application and renewal process.

V. Maintenance

Tenants will be educated on the importance of maintaining a clean apartment and reporting repairs as needed. Habitable living conditions will be monitored and enforced.

VI. Transportation

All tenants will be educated about the local mass transit system. All tenants are eligible to access emergency fares for transportation needs from the shelter's client assistance program.

VII. Food

All tenants are eligible to access emergency food packages from the shelter's soup kitchen. Food packages will be delivered to tenants with special-needs.

Urban League of Essex County History

Founded in 1917 by William H. Ashby, The Urban League of Essex County (ULEC) was one of the first affiliates of the National Urban League (NUL). Ashby a graduate of Lincoln University and Yale Divinity School recognized the plight of African Americans and was frustrated by the limited scope of career options for them. In 1917, he was chosen by the National Urban League in New York to start a Newark affiliate, becoming New Jersey's first black social worker. A friend of W. E. B. DuBois and Booker T. Washington, Ashby was committed to doing everything he could to improve conditions for the rural Southern poor migrating into Newark and its surrounding areas.

Initially the agency concentrated on placing migrants in domestic service jobs, but eventually, they were engaged in placing educated Blacks in positions that provided real opportunity. During the Great Depression, the League focused on the essentials –food, clothes, jobs and decent housing. ULEC's efforts finally came to fruition thanks to Prudential and the Newark Housing Authority, and the Douglas-Harrison Apartments were born. As the Depression resolved into post-war boom, the agency focused on jobs and training, and many firsts were established in industry and government. As African-Americans began to attain meaningful positions, the League helped form neighborhood improvement groups to resolve racial tensions.

The civil rights efforts of the 1960s propelled the Urban League into conference rooms everywhere, as the League was uniquely positioned to work with business leaders based on its long history of employment opportunities. While other organizations took to the streets, the Urban League was swamped with requests from businesses needing to hire minorities and from minorities eager to take advantage of newly accessible opportunities. Forming the Business and Industrial Coordinating Council with business and industrial leaders, the League helped this pioneering organization close the gap between the skilled job and the unskilled African American potential employee. The League operated the most successful Skills Bank in the nation, placing 2,500 people in jobs.

Over the years, the League's leadership has changed but its mission of promoting social and economic advancement for Essex County's African-American citizens remained the same. Under the leadership of its current President, Vivian Cox Fraser, the league is still true to its founding mission of advancement for those who are least advantaged in our society, focused on education, economic development and community empowerment for African Americans, other minorities and the poor. As one of the oldest affiliates in the nation, the Essex County organization remains a leader in the Urban League movement.

Fairmount S. 10th Street Apartments, LLC
128-134 South 10th Street
101 S. 9th Street
Newark, NJ 07107

Low Income Apartments For Rent

Fairmount s. 10th Street Apartments announces the availability of 22 units for rent to qualified households. Twenty (20) Studio, One Bedroom and Two Bedroom apartments will be available at 128-134 S. 10th Street and two (2) three bedroom apartments will be available at 101 S. 9th Street, Newark, NJ 07107.

In order to qualify for a unit, applicants must meet income limits as determined by the New Jersey Council on Affordable Housing based on COAH Housing Region and household size. The units are located in COAH Region 2, which includes Essex, Morris, Union and Warren Counties. Income limits for COAH Region 2 in 2013 are as follows:

Number of persons in household	Maximum Annual Income Very Low Income Units	Maximum Annual Income Low Income Units
1	\$19,029	\$31,715
2	\$21,747	\$36,246
3	\$24,466	\$40,777
4	\$27,184	\$45,307
5	\$29,359	\$48,932
6	\$31,354	\$52,556
7	\$33,709	\$56,181
8	\$35,883	\$59,806

In addition, all applicants must be able to provide all necessary income and household documentation requirements as detailed by the Project Manager.

Interested Households must submit a preliminary application to Safeguard Realty Management, 73 Washington Street, Ste. 100, Bloomfield, NJ 07003.

Applications are available at Apostles' House, Urban League of Essex County and onsite during construction at 128-134 S. 10th Street and 101 S. 9th Street, Newark, NJ 07107. Applications can also be requested by phone by dialing 973-250-5468.

If your preliminary application is approved, you will be notified in writing and placed on the waiting list. All income eligible households may apply.

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Program Details

Fairmount S. 10th Street Apartments has 22 units available for rent to low income qualified households. Additional information regarding the units is provided herein.

Household Qualifications

All households must meet the following criteria:

1. Be a US Citizen or permanent resident alien
2. Be at least 18 years old.
3. The renter must use the affordable unit as his or her primary residence.
4. Preference will be given to individuals with special needs and who are homeless or formerly homeless in transitional housing.
5. Renters must complete independent housing seminars hosted by Apostles' House.
6. Meet income and documentation requirements and agree to annual certifications.

2013 Income Guidelines for COAH Region 2 (Essex, Morris, Union, Warren County) Adopted by the New Jersey Council on Affordable Housing

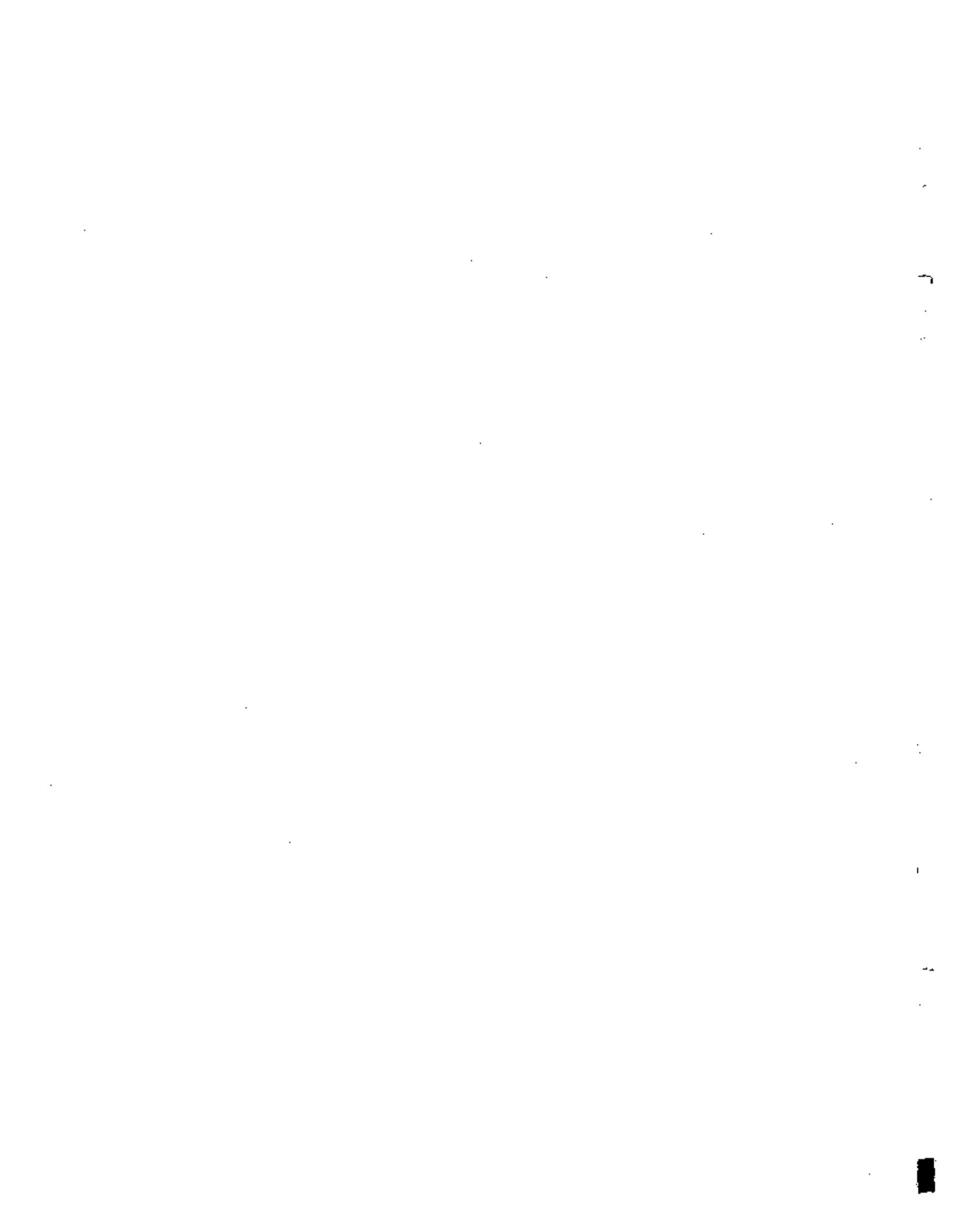
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8	\$35,883	\$59,806

Selection Process:

1. Available units will be affirmatively marketed to solicit qualified tenants and establish an applicant pool.
2. Qualified households must submit a preliminary application and provide basic information on household income, household size and composition, and housing needs.
3. Preliminary applications are reviewed on an on-going basis until the application window closes. Preliminary qualified applications will be notified in writing of their eligibility or ineligibility to be placed on the waiting list as openings become available.

4. When a unit becomes available, application will complete the certification process. This includes providing documentation to certify income and eligibility as well as completion of independent skills seminars as required.
5. As a result of the certification process, applicants are reviewed for eligibility. Ineligible households are informed that they are being removed from the applicant pool or given the opportunity to correct and/or update income and household information.

This information is subject to change and Fairmount S. 10th Street Apartments LLC cannot be held responsible for any outdated or incorrect information.



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5. As a result of the certification process, applicants are reviewed for eligibility. Ineligible households are informed that they are being removed from the applicant pool or given the opportunity to correct and/or update income and household information.

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SECTION M

ZACHARY D. LEWIS

PRINCIPAL/MANAGING PARTNER

Mr. Lewis is a Principal and also serves as Managing Partner for Lewis Consulting Group, with more than 22 years of professional experience with Federal and New Jersey construction and environmental regulations, and Risk Assessment. He has demonstrated success in compliance, negotiation, coordination, leadership and business acquisition.

He is responsible for state and federal compliance of environmental laws and regulations, conducts phase I & II environmental assessments, Brownfields redevelopment, site remediation, due diligence and business development. Mr. Lewis provides both internal and external consulting services, specifically addressing current and pending legislative actions and regulations governing the environmental industry. He has provided expert testimony, report preparation and litigation support services for oil companies and land owners.

PROFESSIONAL EXPERIENCE

2010-Present

Lewis Consulting Group

Principal/Managing Partner

Mr. Lewis is a Principal and Managing Partner for Lewis Consulting Group

2005-2010

Brilliant Lewis Environmental Services, LLC

President

Mr. Lewis served as President of Brilliant Lewis environmental Services (BLES). He was responsible for day-to-day operations, marketing, business development, and administration of Brownfield/Industrial projects. He also managed projects associated with UST closures and modifications, groundwater sampling, well installation, soil sampling, remedial system design, regulatory permitting, and report preparation. He provided oversight of interactions between clients and regulatory agencies. During his tenure, BLES grew from \$50,000 in revenues to \$5 million over a 5 year period.

**REGISTRATION
CERTIFICATIONS**

NJDEP - Environmental Services
Task Completion Certificate

Occupational Safety and Health
Administration (OSHA)

PHI - In-house Consultant

PHI - In-house Consultant
Consultant

PHI - In-house Consultant
Inspector

PHI - In-house Consultant
Inspector

**PROFESSIONAL
AFFILIATIONS**

Chairman of Board

Ocean County Community
Action Now (OCCAN) - NJ

Trustee

Community Services of
Municipalities, Inc.

NJ Urban Counties Community
Development Association

Board Member

Black Americans Lobbying for
Leadership of Tomorrow

(PHI - NJ)

Trustee

Newark Housing Authority
Scholarship Foundation

2003-2005

Environmental Evaluation Group

Division of Taylor Wiseman & Taylor

Principal/Vice President of Redevelopment & Government Services

Responsibilities included Brownfields redevelopment, site remediation, Phase I & II Environmental assessments, Due Diligence, environmental compliance and permitting, assistance with financial considerations and cost recovery, as well as business development. He directed preparation of funding opportunities for municipal and non-profit clients, represented public clients at State, Federal and County meetings, provided tracking and analysis of proposed and adopted legislative and regulatory policies, and researched, tracked and provided municipalities with potential funding opportunities.

Mr. Lewis was responsible for compliance with State and Federal Environmental Laws and Regulations. His responsibilities included conducting Phase I and Phase II assessments and remedial activities. He also served as in-house consultant for interpretation and coordination of responses to proposed environmental laws and regulations, interfacing with regulatory agencies on a continual basis, and has presented regulatory updates at company sponsored environmental seminars. He was also responsible for acquisition and administration of numerous air, groundwater, local and other permits, and met with clients to assure environmental compliance with permits and environmental directives.

1998-2003

Birdsall Engineering, Inc., Belmar, NJ

Director, Grant & Funding Division / Manager of Regulatory Affairs

Directed preparation of funding opportunities for municipal and non-profit clients; representing public clients at State, federal and county meetings. Provided tracking and analysis of proposed and adopted legislative and regulatory policies. Researched, tracked and provided municipalities with potential funding opportunities.

Responsibilities also included Brownfields redevelopment, site remediation, Phase I & II Environmental Site Audits and environmental permitting.

1994-1998

Land Tech Remedial, Inc. (Handex)-Eatontown, NJ

Manager, Regulatory Affairs & Risk Assessment

Responsible for compliance with State and federal environmental law and regulations, managed the Risk Assessment Department within the New Jersey office. Responsibilities included conducting Phase I and Phase II assessments and remedial activities.

Served as in-house consultant to interpret and coordinate responses to proposed environmental laws and regulations. Interfaced with regulatory agencies on a continual basis, having responsibility for acquisition and administration of numerous air, groundwater, local and other permits. Presented regulatory updates at company sponsored environmental seminars; managing health and safety programs.



1990-1994

Groundwater & Environmental Services, Inc. -Wall, NJ

Permit Department Manager /Senior Environmental Scientist

The case manager responsible for overall management of numerous facilities involving environmental subsurface releases, supervising a staff of six members in the Permits Department.

1984-1990

Garden State Soil Enrichment Station- Lakehurst, NJ

Regulatory Liaison

1983-1984

NJ Dept. of Environmental Services -Trenton, NJ

Forest Mensurator

REPRESENTATIVE CLIENTS

- ◆ **HANDS Inc.**
Derrick Griggs-Real Estate Director
15 South Essex Ave
Orange, NJ 07050
(973) 678-3110 ext. 36
- ◆ **City of Asbury Park, NJ**
Terence Riedy-City Manager
1 Municipal Plaza
Asbury Park, NJ 07712
732-502-5755
- ◆ **Township of Neptune, NJ**
Michael Bascom-CFO
25 Neptune Blvd.
Neptune, NJ 07753
732-988-5200 ext. 242
- ◆ **Brick City**
Joel Sonkin-Director, Environmental and Energy Services
920 Broad Street, Suite 218
Newark, NJ 07102
(973) 733-4391

JEANNE M. VALENTE

ENVIRONMENTAL/PROJECT SCIENTIST

Ms. Valente's experience includes: due diligence, site investigations, and remedial actions for: Brownfields, gas stations, landfills, dry cleaners, and various land development projects. Ms. Valente has worked with public, private and non-profit clients on projects requiring technical knowledge in conducting environmental investigations, remediation, and regulatory site closure activities in accordance with the New Jersey Department of Environmental Protection (NJDEP) Technical Requirements for Site Remediation. Environmental projects include investigation and remediation of soil and groundwater contaminated with gasoline, fuel oil, heavy metals, chlorinated solvents, petroleum hydrocarbon releases for benzene, toluene, ethyl benzene, and total xylenes (BTEX), and manufactured gas process (MGP).

In addition, Ms. Valente's experience includes the implementation of environmental feasibility studies including the preparation of Environmental Impact Statements (E0-215s) in accordance with the National Environmental Policy Act (NEPA), Environmental Screening Reports (ESRs), and Property Acquisition Environmental Cost Estimate Reports (PAFCERs) for the New Jersey Schools Development Authority (NJSDA).

REPRESENTATIVE PROJECTS

- ◆ *US Veterans Affairs—Memphis VA Medical Center, Memphis, Tennessee*
Environmental/Project Scientist - Responsibilities included a comprehensive site investigation in accordance with 24 CFR Part 58 et seq. and preparation of NEPA Environmental Assessment report to determine the significance of environmental effects and to assess alternative means pursuant to redevelopment.
- ◆ *US Coast Guard Housing- Ocean View, New Jersey*
Environmental/Project Scientist - Responsibilities included a site investigation, which incorporated a site walk-through, file reviews, remedial action work plan (RAW), and preparation of a Phase I PSA.
- ◆ *US Coast Guard Housing- Beach Haven, New Jersey*
Environmental/Project Scientist - Responsibilities included a site investigation, which incorporated a site walk-through, file reviews, remedial action work plan (RAW), and preparation of a Phase I ESA.
- ◆ *Orange Housing Authority- Orange, New Jersey*
Environmental/Project Scientist - Responsibilities included a site investigation, which incorporated a site walk-through, file reviews, and preparation of a Phase I ESA as well as a NEPA Environmental Assessment in accordance with 24 CFR Part 58 et seq.

- ◆ *Newark Housing Authority—Bergen Street Village and Seth Boyden Terrace, Newark, New Jersey*
Environmental/Project Scientist - Responsibilities included a comprehensive site investigation in accordance with 24 CFR Part 58 et seq.; Conducted site walk-through, noise assessments, and preparation of NEPA Environmental Assessment report to determine the significance of environmental effects and to assess alternative means pursuant to redevelopment.
- ◆ *Monmouth County Parks System—Monmouth County, New Jersey*
Environmental/Project Scientist - Responsibilities included a comprehensive site investigation, NJDEP database file reviews, preparation of NJDEP forms, and preparation of Preliminary Assessment report.
- ◆ *Riggins, Inc.—New Jersey*
Environmental/Project Scientist - Over multiple sites located in New Jersey, responsibilities included NJDEP file reviews, groundwater/soil sampling and analysis, preparation of a remedial action work plans (RAW), preparation of UST closure Remedial Action Reports (RAR), preparation of LSRP forms including an initial Receptor Evaluation, TNAPL, and LSRP Retention. Ms. Valente also assisted in response to the outcomes of LSRP investigations.
- ◆ *DeWitt Avenue, Asbury Park, New Jersey*
Environmental/Project Scientist - Responsibilities included a site investigation, which incorporated a site walk-through, NJDEP file reviews, remedial action work plan (RAW), and preparation of a Phase I ESA.
- ◆ *Mattison Avenue, Asbury Park, New Jersey*
Environmental/Project Scientist - Responsibilities included a site investigation, which incorporated a site walk-through, file reviews, remedial action work plan (RAW), and preparation of a Phase I ESA.
- ◆ *Prevention First—Ocean Township, New Jersey*
Environmental/Project Scientist - Responsibilities included NJDEP file reviews, groundwater sampling and analysis, preparation of a remedial action work plan (RAW), preparation of LSRP forms including an initial Receptor Evaluation and LSRP Retention. Ms. Valente also assisted in response to the outcomes of LSRP investigations.
- ◆ *Newark Housing Authority—Irvine Turner Homes, Newark, New Jersey*
Environmental/Project Scientist - Responsibilities included NJDEP file views, preparation of a remedial action work plan (RAW), preparation of LSRP forms including Receptor Evaluation, LSRP Retention, Baseline Ecological Evaluation (BEE), and Well Searches. Ms. Valente also assisted in the response to the outcomes of LSRP investigations.
- ◆ *City of East Orange—Midland Avenue Yard, East Orange, New Jersey*
Environmental/Project Scientist - Responsibilities included NJDEP file views, preparation of a remedial action work plan (RAW), obtaining soil permit for deed notice, monitoring report, and preparation of LSRP forms including Receptor Evaluation, Review and Retention, Baseline Ecological Evaluation (BEE), and Well Searches. Ms. Valente also assisted in the response to the outcomes of LSRP investigations.

- ◆ *Newark Housing Authority-Hyatt Court, Newark, New Jersey*
Environmental/Project Scientist – Responsibilities included removal and closure activities for underground storage tanks located throughout the subject site. Ms. Valente assisted in conducted post-excavation soil sampling, providing onsite oversight, and preparation of Remedial Action Report (RAR) for the NJDEP Unregulated Heating Oil Tank Program.
- ◆ *Long Branch Housing Authority-Woodrow Wilson Homes, Long Branch, New Jersey*
Environmental/Project Scientist – Responsibilities included site investigation, NJDEP file views, preparation of a combined Phase I Environmental Site Investigation/Preliminary Assessment report, preparation of a remedial action work plan (RAW) and NJDEP forms, and performing underground storage tank closure activities.
- ◆ *City of East Orange-Department of Public Works, East Orange, New Jersey*
Environmental/Project Scientist – NJDEP file views, preparation, preparation of LSRP forms including Receptor Evaluation, LSRP Retention, Baseline Ecological Evaluation (BEE), and Well Searches. Ms. Valente also assisted in the response to the outcomes of LSRP investigations.
- ◆ *City of Newark- Newark, New Jersey*
Environmental/Project Scientist – Responsibilities included site investigation, NJDEP file reviews, preparation of a remedial action work plan (RAW), preparation of LSRP forms including an initial Receptor Evaluation and LSRP Retention. Ms. Valente also assisted in response to the outcomes of LSRP investigations.
- ◆ *Genesis Companies- Franklin Township, New Jersey*
Environmental/Project Scientist – Responsibilities included site investigation, site walk-through, assistance with asbestos inspection and collection of samples, preparation of initial and final asbestos inspection report for demolition activities.
- ◆ *Applegarth Elementary School—Monroe Township, New Jersey*
Environmental/Project Scientist – Responsibilities included NJDEP file reviews, soil sampling and analysis, and preparation of a remedial action work plan and final report. Ms. Valente also assisted in response to the outcomes of soil investigations.