



**50 RAILROAD AVENUE
WARETOWN, NJ 08758**

**PHONE: (609) 693-3302
FAX: (609) 693-9026**

October 17, 2019

**Ms. Donna Rendeiro, Executive Director
Office of Planning Advocacy
Department of State
PO Box 820
Trenton, NJ 08625-0820**

**Re: Township of Ocean, Ocean County
Request for Pre-Petition Meeting for Waretown Town Center Extension**

Dear Ms. Rendeiro:

This letter serves as the formal request of the Township of Ocean for a pre-petition meeting to initiate the plan endorsement process.

As you are aware, the New Jersey State Planning Commission approved the Township of Ocean's petition for plan endorsement, which included designation of the Waretown Town Center and associated changes to the State Plan Policy Map, on December 7, 2005. This approval and, therewith, the designation of Waretown Town Center is set to expire on June 30, 2020.

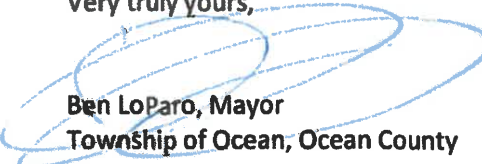
The Township of Ocean desires to obtain an extension of the Waretown Town Center designation. Accordingly, it is making this request for a pre-petition meeting in order to initiate the plan endorsement process with the goal of receiving said extension.

It is my understanding that the Office of Planning Advocacy may be able to schedule a pre-petition meeting on November 26, 2019. I would be grateful if this request for a pre-petition meeting could be accommodated on said date.

To facilitate the Office of Planning Advocacy's preparation for a pre-petition meeting, please find the enclosed package of planning documents that have been adopted since the December 8, 2008 Waretown Town Center Plan Endorsement Monitoring Report (n.b., please note that the Township of Ocean is currently in the process of preparing a master plan reexamination report and will provide a copy of same once it has been adopted).

Thank you in advance for your attention to this matter.

Very truly yours,


**Ben LoParo, Mayor
Township of Ocean, Ocean County**



YOUR GOALS. OUR MISSION.

**LIST OF PLANNING DOCUMENTS ADOPTED SINCE THE DECEMBER 8, 2008
WARETOWN TOWN CENTER PLAN ENDORSEMENT MONITORING REPORT**

- A. 2012 Revised Waretown Town Center Redevelopment Plan (Supplemental Plan for Block 131, Lot 4/Tradewinds at Waretown)
- B. 2013 Waretown Town Center Economic Redevelopment Plan (TC Town Center District Redevelopment Plan)
- C. 2013-2018 Community Forestry Management Plan
- D. 2014-2019 Community Wildfire Management Plan
- E. 2014 Strategic Recovery Planning Report
- F. 2015 Floodplain Management Plan
- G. 2015 Master Plan Reexamination Report and Master Plan Amendments
- H. 2015 Master Plan Reexamination Report and Master Plan Amendments — Executive Summary
- I. 2017 Amended Redevelopment Plan for Ocean Commons Sub-Area (Block 41, Lot 42.01)
- J. 2017 Master Plan Amendment — Housing Element and Fair Share Plan
- K. 2017 Affordable Housing Trust Fund Spending Plan
- L. 2018 Redevelopment Plan — Waretown Town Center – Multifamily (Block 194, Lots 16, 17.01 and 17.02)
- M. 2019 Redevelopment Plan — Contractor’s Office/Warehouse (Block 241.11, Lots 12.03 and 12.09)



A. — 2012 Revised Waretown Town Center Redevelopment Plan (Supplemental Plan for Block 131, Lot 4/Tradewinds at Waretown)

TOWNSHIP OF OCEAN

50 RAILROAD AVENUE
WARETOWN, NJ 08758
609-693-3302



Waretown Town Center

Redevelopment Plan Supplemental Plan for Block 131, Lot 4 “Tradewinds at Waretown”

March 3, 2009
Revised December 21, 2010
2nd Revision January 9, 2012

Prepared for:
Township of Ocean Redevelopment Committee

March 3, 2009 Draft Prepared by:




David G. Roberts, AICP/PP, CLA
N.J. Professional Planner License No. LI-03081

Revisions Prepared by:


ASSOCIATES



Stan Slachetka, P.P., AICP, LEED-GA
N.J. Professional Planner License No. LI-03508

Acknowledgements

Township of Ocean Redevelopment Committee

- Dennis Tredy, Mayor
- Tina Wetter, Deputy Mayor
- Joseph Lachawiec, Committeeman

Township of Ocean Administration

- David Breeden, Township Administrator
- Diane Ambrosio, Township Clerk, Secretary to Redevelopment Committee

Technical Staff

- James Oris, PE - Consulting Engineer
T&M Associates
- David G. Roberts, AICP/PP, ASLA/RLA, LEED-AP - Township Planner (2009)
CMX Inc.
- Scott D. Taylor, ASLA/RLA, AICP/PP, LEED-AP - Township Landscape Architect
Taylor Design Group
- Stan Slachetka, P.P., AICP, LEED-GA – Township Planner
T&M Associates

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Section 1. Introduction

This Redevelopment Plan is an amendment to the Route 9—Phase 1 Redevelopment Plan intended to implement the Township’s plan for the Waretown Town Center and applies specifically to Block 131, Lot 4 and is commonly referred to as “Tradewinds at Waretown.” The design standards of this Plan provide the framework for the finalization of a redevelopment agreement with the Redevelopment Entity (Ocean Township Committee) and for development approval by the Ocean Township Planning Board.

Waretown Town Center Redevelopment Plan

The December 13, 2007 Amendments to the Economic Redevelopment Plan of 2000 were a result of a multi-year effort by the Township to achieve Plan Endorsement by the State Planning Commission. Block 131, Lot 4 is located in the portion of the Town Center identified as “Phase I – Route 9 Mixed-Use Redevelopment District (MXD)” as shown in Figure 2 and identified in the 2007 Economic Redevelopment Plan Amendments as noted below:

The Redevelopment Area is located in the eastern portion of the Township north of Wells Mill Road, east of the Garden State Parkway and west of Route 9 (See Appendix B.) The Redevelopment Area consists of several sub areas. They include:

- The Town Center Redevelopment District;
- Phase I – Route 9 Redevelopment Area, which is regulated by the MXD Redevelopment District;
- The Waretown Village Residential Gateway Redevelopment District; and
- Environmental Conservation (EC) Zone District.

Town Center District

Principal Permitted Uses:

1. Retail stores and service establishments
2. Professional offices
3. General business offices
4. Drugstores
5. Restaurants and cafes
6. Coffee shops
7. Mixed use buildings containing a combination of permitted uses
8. Community and municipal buildings
9. Residential Apartments (on upper floors of mixed use buildings)
10. Open space land permanently protected through conservation easements
11. Schools
12. Public recreation facilities
13. Single-family residential
14. Townhouses
15. Live-work residential units
16. Senior multi-family housing development

Accessory Uses:

1. Uses accessory and incidental to the principal use.

These uses shall be distributed within the redevelopment plan area as illustrated within the Town Center Concept Plan map.

Uses Specifically Prohibited

While centers encourage a mixture of land uses, not every type of use is appropriate in a center. Specifically prohibited uses include:

- Auto dependent design/drive-thru businesses
- Warehouses
- “Big Box” type businesses, i.e. Wal-Mart, Home Depot, which require large parking lots
- Gasoline oriented businesses
- Industrial uses
- Mining or extracting uses

Town Center District – Route 9 and Wells Mill Road Crossroads

This Plan acknowledges that a portion of the Town Center Redevelopment district is located adjacent to the Route 9/Wells Mill Road intersection within the traditional crossroads section of Waretown. Until formal use and design standards are developed, this Plan recognizes that the underlying zoning shall regulate these properties. However, all development application shall be subject to the Redevelopment Entity review and approval prior to submission to the Planning Board for site plan or subdivision approval.

Figure 1 Town Center Key Map

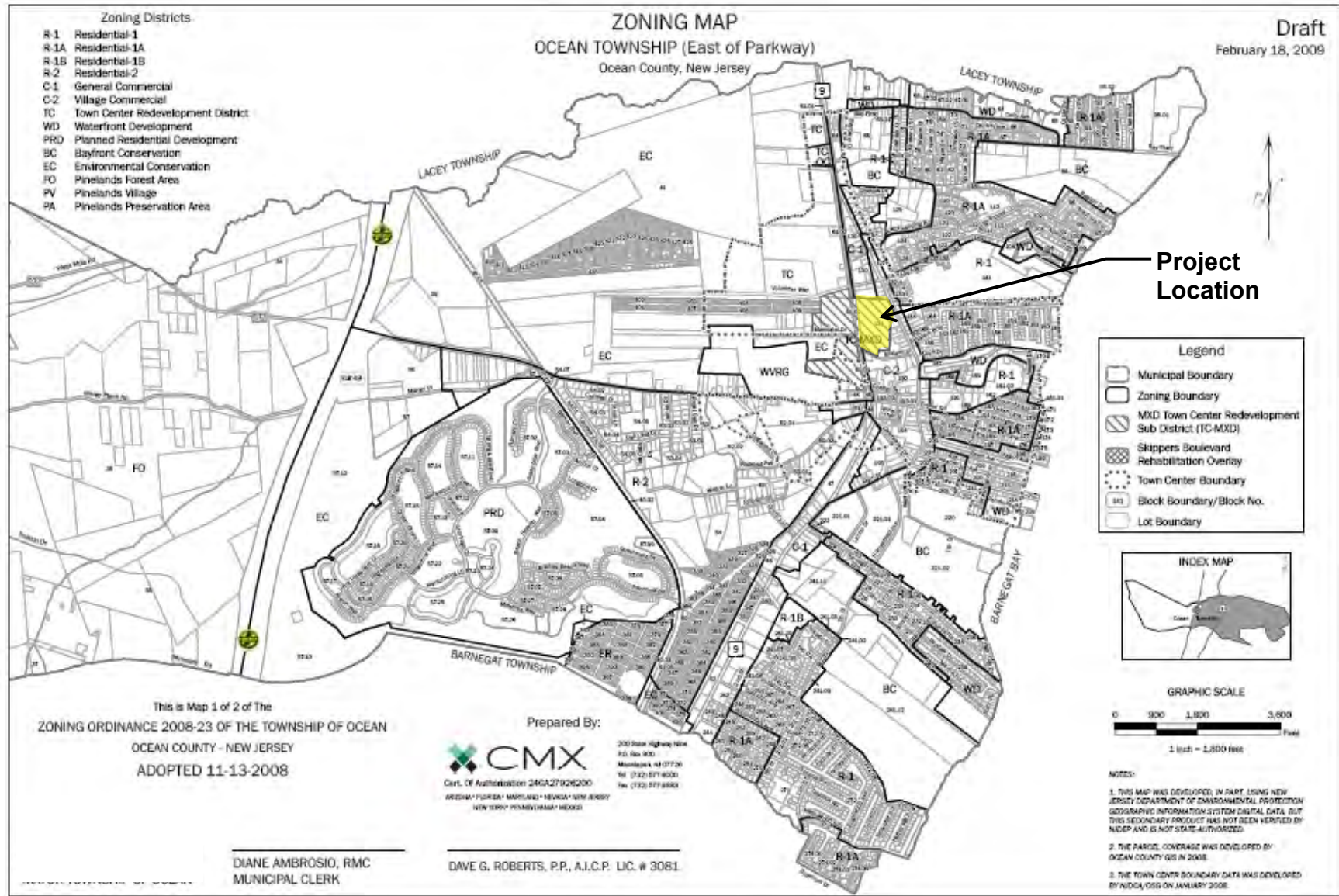
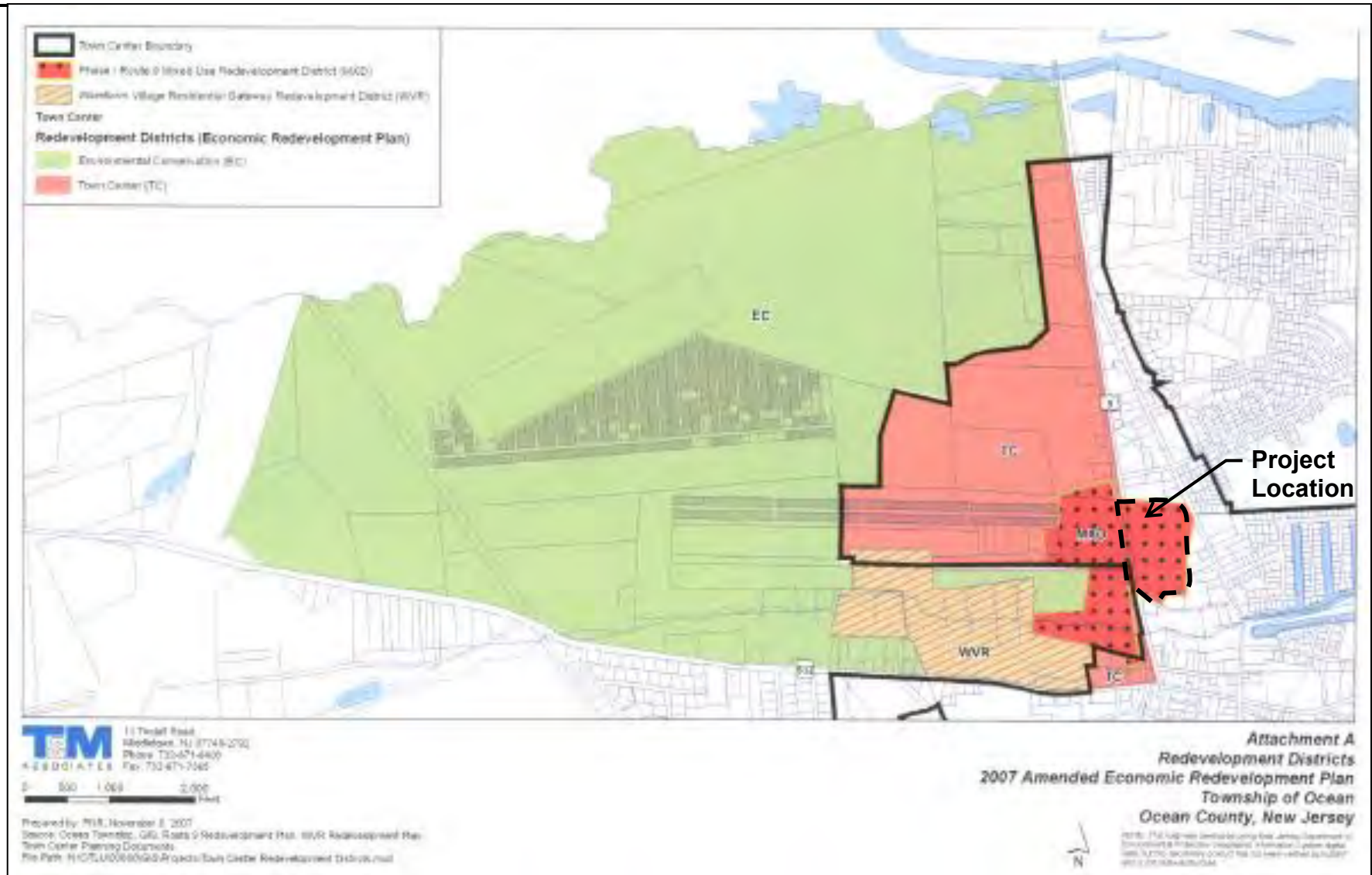


Figure 2 TC Redevelopment Districts



1.1 Relationship to Local Objectives

The goal of the Waretown Town Center Redevelopment Plan and the Route 9—Phase 1 Redevelopment Plan is to promote the development of a compact, pedestrian-oriented Town Center with the potential for 24-hour activity, consisting of retail and employment facilities, vibrant and dynamic mixed-use areas, open space and recreation facilities, and residential living environments that provide a broad range of housing types for an array of housing needs.

The redevelopment of the Town Center is guided by the following objectives:

1. Promote a diverse mix of residential, business, commercial, office, institutional, educational, recreational and cultural and entertainment activities for workers, visitors, and residents;
2. Encourage pedestrian-oriented development at densities and intensities that will help promote transit usage, interconnected uses and businesses;
3. Promote the health and well-being of residents by encouraging physical activity, alternative transportation options and greater social interaction;
4. Create a center that represents a unique, attractive and memorable

- destination for visitors and residents;
5. Encourage lively, human-scaled activity areas and gathering places through the promotion of high-quality urban design;
6. Ensure that all buildings are consistent with and enhanced by high-quality streetscape amenities; and
7. Accommodate off-street parking in a convenient manner that does not interfere with the rhythm of the street network and building façades.

1.2 Description of Redevelopment Plan Area

This Redevelopment Plan applies to Block 131, Lot 4, (Redevelopment Plan Area) which is a 17.5 acre parcel located along Route 9 at the intersection with Birdsall Street. The site is located within the Phase I Route 9 Redevelopment District. It is wooded and vacant with wetlands covering approximately one fifth of the tract (see image below).



Section 2. General Guidelines

2.1 Definitions

All terms used herein shall have the same meaning as defined in the Ocean Township Land Use Ordinance unless otherwise specified in this redevelopment plan.

2.2 Waivers

Variation from the requirements set forth in this redevelopment plan may be necessary in certain unusual circumstances or to meet state or federal permit requirements. In such an instance, the Planning Board may waive certain bulk, parking or design requirements if the designated redeveloper demonstrates that such waiver will not substantially impair the intent of the redevelopment plan, and will not present a substantial detriment to the public health, safety and welfare.

2.3 Tradewinds at Waretown Concept Plan

The Redevelopment Plan Area is envisioned as a mixture of residential and commercial uses and green space that will provide high quality housing opportunities and retail and service markets for both local and regional patrons while protecting sensitive natural resources. The Tradewinds at Waretown Redevelopment Plan is designed to enable a

mixture of complementary uses, attractive public spaces, strategically placed parking, and a safe and efficient circulation system, patterned after a traditional town environment.

The Redevelopment Plan includes 144 dwelling units, a recreation clubhouse of 1,308 square feet and 26,600 square feet of mixed commercial uses. Of the 144 dwelling units, 115 units are to be for-sale condominium units and 29 units are to be affordable rental units. Eight buildings are proposed and range in height from 1 story to 3 ½ stories. Parking, storm water management and landscape improvements are also shown. 120 of the 144 dwelling units are located in four 30-unit residential buildings of 3.5 stories. The remaining 24 units are designated as affordable and are located on the second level of the two two-story mixed-use buildings flanking the site entrance road. In addition, one of the four residential buildings contains five affordable dwelling units, bringing the total number of affordable units to 29.

Of the 115 market rate dwelling units, 15 are one-bedroom and 100 are two-bedroom units. The 29 COAH affordable units are broken down into six three-bedroom, 14 two-bedroom and four (4) one-bedroom units in the two mixed-use buildings and four two-bedroom units and a one-bedroom affordable unit in one of the four residential buildings.

Off-street parking should be provided based on the NJ Residential Site Improvement Standards requirements for the residential component. Parking for the 26,600 square feet of retail space shall be based on 4 spaces per 1,000 square feet

(see Section 2.5.2 of this Plan), or as approved by the Redevelopment Committee and/or Planning Board.

The project design must use high quality architectural detailing and materials on all building facades and within the streetscape design and buildings must be oriented to provide an inviting presentation to Route 9 frontage. The project design must also employ a variety of neo-traditional design forms with strategic pedestrian connections, plazas and green space areas which de-emphasize the parking while highlighting common spaces.

The elevations of the various building types must be well proportioned and include a variety of forms and materials. Generally, side facades of greater than two stories in height should be separated from other side facades by a distance of 64 feet or greater, while front building facades of greater than two stories in height should be separated from other front building facades by a distance of 80 feet or greater. However, every building in the project shall be within 100 feet of at least one other building in the project to maintain continuity of pedestrian circulation.

All buildings shall employ a “four-sided architecture” (attractive fenestration along every building façade) and project submissions to the Redevelopment Committee and Planning Board must include renderings regarding the proposed architectural forms and samples of materials and colors for all building facades.

A combination of masonry and stone materials must be used on portions of the building facades of both the residential buildings and mixed-use buildings, with clapboard siding and cupolas to address the maritime theme chosen by the Redevelopment Committee for the Town Center in the Waretown Center Redevelopment Plan.

2.4 Design Standards

The following design standards will be applied to this Redevelopment Plan Area. Any elements not covered by these standards will be subject to other appropriate provisions of this redevelopment plan and/or the Ocean Township Land Use and Zoning Ordinance. All redevelopment activities are also subject to applicable State and Federal requirements.

The standards presented here are meant to provide some degree of flexibility to account for market and regulatory fluctuations, while ensuring that the goals and objectives of the redevelopment plan are achieved.

2.4.1 Maximum Impervious Coverage

Total overall development of the designated redevelopment area shall not exceed a maximum impervious coverage of 60%. A redevelopment project may include up to 70% impervious coverage with the purchase of TDR credits, if a TDR Program is in operation at the time of application for Site Plan Approval, or, if TDR credits are unavailable, the purchase of privately owned vacant land listed on the Township's Open Space Acquisition Priority Property List in an amount sufficient to bring the total pervious land area between the two properties to 40%.

2.4.2 Open Space

To ensure that the plan promotes and encourages a suitable environment devoted to civic spaces, parks, recreation and open space and preserves and protects areas of special or unusual ecological, environmental or geographical interest, not less than 20% of the entire Redevelopment Area shall be set aside as preserved or restored open space. All open space areas shall be suitable for active or passive use or contribute to viable wildlife habitats. To that end, landscaped areas such as parking islands, roadway medians, and planting strips shall not be counted towards the open space requirement.

2.4.3 Building and Site Design

A. Building Form & Orientation

This section illustrates the form and orientation of "typical" building types that are envisioned for the Town Center.

Multi-Family

Multi-family development will follow a building form that reflect the maritime theme of the Waretown Town Center, but keeps the building close to the public sidewalk with breaks in the front facades and a rich architectural style. Building Height will be limited to three and one half stories.

The Maximum Residential Density for multi-family development is 8.5 dwelling units per gross acre.

Recreation facilities shall be provided for Multi-family development based upon the requirements of Ordinance 2005-39, or as approved by the Planning Board.

Mixed-Use Multi-Family

Buildings with street-level retail and residential apartments on the upper floors shall follow the maritime theme of the Waretown Town Center, but may use a variety of design techniques to differentiate the retail and residential elements of the building, including the use of sash and frieze elements between the street level and upper levels. Buildings with multifamily above retail should be oriented towards public open spaces whenever possible. Density parameters shall follow those of buildings that are solely multi-family.



B. General Design Requirements

1. Architectural Design

All rooftop mechanical equipment and other appurtenances shall be concealed by or integrated within the roof form and screened from the view of all adjoining properties and building floors or nearby streets. The following, when above the roofline, requires screening: stair wells, elevator shafts, air conditioning units, large vents, heat pumps, and mechanical equipment

All wall-mounted mechanical, electrical, communication, and service equipment, including satellite dishes and vent pipes, shall be screened from public view by parapets, walls, fences, landscaping, or other approved measures.

Solid security gates or solid roll-down metal windows shall not be permitted. Link or grill-type security devices shall be permitted only if installed from the inside, within the window or door frame. Security grills shall be recessed or concealed during normal business hours.

Exterior materials for residential buildings may be clapboard or cedar shake siding with brick or stone accents, or entirely brick or a combination of brick and stone. Mixed-use or non-residential buildings must contain significant brick and/or stone exterior finishes. All exterior building materials and colors shall be subject to the review and approval of the Redevelopment Committee.

2. Streetscape Design

All streetscape elements shall comply with Ocean Township Ordinance 2007-31. This Ordinance provides specifications for Litter Receptacles, Recycling Receptacles, Bollard Bike Racks, Bike Racks, Light Pole & Fixtures and Benches as follows:

- Benches: All benches shall be Model 119-60, six foot long metal bench from DuMor Site Furnishings - Black



- Receptacles: All receptacles shall be DuMor Site Furnishings Model 102-32SH, Thirty-two gallon all-steel receptacle with steel shield and tapered flat cover lid - Black



- Recycling Receptacle: DuMor Site Furnishings Model 102-32SH – Thirty-two gallon all-steel receptacle with steel shield and RC-Recycled Lid “Cans & Bottles Only” – Black



- Bike Rack: Urban Accessories –Model D – Black. Length 6 feet or as approved by Redevelopment Committee.



- Bollard Bike Rack – Maglin Site Furniture Incorporated Mode MBR200 – direct burial bollard - Black

See Section 2.5.1 of this Plan for requirements for placement and quantity of bicycle racks and bicycle storage facilities.

- Site Lighting: Pole & Fixture – King Luminaire K-199 on a Cleveland Style pole to 13 foot mounting height.



- Bus Shelters & Kiosks

Appropriate design features will be incorporated to accommodate potential bus or shuttle service. Features may include such elements as shelters and pull-off lanes located within reasonable proximity to the clubhouse. While a specific model is not specified here and will be subject to final approval of the Redevelopment Committee, such site amenities shall complement each other and generally follow the style depicted

below. The bus shelter is by Duo-gard™, and the kiosk is by Maglin (MLK-103 with accessory roof).



Duo-gard™ Bus Shelter



Maglin Kiosk (MLK-103)

- Paved Surfaces

Public rights-of-way will be designed to meet all local, state and federal standards. All pedestrian crossings will utilize kiln-fired red brick in a 45 degree Herringbone design with a Running Bond edging.



Typical Brick Paving Patterns

The paving patterns shown at left shall be applied to the pedestrian walkways within the redevelopment project, with final design and material selection subject to the approval of the Redevelopment Committee. In general, running bond patterns should be used for pedestrian-only walkways, 90 degree herringbone pattern for areas which require limited vehicular traffic and Basket Weave for plazas and other larger spaces such as the image below.



- Street & Shade Trees

All street frontages should be planted with street trees at an average spacing of 30 to 40 feet consistent with Ordinance 2006-21 and the project's overall landscaping and open space plan and Figure 4 of this Plan. Light foliated trees are encouraged in front of commercial uses to increase visibility of signage.

2.4.4 Site Landscaping

Any portion of the redevelopment area that is not absolutely required for buildings or parking will be devoted to public plazas and green space. These areas will be designed to provide:

- Amenities for the residents, employees, shoppers and visitors to the site.
- A lively human-scale street environment.
- Protection for environmentally sensitive resources.
- Mitigation of "heat island" effects.
- Minimize use of potable water for irrigation
- A workable pedestrian and bicycle circulation system.

The redeveloper will prepare a landscaping and open space plan for review by the Redevelopment Committee. The plan will be prepared by a landscape architect licensed in New Jersey and specifically address and demonstrate how each of the above objectives is achieved. Section 18.48 of the Ocean Township Zoning Ordinance shall be complied with, except that the Redevelopment Committee shall have jurisdiction over the buffers as provided in Section 18.48.010(B). No

application for Site Plan Approval shall be submitted to the Planning Board until the Landscape Plan has been reviewed and approved by the Redevelopment Committee.

2.4.5 Exterior and Street Lighting

General

All exterior lighting shall be designed to prevent glare onto adjacent properties. Pedestrian pathways need to be clearly marked and well lit. Lighting should be sufficient for security and identification without allowing light to trespass onto adjacent sites. Use of minimum wattage metal halide or color-corrected sodium light sources is encouraged. Non-color corrected low-pressure sodium are prohibited. When available, LED (Light-Emitting Diode) fixtures may be required to be used.

Light fixtures attached to the exterior of a building shall be architecturally compatible with the style, materials, colors, and details of the building and shall comply with the Township building codes. The type of light source used on the exterior of buildings, signs, parking areas, pedestrian walkways, and other areas of a site, and the light quality produced, shall be the same or compatible. Facades shall be lit from the exterior, and, as a general rule, lights should be concealed through shielding or recessed behind architectural features. The use of low-pressure sodium, fluorescent, or mercury vapor lighting, either attached to buildings or to light the exterior of buildings, shall be prohibited. Mounting brackets and associated hardware should be inconspicuous.

Spacing and Heights

Decorative lampposts, as specified herein, not greater than 13 feet in height, shall be provided at regular intervals along all commercial or mixed-use streets, parking areas, sidewalks, walkways, courtyards, community greens, and interior open spaces in the Redevelopment Plan Area. Lighting standards shall be consistent throughout the redevelopment area. In parking lots, post heights may be extended to a maximum of 16 feet.

2.4.7 Signage

The redeveloper will prepare a comprehensive sign plan as part of the site plan process that will identify, locate and illustrate each proposed sign within the project. The sign plan should conform to Chapter 15.52 of the Township Code and demonstrate to the satisfaction of the Ocean Township Redevelopment Committee and/or Planning Board that the absolute minimum amount of signage is being used and that the following performance standards have been met:

- The requested signage is necessary for the reasonable identification of the redevelopment area tenants.
- The requested signage will not contribute to visual clutter.
- The requested signage will not present any safety hazards.
- The requested signage will complement the architectural style of the development.
- All signs will be professionally designed and constructed of a durable material.

- No sign will be illuminated in a manner that permits any light to shine or cause a nuisance to an adjacent residential use.
- Freestanding signs will be consolidated at strategic locations, be limited to the name and logo of the project or center and be ground-based as opposed to pole-mounted.
- Tenant directory signs will be located internal to the site and away from the right-of-way.
- Façade signs will complement and not interfere with, be out of proportion with, or cover over a building's architectural details.

Monument/Ground/Freestanding Sign

One freestanding sign is permitted at the Route 9 entrance, subject to the following standards:

- a. The sign panel shall not exceed 120 square feet in area.
- b. The total sign height shall not exceed 16 feet.
- c. The sign panel shall be located three feet above finished grade and shall include ground landscaping at the base of the sign.
- d. The sign shall be setback a minimum 15 feet from the right-of-way
- e. A border shall be incorporated along the bottom and side edges of the sign panel to provide an enhanced architectural feature, while a larger, mantle-type border shall be incorporated along the top edge. This border area shall not be included in the sign area calculation.
- f. The sign shall be architecturally integrated with the overall design of the redevelopment area.

Wall-Mounted Signs Wall-mounted signs shall conform to the following standards:

- a. The sign shall be affixed to the entrance facade of the building.
- b. The area of the signboards shall comply with Section 15.52.070 (4) of Chapter 15.52 of the Township Code.
- c. No part of a sign shall be higher than 15 feet above the front sidewalk elevation, and shall not extend above the base of the second floor windowsill, parapet, eave or building facade.
- d. Limited to one sign per business but one additional wall-mounted sign shall be permitted on any side or rear entrance which is open to the public for a maximum of two signs for any one business. Such wall sign may only be lighted by an exterior source during the operating hours of the business. No backlighting is permitted.
- e. Wall-mounted building directory signs identifying the occupants of a commercial building, including upper story business uses shall not extend above the parapet, eave or building facade.
- f. Applied plastic letters shall not be permitted.
- g. All wall-mounted signs shall be approved by the Planning Board.

Awnings

Buildings may have awnings or canopies, where appropriate, to complement the architectural style of a building, subject to the approval of architectural renderings by the Redevelopment Committee. The design of awnings and

canopies will be architecturally compatible with the style, materials, colors and details of such buildings and should not conceal significant architectural features, such as cornices, columns, pilasters or other trim details. Internally illuminated or backlit awnings and canopies are prohibited.

All ground-level awnings and canopies will comply with the following standards:

- a. The maximum height from ground level to uppermost portion of an awning or canopy will not exceed the height of the sill or bottom of any second story window or 15 feet whichever is less. In the case of single-story buildings, the maximum height will not exceed 12 feet or the top of the wall whichever is less.
- b. The minimum height from ground level to lowermost portion of awning or canopy will be eight feet.
- c. The maximum horizontal projection dimension of an awning from the building wall, including any appurtenances, will not exceed six feet from the building face. Awnings may project over a public sidewalk but will not be closer than two feet of the vertical plane of the curb edge or the edge of any other public right-of-way.
- d. The maximum total vertical dimension of an awning will not exceed the total horizontal projection dimension.
- e. An awning's surfacing material will be constructed of canvas, cloth or vinyl.
- f. No awning will contain more than two colors plus white. The color of any sign messages or other graphic features will be included in the number of colors. The colors must be compatible with the architectural color scheme of the entire building.
- g. On buildings with multiple storefronts, compatible awning and canopy frame styles will be used as a means of unifying the structure.
- h. A business at street level may include identification signage on a canopy or awning subject to the restrictions of Section 15.52.070(11) of Chapter 15.52 of the Township Code.

2.5 Parking and Loading

2.5.1 Parking Facilities

Surface Parking

Whenever possible, surface parking should be located to the rear of the building. No parking areas shall be permitted between the street right-of-way and the front façade of a building. Parking lots adjacent to street rights-of-way shall be screened with either a landscaped buffer or a solid wall or equivalent "edge" treatment, architecturally integrated into the overall site development. All off-street parking areas shall be set back a minimum 13 feet from a right-of-way.

Parking lot layout, landscaping, buffering, and screening shall be provided to minimize direct views of parked vehicles from streets and sidewalks, avoid spillover light, glare, noise, or exhaust fumes onto adjacent properties, and provide the parking area with a reasonable measure of shade, when trees reach maturity. In order to achieve these objectives, parking

lots exposed to view shall be surrounded by a minimum four foot high, year-round visually impervious screen, or hedge, or three foot high wall. The height of any required screen, hedge or wall shall decrease where driveways approach sidewalks or walkways, in order to provide adequate visibility of pedestrians from motor vehicles, and shall not interfere with clear sight triangle requirements.

Surface lots shall be extensively landscaped. Tree islands are recommended at the ends of each aisle and interspersed within aisles to provide visual relief from long expanses of parking and to guide circulation. In addition, surface parking areas shall be broken up into sections separated from other sections by streets, buildings or a landscaped island wide enough to incorporate a pedestrian walkway flanked by five foot minimum planting strips to support medium sized shade trees or ornamental trees. The pedestrian walkways shall be designed into the overall pedestrian and bicycle circulation system within the project.

All surface parking lots shall include shade trees, with a caliper of 2.5 inches minimum. The equivalent of one shade tree per 10 spaces is required in landscape islands, and around parking areas.

Pedestrian Circulation

Safe provisions for pedestrian access to and through a parking lot shall be required, including striping, enhanced pavement markings, brick or paver crosswalks and traffic calming features. Surface parking areas and pedestrian walkways

connecting to them shall have sufficient lighting in accordance with Township standard.

Bicycle Facilities

Bike racks, Bike bollards or lockers shall be provided in close proximity to all commercial uses in Mixed-use buildings. Racks may be located at a store entrance or at a central location connected by pedestrian walkways but not in such a manner as to impede pedestrian flow. The equivalent of a minimum of one bike rack per store entrance is required. Bicycle storage facilities shall also be provided for at least 15% of the occupants of residential dwelling units within the project.

On-Street Parking

Parallel or angled parking shall be permitted along both street sides in locations deemed safe for vehicular, bicycle and pedestrian circulation by the Board Engineer.

2.5.2 Parking Calculations

Number of Spaces

The required number of parking spaces for residential uses shall conform to the Residential Site Improvement Standards (RSIS). Parking for retail uses shall be provided at a ratio of 4 parking spaces per 1,000 square feet of floor space.

Shared Parking

Shared parking shall be encouraged for parking lots serving mixed-use commercial and residential buildings. Where

necessary, the Planning Board may permit a limited amount of parking to be reserved either for residential or specified commercial uses only; or may restrict the hours that certain spaces are to be used for residential or commercial uses only.

The designated redeveloper responsible for the development of a property in the Redevelopment Plan Area seeking to satisfy its parking requirement using a shared parking approach shall prepare a parking report and/or provide detailed parking testimony to the Planning Board that documents how an adequate supply of parking spaces will be provided to satisfy projected parking demand.

2.5.3 Loading and Service Areas

Service and/or loading areas must be located to the side or rear of buildings unless a more appropriate location is approved by the Planning Board. Screening and landscaping shall be provided to minimize direct views of the loading areas and their driveways from adjacent properties or from the public right-of-way. Screening and buffering shall be achieved through walls, fences, and landscaping. Screening shall be a minimum of six feet high and shall be visually impervious. Recesses in the building, or depressed access ramps, may be used.

Shared refuse storage facilities shall be utilized where available and practical. The storage of refuse shall be provided inside building(s) or within an outdoor area in the rear of the property, screened around the perimeter by walls faced with

brick or stone at a minimum height of seven feet with a gate or door. Such a wall shall be capped on the top.

2.6 Provisions Related to Off-Site Improvements

The designated redeveloper or other such party responsible for the development of a property in the redevelopment area will be responsible for their fair share of any installation or upgrade of infrastructure related to their project whether on-site or off-site including improvements to Route 9. Infrastructure items include but are not limited to gas, electric, water, sanitary and storm sewers, traffic control devices, telecommunications, streets, curbs, sidewalks, street lighting and street trees. The Township and redeveloper will work in partnership to overcome access and traffic circulation issues with the NJDOT to enable an orderly, safe, and efficient re-routing of traffic through and around the Redevelopment Plan Area.

The extent of the redeveloper's responsibility will be outlined in the redeveloper's agreement with the Township. Off-site responsibility for properties not covered under the redeveloper's agreement will be determined during the permit and/or site plan review phases.

All infrastructure improvements will comply with applicable local, state and federal codes including the Americans with Disabilities Act. All utilities will be placed underground.

2.7 Provisions Related to State and Federal Regulations

Certain activities proposed in this plan may be subject to state and federal standards, regulations and permit requirements. The redeveloper is responsible for ensuring compliance with all applicable standards and obtaining necessary state and federal permits prior to the issuance of any construction permits.

2.8 Provisions Related to Affordable Housing

The redeveloper is responsible for providing the greater of any affordable housing obligation generated by the redevelopment activities in the redevelopment area in compliance with the current or amended rules and regulations of either the Council on Affordable Housing (COAH), the Department of Community Affairs (DCA), or any successor agency responsible for reviewing and approving the Township's Housing Element and Fair Share Plan, and applicable local ordinances; or shall set aside 20 percent of the total number of dwelling units as affordable rental units. This Redevelopment Plan incorporates the density bonus for affordable housing purposes within the Base Density, which has been set higher than COAH presumptive density requirements as a compensatory benefit.

Section 3. Relationship to the Land Use and Zoning Ordinance

3.1 Zoning Ordinance

The standards contained within this redevelopment plan supersede any conflicting regulations in the Ocean Township Land Use and Zoning Ordinance. In the case where a particular land use or site standard is not covered in this Redevelopment Plan, the Route 9—Phase 1 Redevelopment Plan, or the Economic Redevelopment Plan amended in December 2007, compliance with the Ocean Township Land Use and Zoning Ordinance or other applicable Ocean Township code or ordinance will be required.

3.2 Map Amendment

The Zoning Map of the Township of Ocean was amended on November 18, 2008 to delineate all of the redevelopment districts in the Waretown Town Center, including the TC-MXD District in which the Tradewinds at Waretown site is located.

Section 4. Acquisition and Relocation

4.1 Acquisition

At this time the Plan does not anticipate the need to identify properties for acquisition.

4.2 Relocation

Block 131, Lot 4 is currently undeveloped and no relocation of any household or business is necessary.

Section 5. Significant Relationships to Other Plans

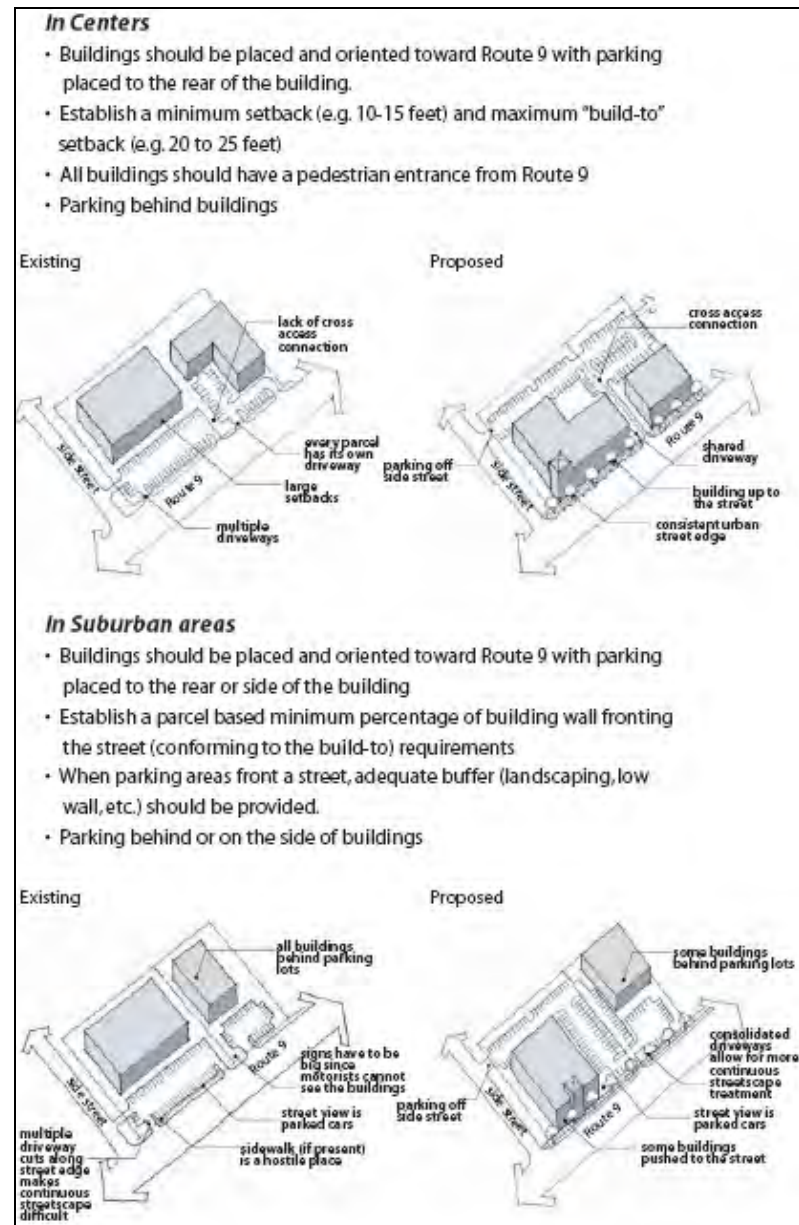
5.1 Plans of Adjacent Municipalities

Ocean shares its municipal border east of the Garden State Parkway with Barnegat Township to the south and Lacey Township to the north. All three municipalities share portions of the Route 9 Corridor through Ocean County. The Route 9 Corridor Master Plan, produced by NJDOT in 2005, provides recommendations that are completely in alignment with this Redevelopment Plan as show in the excerpt to the right.

5.2 Ocean County Master Plan

The Ocean County Master Plan was adopted in December 1988. The following county goals are relevant to and compatible with this Redevelopment Plan:

- Continue to provide a coordinated management program to control the spatial development of the County by directing new growth to environmentally suitable areas which can be provided with essential infrastructure and support facilities.
- Promote the provision of a broad range of housing opportunities for all income levels and household types by encouraging the maintenance or rehabilitation of the existing housing stock and through the construction of new housing units.



- Promote the development of an improved and balanced, multi-modal transportation system which integrates the highway system with bus, rail, and waterborne transport systems.
- Continue the economic development efforts of the County to reduce unemployment provide year-round employment opportunities and enhance the tax base by encouraging compatible industrial and commercial operations to locate or expand in Ocean County.

In addition, growth areas were identified to provide an objective measure of development opportunities and constraints within the county. The redevelopment area is identified as a “maximum growth area.” Growth areas were determined based on environmental features, ability to accommodate increased land use activity, growth trends, area development patterns, local zoning policies, water supply, wastewater treatment facilities, and transportation facilities (accessibility to major highways and travel distance to major commercial and shopping facilities). The development criteria associated with maximum growth areas include:

- Infill of vacant lands within existing developed areas;
- Redevelopment of existing developed areas consistent with land use and density guidelines; and
- Serviced by an existing wastewater treatment system with sufficient capacity to provide treatment for increased wastewater flows.

5.3 New Jersey State Development and Redevelopment Plan

The Redevelopment Plan Area is located in a Town Center (Waretown Town Center) designated through Plan Endorsement in 2005. The Waretown Town Center Economic Redevelopment Plan and this Tradewinds At Waretown Sub Plan are compatible with the State Plan’s intention for the Centers, which is: to provide for much of the state’s future development; provide growth in centers and other compact forms; protect the character of existing stable communities; protect natural resources; redesign areas of sprawl; reverse the trend toward further sprawl; and revitalize cities and towns.

This plan will move Ocean Township several steps forward toward the realization of one of the State Plan’s major objectives – providing alternatives to sprawl by planning for and creating new “communities of place”. In addition, the plan would achieve the following State Plan goals:

- Promoting beneficial economic growth – The Tradewinds at Waretown will provide a focal point for future economic activity in the Township. It is expected that a higher quality and greater diversity of goods and services will be available to residents than is currently found in the strip developments that characterize the Route 9 corridor.
- Ensuring cost-effective delivery of infrastructure – The State Plan offers centers as the model for cost-effective delivery of infrastructure.

- Preserving and enhancing the quality of community life – Centers provide a focal point for the community as a whole and a vibrant, human-scaled living environment for those who live and work in the center.
- Preserve and enhance areas with historic, cultural, scenic open space and recreational value – Open space will be an integral part of the Tradewinds at Waretown project. Existing wetlands and water features will be preserved as part of the open space system of the site.

5.4 New Jersey Pinelands Commission

Approximately half of the Township of Ocean, the portion west of the Garden State Parkway, falls under the jurisdiction of the Pinelands Commission. The Town Center is not within the Commission regulated portion of the Township (i.e., the “Pinelands Area”).

Section 6. Amendments and Completion

6.1 Amending the Redevelopment Plan

This plan may be amended from time to time in accordance with the procedures of the Local Redevelopment and Housing Law. To the extent that any such amendment to the redevelopment plan materially affects the terms and conditions of a duly executed redevelopment agreement between a redeveloper and Ocean Township, the provisions of the redevelopment plan amendment will be contingent upon the amendment of the redeveloper agreement to provide for the plan amendment.

6.2 Certificate of Completion and Compliance

Upon the inspection and verification by Ocean Township’s Redevelopment Entity that the redevelopment of Block 131, Lot 4 has been completed in accordance with the executed Redevelopment Agreement, a Certificate of Completion and Compliance will be issued to the redeveloper and such parcel will be deemed no longer in need of redevelopment.

The redevelopment plan will remain effective until the Redevelopment Plan Area has been redeveloped and deemed no longer in need of redevelopment by the Ocean Township Committee.



B. — 2013 Waretown Town Center Economic Redevelopment Plan (TC Town Center District Redevelopment Plan)

TOWNSHIP OF OCEAN

50 RAILROAD AVENUE
WARETOWN, NJ 08758
609-693-3302



Waretown Town Center

Economic Redevelopment Plan TC Town Center District Redevelopment Plan

Adopted: April 11, 2013

Prepared for:
Township of Ocean Redevelopment Committee

Prepared by:



Stan Slachetka, P.P., AICP
N.J. Professional Planner License No. LI-03508

Township of Ocean Redevelopment Committee

- Tina Wetter, Mayor
- Dennis Tredy, Deputy Mayor
- Joseph Lachawiec, Committeeman

Township of Ocean Administration

- David Breeden, Township Administrator
- Diane Ambrosio, Township Clerk, Secretary to Redevelopment Committee

Township Legal Counsel

- Gregory P. McGuckin, Esq.
Dasti, Murphy, McGuckin, Ulaky, Cherkos & Connors

Township Professional Staff

- Stan Slachetka, P.P., AICP – Township Planner
T&M Associates
- James Oris, P.E. - Consulting Engineer
T&M Associates
- Scott D. Taylor, ASLA/RLA, AICP/PP, LEED-AP - Township Landscape Architect
Taylor Design Group

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Section 1. Introduction

1.1 General Intent

In June 2000, the Township of Ocean adopted an Economic Redevelopment Plan to guide future redevelopment of properties that are east of the Garden State Parkway and are north of Wells Mill Road on the eastern side of Route 9. In total, the Redevelopment Plan regulates approximately 1,234 acres or 1.92 square miles of the Township. Since the adoption of the 2000 Plan, the Township has made significant progress in its efforts to create a new town center at Waretown. In December 2005, the Township received plan endorsement and center designation from the New Jersey State Planning Commission, which acknowledged the State's support to create a new mixed-use town center in Ocean and the conservation of extensive areas of undeveloped land west of the center to the Oyster Creek and Parkway.

In 2007, the Township adopted an amendment to the Economic Redevelopment Plan to reflect the Township's plan endorsement and center designation as required by the Planning and Implementation Agenda (PIA) approved by the State Planning Commission as part of the Township's plan endorsement. The 2007 Amendment established the framework for a pedestrian-oriented, mixed-use center within the redevelopment plan area designated in the 2000 Economic Redevelopment Plan. The TC Town Center District Redevelopment Plan further refines the Township's Economic Redevelopment Plan by establishing a regulating plan, form-based code, and revised conceptual development plan for the

TC Town Center District. Components of this redevelopment plan amendment include:

- Revised road network layout and typology
- Updated open space plan
- Amended Land Use Plan and Conceptual Development Plan for the TC District
- Regulating plan governing the location of permitted building forms
- Development regulations and design standards









Figure 1 depicts the location of the Town Center District. Figure 2 depicts the TC District and other current redevelopment areas and sub-districts in relation to the overall Economic Development Plan.

The intent of this plan is to guide the redevelopment of the TC Town Center District in a manner that is consistent with the articulated vision for the Waretown Town Center as identified in the Township's Plan Endorsement documents, with the smart growth planning principles enunciated in the State Development and Redevelopment Plan (SDRP), and with existing and planned redevelopment. The plan as presented herein modifies and amends the previously adopted Waretown Town Center Conceptual Development Plan to further refine the concepts presented in the original plan and recognize local property boundaries to ensure a seamless integration of the various plan components and Sub-District plans governing the area.

Figure 1
Site Location
TC Zone

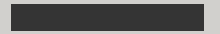
Waretown Town Center
Township of Ocean
Ocean County
New Jersey

Legend

-  Town Center (TC) Zone
-  Interstate or Toll Route
-  US or State Route
-  County Route
-  Local Road
-  Ramp
-  Municipal Boundary
-  Open Water



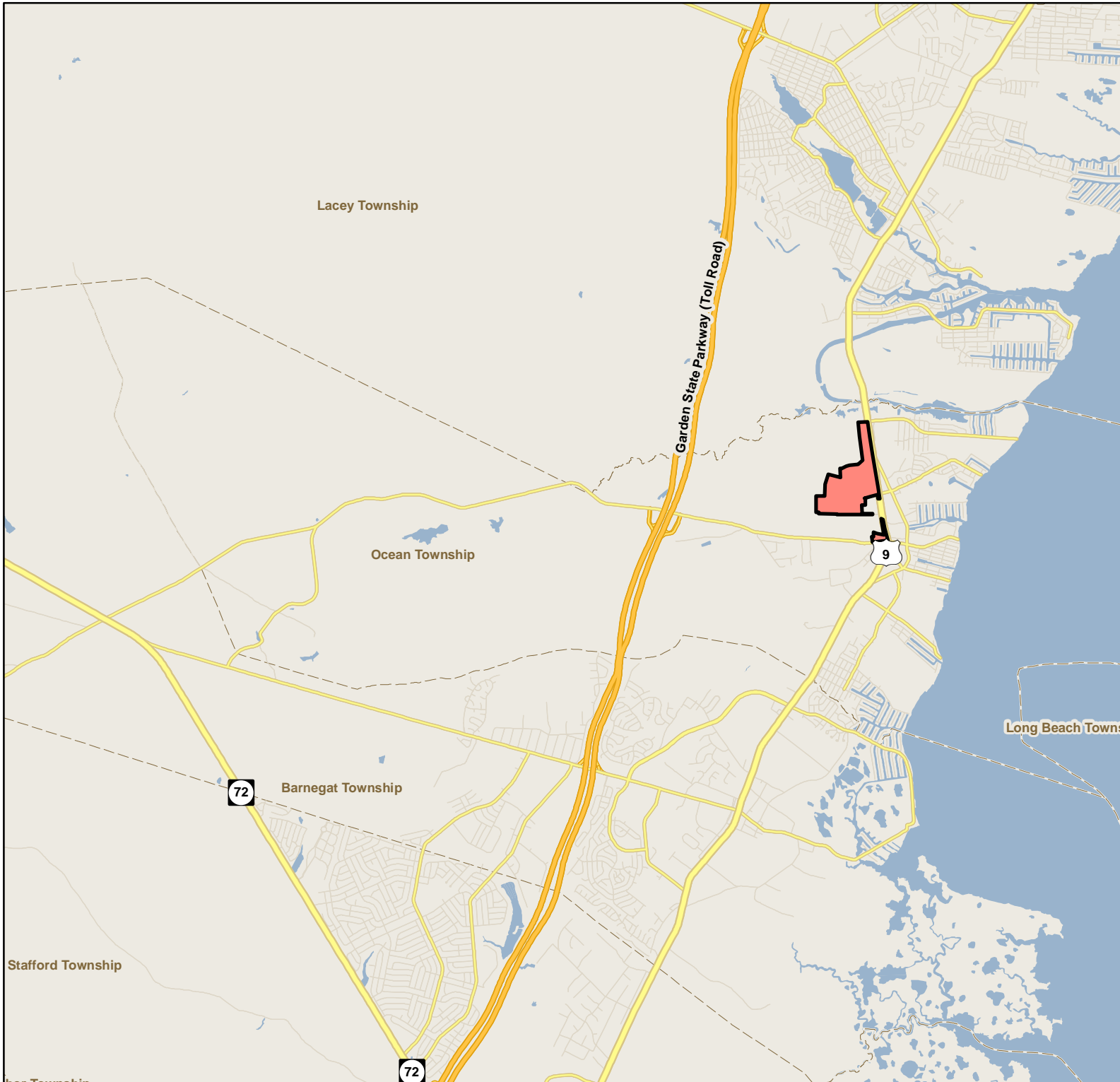
7,000 Feet



11 Tindall Road
Middletown, NJ 07748-2792
Phone: 732-671-6400
Fax: 732-671-7365

NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State authorized.

Prepared by: ARR, 3/19/2013
Source: NJGIN, NJDEP, Ocean Township, FEMA
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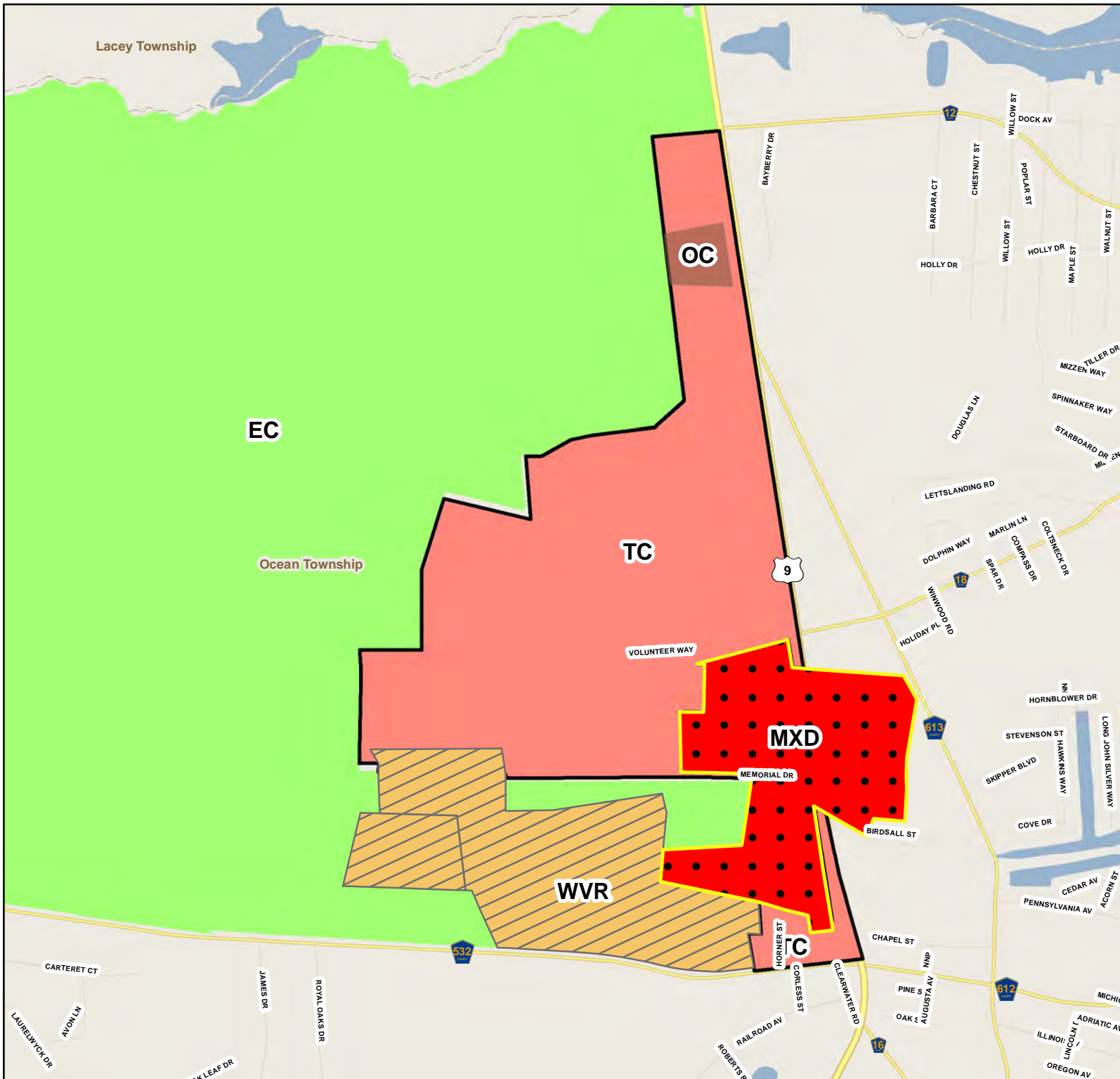












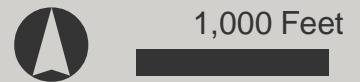


Figure 2
Redevelopment Districts
2007 Economic
Development Plan
Amendment
Waretown Town Center
Township of Ocean
Ocean County
New Jersey

Legend

-  Town Center (TC) Zone
-  Environmental Conservation (EC) Zone
-  Phase I Route 9 Mixed Use Redevelopment District (MXD)
-  Waretown Village Residential Gateway Redevelopment District (WVR)
-  Ocean Commons Sub Redevelopment District (OC)
-  Interstate or Toll Route
-  US or State Route
-  County Route
-  Local Road
-  Ramp
-  Municipal Boundary
-  Open Water



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Prepared by: ARR, 3/19/2013
 Source: NJGIN, NJDEP, Ocean Township, FEMA
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1.2 Relationship to Local Objectives

The goal of the Waretown Town Center Redevelopment Plan is to promote the development of a compact, pedestrian-oriented Town Center with the potential for 24-hour activity, consisting of retail and employment facilities, vibrant and dynamic mixed-use areas, open space and recreation facilities, and residential living environments that provide a broad range of housing types for an array of housing needs.

The redevelopment of the Town Center is guided by the following objectives:

1. Promote a diverse mix of residential, business, commercial, office, institutional, educational, recreational and cultural and entertainment activities for workers, visitors, and residents;
2. Encourage pedestrian-oriented development at densities and intensities that will help promote transit usage, interconnected uses and businesses;
3. Promote the health and well-being of residents by encouraging physical activity, alternative transportation options and greater social interaction;
4. Create a center that represents a unique, attractive and memorable destination for visitors and residents;
5. Encourage lively, human-scaled activity areas and gathering places through the promotion of high-quality urban design;
6. Ensure that all buildings are consistent with and enhanced by high-quality streetscape amenities; and
7. Accommodate off-street parking in a convenient manner that does not interfere with the rhythm of the street network and building façades.

The Township's efforts to develop a new town center have been identified and comprehensively documented in the Township of Ocean's Master Plan, Master Plan Reexamination Report, Amended Land Use Plan Element, Amended Plan Endorsement and Center Designation Petition, Housing Plan Element and Fair Share Plan, Economic Redevelopment Plan and subsequent redevelopment plan amendments.

1.3 Property Description

The Economic Redevelopment Area is located in the eastern portion of the Township north of Wells Mill Road, east of the Garden State Parkway and west of Route 9. The Redevelopment Area consists of several sub areas, including the TC Town Center District. Other Sub-Districts in the Economic Redevelopment Plan Area include:

- The Ocean Commons (OC) Redevelopment Sub-District;
- Phase I – Route 9 Redevelopment Area, which is regulated by the MXD Redevelopment District;
- The Waretown Village Residential Gateway Redevelopment District; and
- Environmental Conservation (EC) Zone District.

This Plan also acknowledges properties on the westerly side of Route 9 are separated from Route 9 by a former railroad right-of-way owned by Ocean County, which is currently developing a bicycle and pedestrian trail in concert with the Township's redevelopment efforts.

1.4 Redevelopment Plan Requirements

This Redevelopment Plan is written pursuant to Section 7 of the LRHL (N.J.S.A. 40A:12A-7), which provides that "no redevelopment project shall be undertaken or carried out except in accordance with a redevelopment plan adopted by ordinance of the municipal governing body." Pursuant to the requirements of the LRHL, the redevelopment plan shall include an outline for the planning, development, redevelopment, or rehabilitation of the project area sufficient to indicate:

- (1) Its relationship to definite local objectives as to appropriate land uses, density of population, and improved traffic and public transportation, public utilities, recreational and community facilities and other public improvements.
- (2) Proposed land uses and building requirements in the project area.
- (3) Adequate provision for the temporary and permanent relocation, as necessary, of residents in the project area, including an estimate of the extent to which decent, safe and sanitary dwelling units affordable to displaced residents will be available to them in the existing local housing market.

- (4) An identification of any property within the redevelopment area which is proposed to be acquired in accordance with the redevelopment plan.
- (5) Any significant relationship of the redevelopment plan to: (a) the master plans of contiguous municipalities; (b) the master plan of the county in which the municipality is located; and (c) the State Development and Redevelopment Plan adopted pursuant to the "State Planning Act," P.L. 1985, c.398 (C.52:18A-196 et al.).

The TC Town Center Redevelopment Plan addresses each of these requirements as described in the following sections of the plan.

Section 2. General Guidelines

2.1 Definitions

All terms used herein shall have the same meaning as defined in the Ocean Township Land Use Ordinance unless otherwise specified in this redevelopment plan. [See Section 9]

2.2 Town Center Conceptual Development Plan

The Redevelopment Plan Area is envisioned as a mixture of residential and commercial uses and public space that will provide high quality mixed-use development, including a range of housing opportunities and retail and service uses to serve the community, while protecting sensitive natural resources. The Town Center Redevelopment Plan is designed to enable a mixture of complementary uses, attractive public spaces, strategically placed parking, and a safe and efficient circulation system, with “complete” streets designed for vehicles, bicyclists and pedestrian use.

The project design must use high quality architectural detailing and materials on all building facades and within the streetscape design. Buildings must be oriented to the street to create an attractive streetscape and well-defined public realm. Build-to lines rather than setbacks will be used to define building location on the lot and the relationship to the street. Buildings located on lots or blocks located along Route 9 must be oriented to provide an inviting presentation to Route 9 frontage and adjoining Ocean County bikeway.

The project design must also employ a variety of neo-traditional design forms with strategic pedestrian connections, plazas and green space areas which de-emphasize the parking while highlighting common spaces.

The elevations of the various building types must be well proportioned and include a variety of forms and materials. All buildings shall employ a “four-sided architecture” (attractive fenestration along every building façade) and project submissions to the Redevelopment Committee and Planning Board must include renderings regarding the proposed architectural forms and samples of materials and colors for all building facades.

A combination of brick masonry and natural stone materials must be used on portions of the building facades of both the residential buildings and mixed-use buildings, with clapboard and shingle siding and cupolas to address the maritime theme chosen by the Redevelopment Committee for the Town Center in the Waretown Center Redevelopment Plan.

Off-street parking, where needed shall be provided in the central areas of blocks and sites to avoid parking fields proximate to streets and road and other components of the public realm where pedestrian activity is anticipated. Where parking is provided near streets or public spaces it must be shielded from view with the use of walls, landscaping, and buffers. Off-street parking standards and requirements are specified in Section 3 of this plan. Shared parking is encouraged as described in Section 3.

2.3 Permitted Land Uses

The Township seeks to develop the Town Center District in a coordinated manner that is consistent with the vision and goals and objectives for the Waretown Town Center. While the Township's intent is to provide some flexibility in the design of the center, this plan is intended prevent uses, building layout and design features that are inconsistent with the intended vision for the Center and the Land Use and Regulating Plans described herein. In addition, the provisions of this plan will ensure that the area is developed in a manner that will work in concert with newly constructed and planned development within the Center in an effort to create a unified, cohesive development consistent with goals and objectives for the Center as approved by the State Planning Commission.

Accordingly, this plan identifies permitted uses in the Town Center District and uses that shall be specifically prohibited as follows:

2.3.1 Permitted Principal Uses

1. Retail stores and service establishments
2. Professional offices
3. General business offices
4. Drugstores
5. Restaurants and cafes
6. Coffee shops
7. Mixed use buildings containing a combination of permitted uses
8. Community and municipal buildings

9. Residential Apartments (on upper floors of mixed use buildings)
10. Open space land permanently protected through conservation easements
11. Schools
12. Public recreation facilities
13. Single-family residential
14. Townhouses
15. Live-work residential units
16. Multi-family residential

2.3.2 Accessory Uses

1. Uses accessory and incidental to the principal use.

These uses shall be distributed within the redevelopment plan area as illustrated within the Town Center Land Use Plan map.

2.3.3 Uses Specifically Prohibited

Specifically prohibited uses include:

- Auto dependent design/drive-thru businesses
- Warehouses
- "Big Box" type businesses, i.e. Wal-Mart, Home Depot, which require large parking lots
- Gasoline oriented businesses
- Industrial uses
- Mining or extracting uses

2.4 Town Center Sub-Districts

While it is the intent and purpose of this plan to provide a cohesive framework governing the redevelopment of the Town Center, it is important to recognize that there are distinct sub-districts within the Town Center that are or will be subject to different regulations. These sub-districts are as follows:

2.4.1 Mixed-Use Overlay Sub-District

This sub-district consists of those portions of Block 41, Lots 42.02 and 42.05 that are located within the northern portion of the Town Center Boundary. A second Mixed-use overlay sub-district consists of Block 41, Lots 32.01, 33, and 34; Block 42, Lots 1, 2 and 3; Block 44, Lots 1, 2 and 3; Block 45, Lots 1.01 and 1.02; and Block 61.03, Lot 4, located proximate to the intersection of Route 532 and Route 9. The intent of these two sub-districts is permit development in accordance with the underlying C-1 Zone District requirements, but permit as an overlay option the development of mixed-use development in accordance with the overall Waretown Town Center plan. The C-1 District for these areas had previously been superseded by the adoption of the 2007 Economic Redevelopment Plan amendment. This amendment reestablishes the former C-1 District zoning for these areas in addition to the mixed-use overlay.

2.4.2 Ocean Commons Sub-District

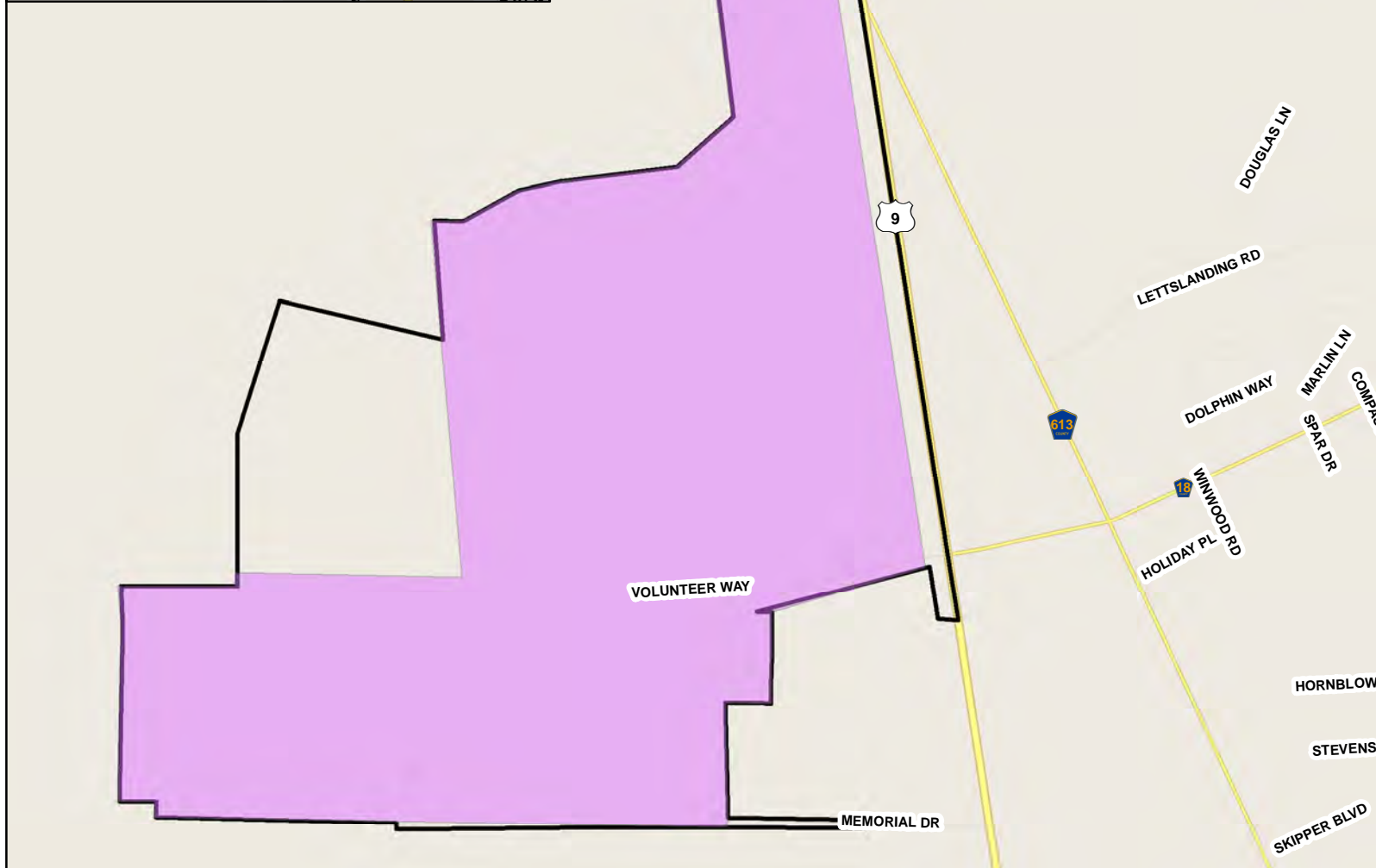
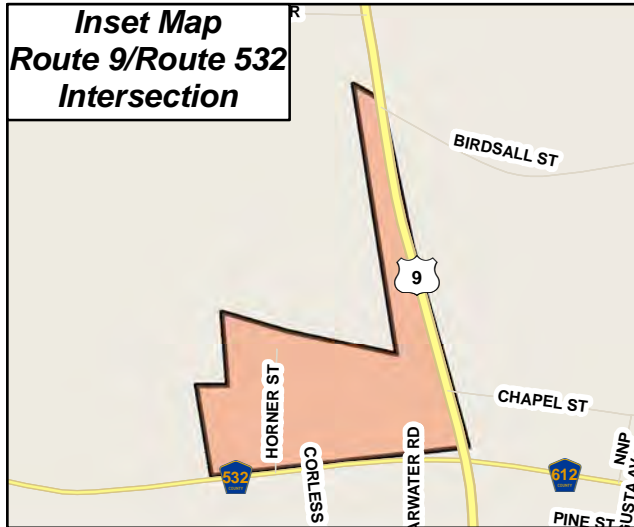
This sub-district consists of Block 41, Lot 42.01. A redevelopment plan governing the redevelopment plan for this property was adopted by the Ocean Township Committee in 2012. The requirements included in that sub-district redevelopment plan will continue to govern redevelopment projects in that area. No changes or amendments are proposed as part of this plan.

2.4.3 Waretown Town Center Core Sub-District

This sub-district is the largest sub-district within the TC District and Town Center Redevelopment plan area. The properties located within this sub-district will be developed in accordance with the standards and requirements specified herein.










Figure 3 depicts the Sub-Districts located within the Redevelopment Area. These Sub-Districts shall adhere to the regulations set forth in this plan.

**Inset Map
Route 9/Route 532
Intersection**



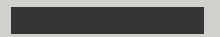
**Figure 3
Town Center (TC)
District Sub-Areas
Waretown Town Center
Township of Ocean
Ocean County
New Jersey**

Legend

-  Mixed-Use Overlay Sub-District
-  Town Center Core Sub-District
-  Ocean Commons Sub-District
-  Town Center (TC) Zone
-  Interstate or Toll Route
-  US or State Route
-  County Route
-  Local Road
-  Ramp



650 Feet



T&M
ASSOCIATES

11 Tindall Road
Middletown, NJ 07748-2792
Phone: 732-671-6400
Fax: 732-671-7365

NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State authorized.

Prepared by: ARR, 3/19/2013
Source: NJGIN, NJDEP, Ocean Township, FEMA
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RedevelopmentSubDistricts.mxd

2.5 Roadway Network and Street Typologies

The Waretown Town Center will be developed as a mixed-use neighborhood that encourages pedestrian and bicycle activity, provides multiple route choices, and encourages residents and visitors to “park once and walk.” The roadway network and street typologies herein have been designed to encourage such behavior and activity.

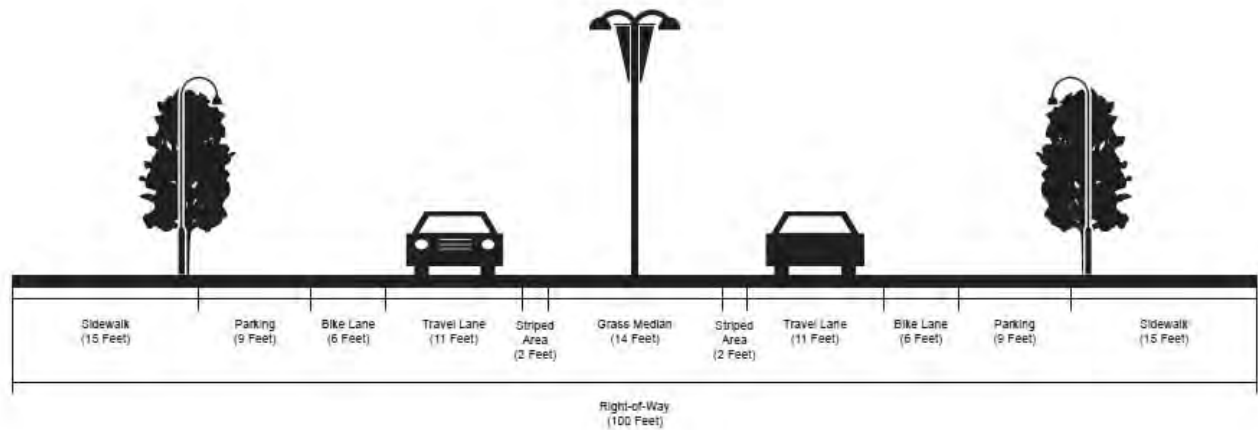
Figure 4 depicts the roadway network for the Waretown Town Center. The roadway network within the Town Center is modeled after a traditional street grid and is designed to offer route choices to pedestrians, bicyclists and motorists.

The roadway network within the Waretown Town Center provides for three street types. These street types are as follows and are labeled in Figure 4.

“ROAD TYPE A”

Road Type A (Volunteer Way) is a boulevard-type roadway that provides an east-west connection between Route 9 and Route 532 (Wells Mills Road). This roadway will be constructed according to the following cross section dimensions:

“Road Type A” (Volunteer Way) Cross Section	
Feature	Width (ft.)
Right-of-Way	100
Sidewalk (Both Sides)	15
Parking (Both Sides)	9
Bike Lane (Both Sides)	6
Travel Lane (Both Sides)	11
Interior Striped Pavement (Both Sides)	2
Grass Median	14

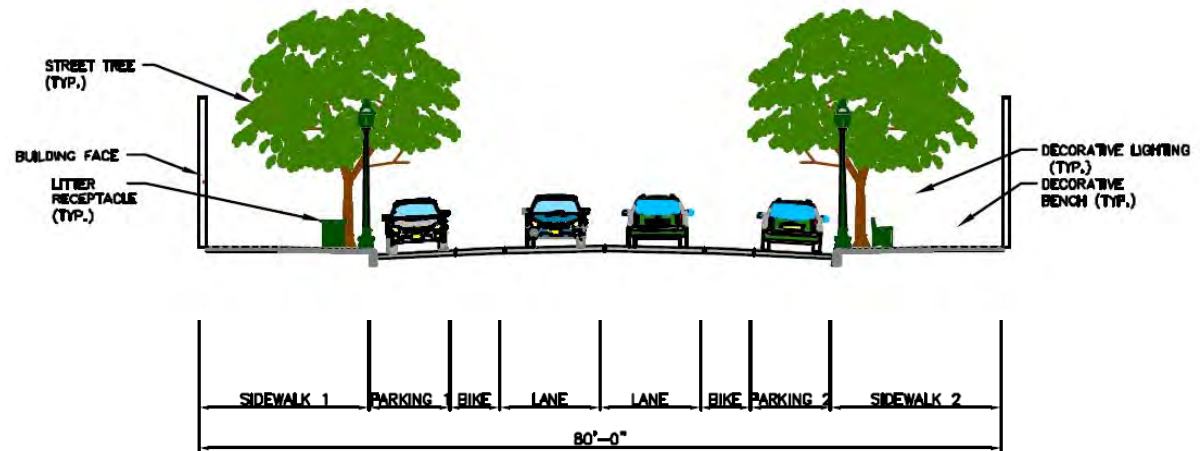


Volunteer Way Cross Section

“ROAD TYPE B”

Road Type B roads are intended to be the roadways that act as the “spines” of the Town Center, traversing the area from north to south through the center of the proposed development and around its westerly extent. These roadways will also provide two connections to Volunteer Way and the main connections between areas north of Volunteer Way and areas south of Volunteer Way. This roadway type will be constructed according to the following cross section dimensions:

“Road Type B” Cross Section	
Feature	Width (ft.)
Right-of-Way	80
Sidewalk (Both Sides)	12
Planting/Furniture/Lighting Area (Both Sides)	8
Parking (Both Sides)	9
Travel Lane (Both Sides)	11

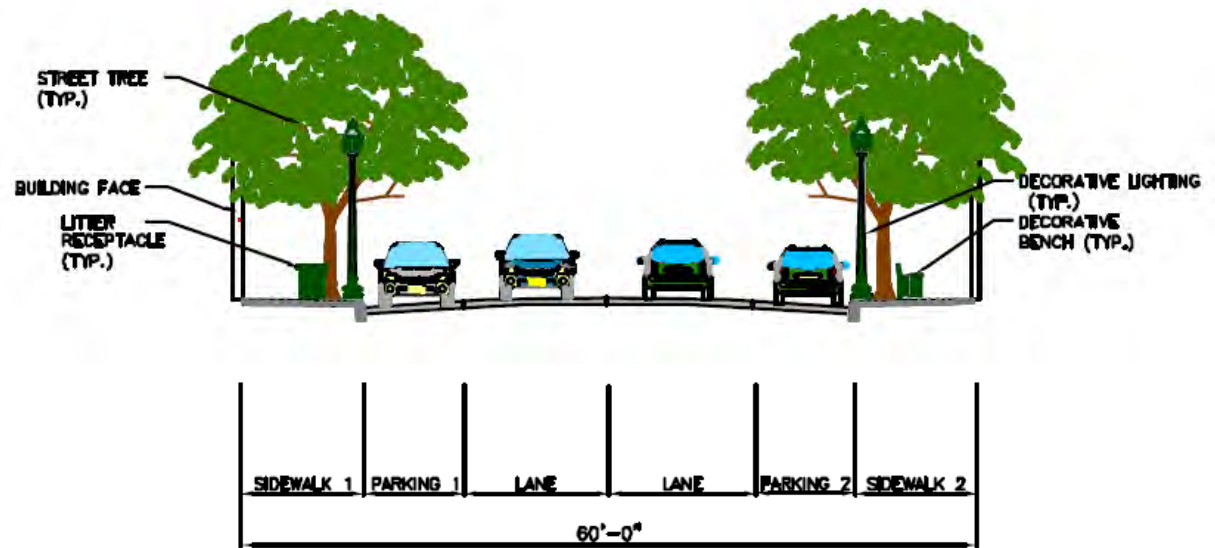


“Road Type B” Cross Section

“ROAD TYPE C”

Road Type C roads are intended to act as residential streets within the Town Center and will be constructed according to the following cross section dimensions:










“Road Type C” Cross Section	
Feature	Width (ft.)
Right-of-Way	60
Sidewalk (Both Sides)	10
Parking (Both Sides)	9
Travel Lane (Both Sides)	11



“Road Type C” Cross Section

Figure 4
Roadway Network
Street Typology and
Open Space
Waretown Town Center
Township of Ocean
Ocean County
New Jersey

Legend

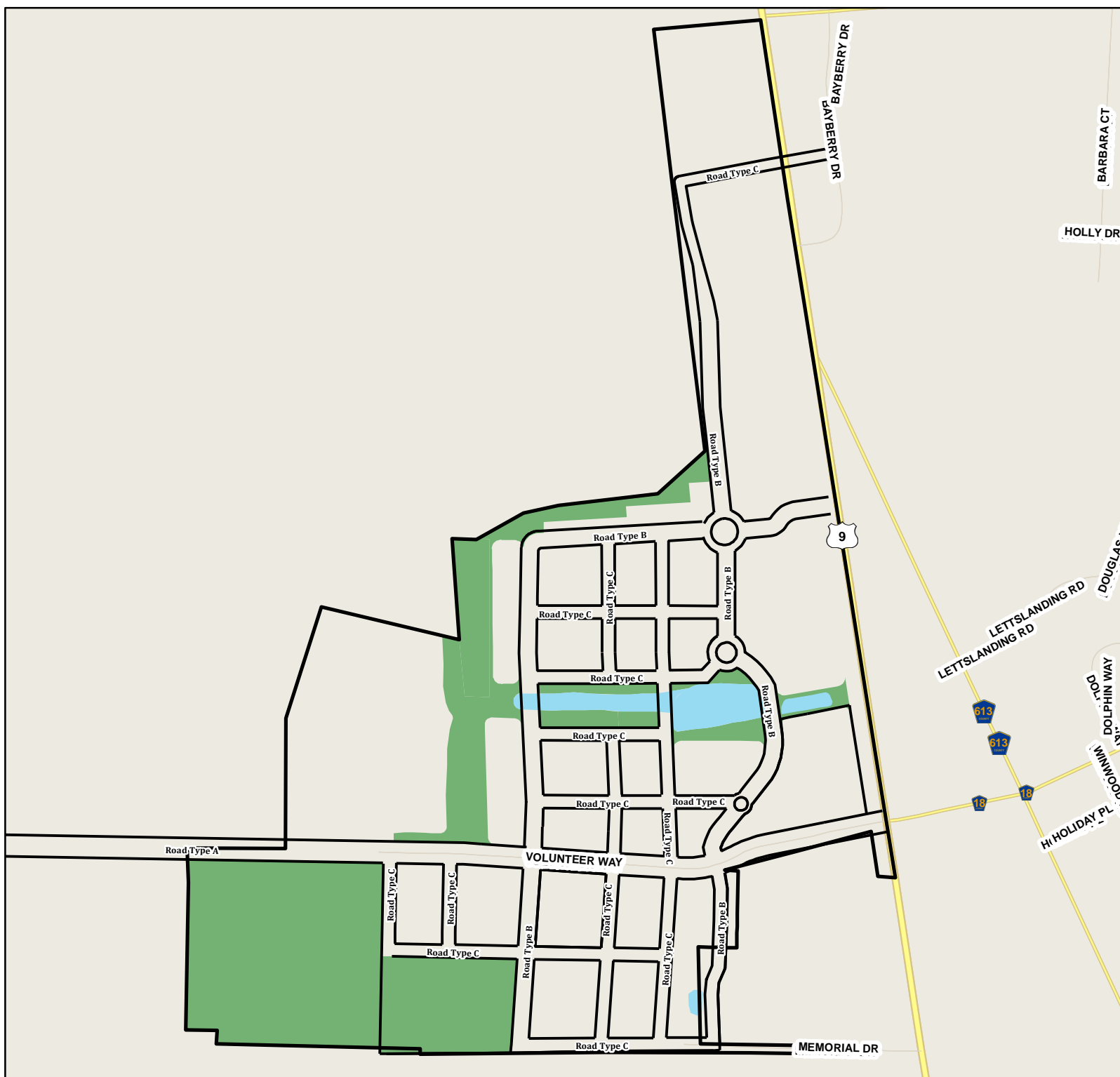
-  Proposed Right-of-Way Lines
-  Parks and Open Space
-  Water Features
-  Town Center (TC) Zone
-  Interstate or Toll Route
-  US or State Route
-  County Route
-  Local Road
-  Ramp



11 Tindall Road
 Middletown, NJ 07748-2792
 Phone: 732-671-6400
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NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State authorized.

Prepared by: ARR, 3/19/2013
 Source: NJGIN, NJDEP, Ocean Township, FEMA
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 RoadwayNetworkandTypology.mxd



Section 3. Design Standards

The following design standards and form-based code (Section 11) will be applied to this Redevelopment Plan Area. Any elements not covered by these standards will be subject to other appropriate provisions of this redevelopment plan and/or the Ocean Township Land Use and Zoning Ordinance. All redevelopment activities are also subject to applicable State and Federal requirements.

The standards presented here are meant to provide some degree of flexibility to account for market and regulatory fluctuations, while ensuring that the goals and objectives of the redevelopment plan are achieved.

3.1 Policy Regulations

3.1.1 Provisions Related to State and Federal Regulations

Certain activities proposed in this plan may be subject to state and federal standards, regulations and permit requirements. The redeveloper is responsible for ensuring compliance with all applicable standards and obtaining necessary state and federal permits prior to the issuance of any construction permits.

3.1.2 Waivers

Variation from the requirements set forth in this redevelopment plan may be necessary in certain unusual circumstances or to meet state or federal permit requirements.

In such an instance, the Planning Board may waive certain bulk, parking or design requirements if the designated redeveloper demonstrates that such waiver will not substantially impair the intent of the redevelopment plan, and will not present a substantial detriment to the public health, safety and welfare. No changes in the permitted uses, density and intensity of use, Land Use Plan, or Regulating Plan shall be permitted without an amendment to the redevelopment plan.

3.1.3 Provisions Related to Affordable Housing

The redeveloper is responsible for providing any affordable housing obligation generated by the redevelopment activities in the redevelopment area in compliance with the Township's Housing Element and Fair Share Plan and the current or amended rules and regulations of either the Council on Affordable Housing (COAH), the Department of Community Affairs (DCA), or any successor agency responsible for reviewing and approving the Township's Housing Element and Fair Share Plan, as well as all applicable local ordinances. This Redevelopment Plan incorporates the density bonus for affordable housing purposes within the Base Density, which has been set higher than COAH presumptive density requirements as a compensatory benefit.

3.2 General Design Guidelines

3.2.1 Maximum Impervious Coverage

Total overall development of the designated redevelopment area shall not exceed a maximum impervious coverage of 70%.

3.2.2 Open Space

To ensure that the plan promotes and encourages a suitable environment devoted to civic spaces, parks, recreation and open space and preserves and protects areas of special or unusual ecological, environmental or geographical interest, open space and recreation facilities shall be provided in accordance with the open space plan elements as specified in the Land Use Plan and Regulating Plan maps. Depending on the specific requirements of each area and corresponding State regulations and requirements, open space areas shall be suitable for passive use or contribute to viable wildlife habitats. Recreation areas and parks shall provide for both passive and active recreation uses. Landscaped areas such as parking islands, roadway medians, and planting strips shall not be counted towards the open space requirement.

3.3 Building and Site Design

3.3.1 Building Form & Orientation

This section illustrates the form and orientation of “typical” building types that are envisioned for the Town Center.

Multi-Family

Multi-family development will follow a building form that reflect the maritime theme of the Waretown Town Center, but keeps the building close to the public sidewalk with breaks in the front facades and a rich architectural style. Building Height will be limited to two and one half stories.

Recreation facilities shall be provided for Multi-family development based upon the requirements of Ordinance 2005-39, or as approved by the Planning Board. With approval of the Redevelopment Committee and Planning Board, this recreation requirement can be accommodated with public park and recreation areas in the Town Center located proximate to the multi-family development.

Mixed-Use

Buildings with street-level retail and residential apartments on the upper floors shall follow the maritime theme of the Waretown Town Center, but may use a variety of design techniques to differentiate the retail and residential elements of the building, including the use of sash and frieze elements between the street level and upper levels. Buildings with multifamily above retail should be oriented towards public open spaces whenever possible. Density parameters shall follow those of buildings that are solely multi-family.

Non-residential

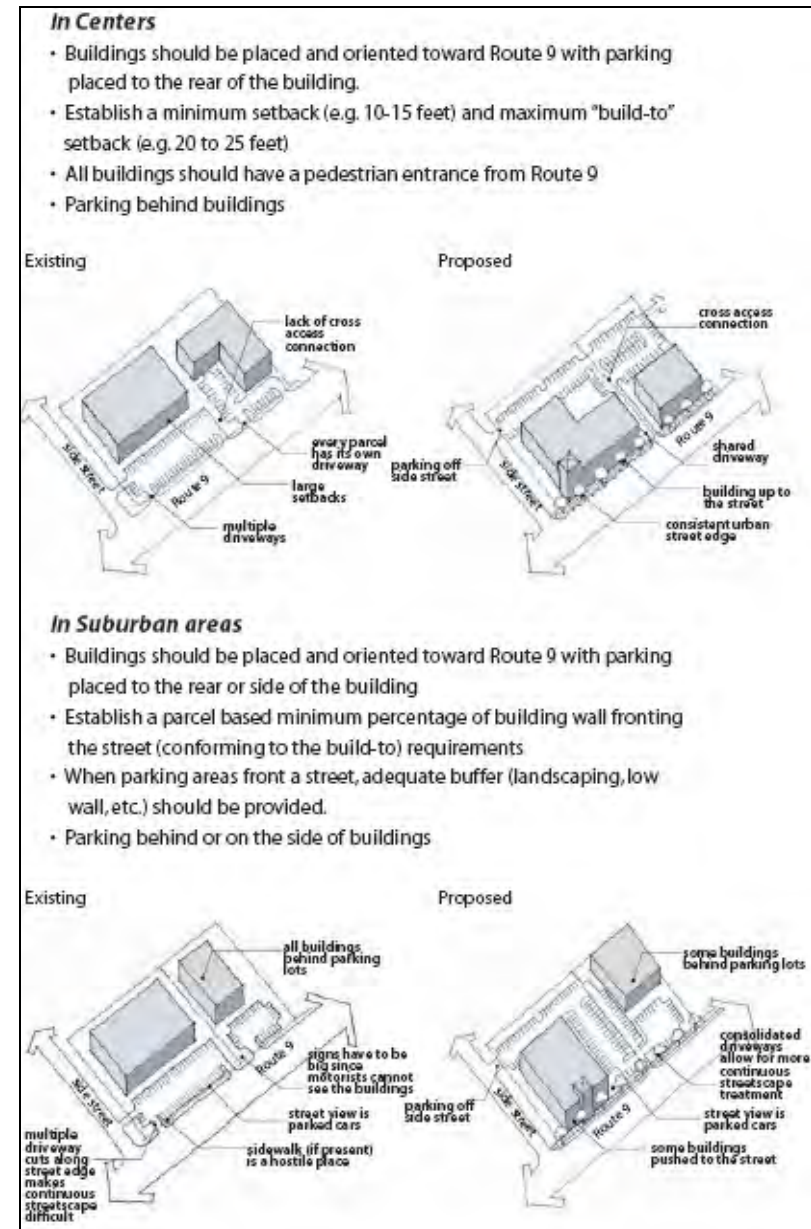
Non-residential development located along Route 9 also will follow a building form that reflects the maritime theme of the Waretown Town Center. The overall intent is to oriented buildings towards Route 9 with parking to the rear.

This approach is graphically depicted in the accompanying series of renderings.

Single-family Detached and Attached Residential

Single-family attached and detached dwellings must be oriented to the street in a traditional block pattern creating an attractive streetscape with minimal breaks for driveways or alleyways serving the units in the block. Garages shall be accessed via alley ways on the interior of each block. Parking areas for townhouse buildings shall be oriented to the interior of the block.

The architecture of the single-family detached and attached housing shall be traditional Jersey Shore housing style. The architecture shall provide for decorative front building facades for all building sides that face roadways and internal driveways. Exterior façades shall be designed in a late 19th – early 20th century worker’s Victorian or foursquare style, and will incorporate wood clapboard or shingle siding, wide porches, broad gables or cross gables, dormers, windows with grilles and stone foundations. Materials chosen for this project shall include self-sealing roof shingles, simulated wood shake, metal roof highlights and synthetic stone veneers.



3.4 Architectural Design Elements

All rooftop mechanical equipment and other appurtenances shall be concealed by or integrated within the roof form and screened from the view of all adjoining properties and building floors or nearby streets. The following, when above the roofline, requires screening: stair wells, elevator shafts, air conditioning units, large vents, heat pumps, and mechanical equipment

All wall-mounted mechanical, electrical, communication, and service equipment, including satellite dishes and vent pipes, shall be screened from public view by parapets, walls, fences, landscaping, or other approved measures.

Solid security gates or solid roll-down metal windows shall not be permitted. Link or grill-type security devices shall be permitted only if installed from the inside, within the window or door frame. Security grills shall be recessed or concealed during normal business hours.

All exterior building materials and colors shall be subject to the review and approval of the Redevelopment Committee

3.5 Streetscape Design

All streetscape elements shall comply with Ocean Township Ordinance 2007-31. This Ordinance provides specifications for Litter Receptacles, Recycling Receptacles, Bollard Bike Racks, Bike Racks, Light Pole & Fixtures and Benches as follows:

Benches: All benches shall be Model 119-60, six foot long metal bench from DuMor Site Furnishings - Black



Receptacles: All receptacles shall be DuMor Site Furnishings Model 102-32SH, Thirty-two gallon all-steel receptacle with steel shield and tapered flat cover lid – Black



Recycling Receptacle: DuMor Site Furnishings Model 102-32SH – Thirty-two gallon all-steel receptacle with steel shield and RC-Recycled Lid “Cans & Bottles Only” – Black



Bike Rack: Urban Accessories –Model D – Black. Length 6 feet or as approved by Redevelopment Committee.



Bollard Bike Rack: Maglin Site Furniture Incorporated Mode MBR200 – direct burial bollard - Black

See Section 3.9.3 of this Plan for requirements for placement and quantity of bicycle racks and bicycle storage facilities.

Site Lighting: Pole & Fixture – King Luminaire K-199 on a Cleveland Style pole to 13 foot mounting height.



Bus Shelters & Kiosks

Appropriate design features will be incorporated to accommodate potential bus or shuttle service. Features may include such elements as shelters and pull-off lanes located within reasonable proximity to the clubhouse. While a specific model is not specified here and will be subject to final approval

of the Redevelopment Committee, such site amenities shall complement each other and generally follow the style depicted below. The bus shelter is by Duo-gard™, and the kiosk is by Maglin (MLK-103 with accessory roof).



Duo-gard™ Bus Shelter



Maglin Kiosk (MLK-103)

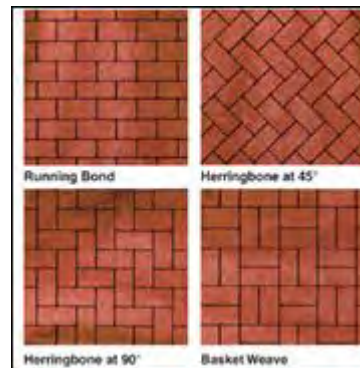
Street & Shade Trees

All street frontages should be planted with street trees at an average spacing of 30 to 40 feet consistent with Ordinance 2006-21 and the project’s overall landscaping and open space plan and Figure 4 of this Plan. Light foliaged trees are encouraged in front of commercial uses to increase visibility of signage.

Paved Surfaces

Public rights-of-way will be designed to meet all local, state and federal standards. All pedestrian crossings will utilize kiln-fired red brick in a 45 degree Herringbone design with a Running Bond edging.

Typical Brick Paving Patterns



The paving patterns shown at left shall be applied to the pedestrian walkways within the redevelopment project, with final design and material selection subject to the approval of the Redevelopment Committee. In general, running bond patterns should be used for pedestrian-only walkways, 90 degree herringbone pattern for areas which require limited vehicular traffic and Basket Weave for plazas and other larger spaces such as the image below.



3.6 Site Landscaping

Any portion of the redevelopment area that is not absolutely required for buildings or parking will be devoted to public plazas and green space. These areas will be designed to provide:

- Amenities for the residents, employees, shoppers and visitors to the site.
- A lively human-scale street environment.
- Protection for environmentally sensitive resources.
- Mitigation of “heat island” effects.
- Minimize use of potable water for irrigation
- A workable pedestrian and bicycle circulation system.

The redeveloper will prepare a landscaping and open space plan for review by the Redevelopment Committee. The plan

will be prepared by a landscape architect licensed in New Jersey and specifically address and demonstrate how each of the above objectives is achieved. Section 18.48 of the Ocean Township Zoning Ordinance shall be complied with, except that the Redevelopment Committee shall have jurisdiction over the buffers as provided in Section 18.48.010(B). No application for Site Plan Approval shall be submitted to the Planning Board until the Landscape Plan has been reviewed and approved by the Redevelopment Committee.

3.7 Exterior and Street Lighting

General

All exterior lighting shall be designed to prevent glare onto adjacent properties. Pedestrian pathways need to be clearly marked and well lit. Lighting should be sufficient for security and identification without allowing light to trespass onto adjacent sites. Use of minimum wattage metal halide or color-corrected sodium light sources is encouraged. Non-color corrected low-pressure sodium are prohibited. When available, LED (Light-Emitting Diode) fixtures may be required to be used.

Light fixtures attached to the exterior of a building shall be architecturally compatible with the style, materials, colors, and details of the building and shall comply with the Township building codes. The type of light source used on the exterior of buildings, signs, parking areas, pedestrian walkways, and other areas of a site, and the light quality produced, shall be the same or compatible. Facades shall be lit from the exterior, and, as a general rule, lights should be concealed through

shielding or recessed behind architectural features. The use of low-pressure sodium, fluorescent, or mercury vapor lighting, either attached to buildings or to light the exterior of buildings, shall be prohibited. Mounting brackets and associated hardware should be inconspicuous.

Spacing and Heights

Decorative lampposts, as specified herein, not greater than 13 feet in height, shall be provided at regular intervals along all commercial or mixed-use streets, parking areas, sidewalks, walkways, courtyards, community greens, and interior open spaces in the Redevelopment Plan Area. Lighting standards shall be consistent throughout the redevelopment area. In parking lots, post heights may be extended to a maximum of 16 feet.

3.8 Signage

The redeveloper will prepare a comprehensive sign plan as part of the site plan process that will identify, locate and illustrate each proposed sign within the project. The sign plan should conform to Chapter 15.52 of the Township Code and demonstrate to the satisfaction of the Ocean Township Redevelopment Committee and/or Planning Board that the absolute minimum amount of signage is being used and that the following performance standards have been met:

- The requested signage is necessary for the reasonable identification of the redevelopment area tenants.
- The requested signage will not contribute to visual clutter.
- The requested signage will not present any safety hazards.

- The requested signage will complement the architectural style of the development.
- All signs will be professionally designed and constructed of a durable material.
- No sign will be illuminated in a manner that permits any light to shine or cause a nuisance to an adjacent residential use.
- Freestanding signs will be consolidated at strategic locations, be limited to the name and logo of the project or center and be ground-based as opposed to pole-mounted.
- Tenant directory signs will be located internal to the site and away from the right-of-way.
- Façade signs will complement and not interfere with, be out of proportion with, or cover over a building's architectural details.

Wall-Mounted Signs Wall-mounted signs shall conform to the following standards:

- a. The sign shall be affixed to the entrance facade of the building.
- b. The area of the signboards shall comply with Section 15.52.070 (4) of Chapter 15.52 of the Township Code.
- c. No part of a sign shall be higher than 15 feet above the front sidewalk elevation, and shall not extend above the base of the second floor windowsill, parapet, eave or building facade.
- d. Limited to one sign per business but one additional wall-mounted sign shall be permitted on any side or rear entrance which is open to the public for a maximum of two signs for any one business. Such wall sign may only

- be lighted by an exterior source during the operating hours of the business. No backlighting is permitted.
- e. Wall-mounted building directory signs identifying the occupants of a commercial building, including upper story business uses shall not extend above the parapet, eave or building facade.
- f. Applied plastic letters shall not be permitted.
- g. All wall-mounted signs shall be approved by the Planning Board.

Awnings

Buildings may have awnings or canopies, where appropriate, to complement the architectural style of a building, subject to the approval of architectural renderings by the Redevelopment Committee. The design of awnings and canopies will be architecturally compatible with the style, materials, colors and details of such buildings and should not conceal significant architectural features, such as cornices, columns, pilasters or other trim details. Internally illuminated or backlit awnings and canopies are prohibited.

All ground-level awnings and canopies will comply with the following standards:

- a. The maximum height from ground level to uppermost portion of an awning or canopy will not exceed the height of the sill or bottom of any second story window or 15 feet whichever is less. In the case of single-story buildings, the maximum height will not exceed 12 feet or the top of the wall whichever is less.
- b. The minimum height from ground level to lowermost portion of awning or canopy will be eight feet.
- c. The minimum horizontal projection dimension of an awning from the building wall, including any appurtenances, will not be feet from the building face. Awnings may project over a public sidewalk but will not be closer than two feet of the vertical plane of the curb edge or the edge of any other public right-of-way.
- d. The maximum total vertical dimension of an awning will not exceed the total horizontal projection dimension.
- e. An awning's surfacing material will be constructed of canvas, cloth or vinyl.
- f. No awning will contain more than two colors plus white. The color of any sign messages or other graphic features will be included in the number of colors. The colors must be compatible with the architectural color scheme of the entire building.
- g. On buildings with multiple storefronts, compatible awning and canopy frame styles will be used as a means of unifying the structure.
- h. A business at street level may include identification signage on a canopy or awning subject to the restrictions of Section 15.52.070(11) of Chapter 15.52 of the Township Code.

3.9 Parking and Loading

3.9.1 Surface Parking

Whenever possible, surface parking should be located to the rear of the building. No parking areas shall be permitted between the street right-of-way and the front façade of a building. Parking lots adjacent to street rights-of-way shall be screened with either a landscaped buffer or a solid wall or equivalent “edge” treatment, architecturally integrated into the overall site development. All off-street parking areas shall be set back a minimum 13 feet from a right-of-way.

Parking lot layout, landscaping, buffering, and screening shall be provided to minimize direct views of parked vehicles from streets and sidewalks, avoid spillover light, glare, noise, or exhaust fumes onto adjacent properties, and provide the parking area with a reasonable measure of shade, when trees reach maturity. In order to achieve these objectives, parking lots exposed to view shall be surrounded by a minimum four foot high, year-round visually impervious screen, or hedge, or three foot high wall. The height of any required screen, hedge or wall shall decrease where driveways approach sidewalks or walkways, in order to provide adequate visibility of pedestrians from motor vehicles, and shall not interfere with clear sight triangle requirements.

Surface lots shall be extensively landscaped. Tree islands are recommended at the ends of each aisle and interspersed within aisles to provide visual relief from long expanses of parking and to guide circulation. In addition, surface parking areas shall be broken up into sections separated from other

sections by streets, buildings or a landscaped island wide enough to incorporate a pedestrian walkway flanked by five foot minimum planting strips to support medium sized shade trees or ornamental trees. The pedestrian walkways shall be designed into the overall pedestrian and bicycle circulation system within the project.

All surface parking lots shall include shade trees, with a caliper of 2.5 inches minimum. The equivalent of one shade tree per 10 spaces is required in landscape islands, and around parking areas.

3.9.2 Pedestrian Circulation

Safe provisions for pedestrian access to and through a parking lot shall be required, including striping, enhanced pavement markings, brick or paver crosswalks and traffic calming features. Surface parking areas and pedestrian walkways connecting to them shall have sufficient lighting in accordance with Township standard.

3.9.3 Bicycle Facilities

Bike racks, Bike bollards or lockers shall be provided in close proximity to all commercial uses in Mixed-use buildings. Racks may be located at a store entrance or at a central location connected by pedestrian walkways but not in such a manner as to impede pedestrian flow. The equivalent of a minimum of one bike rack per store entrance is required. Bicycle storage facilities shall also be provided for at least 15% of the occupants of residential dwelling units within the project.

3.9.4 On-Street Parking

Parallel or angled parking shall be permitted along both street sides in locations deemed safe for vehicular, bicycle and pedestrian circulation by the Board Engineer.

3.9.5 Parking Calculations

3.9.5.1 *Number of Spaces*

The required number of parking spaces for residential uses shall conform to the Residential Site Improvement Standards (RSIS). Parking for retail space shall be based on 4 spaces per 1,000 square feet and parking for office uses shall be based on 3 spaces per thousand, or as approved by the Redevelopment Committee and/or Planning Board.

3.9.5.2 *Shared Parking*

Shared parking shall be encouraged for parking lots serving mixed-use commercial and residential buildings. Where necessary, the Planning Board may permit a limited amount of parking to be reserved either for residential or specified commercial uses only; or may restrict the hours that certain spaces are to be used for residential or commercial uses only.

The designated redeveloper responsible for the development of a property in the Redevelopment Plan Area seeking to satisfy its parking requirement using a shared parking approach shall prepare a parking report and/or provide detailed parking testimony to the Planning Board that documents how an adequate supply of parking spaces will be provided to satisfy projected parking demand.

3.9.6 Loading and Service Areas

Service and/or loading areas must be located to the side or rear of buildings unless a more appropriate location is approved by the Planning Board. Screening and landscaping shall be provided to minimize direct views of the loading areas and their driveways from adjacent properties or from the public right-of-way. Screening and buffering shall be achieved through walls, fences, and landscaping. Screening shall be a minimum of six feet high and shall be visually impervious. Recesses in the building, or depressed access ramps, may be used.

Shared refuse storage facilities shall be utilized where available and practical. The storage of refuse shall be provided inside building(s) or within an outdoor area in the rear of the property, screened around the perimeter by walls faced with brick or stone at a minimum height of seven feet with a gate or door. Such a wall shall be capped on the top.

3.9.7 Provisions Related to Off-Site Improvements

The designated redeveloper or other such party responsible for the development of a property in the redevelopment area will be responsible for their fair share of any installation or upgrade of infrastructure related to their project whether on-site or off-site including improvements to Route 9. Infrastructure items include but are not limited to gas, electric, water, sanitary and storm sewers, traffic control devices, telecommunications, streets, curbs, sidewalks, street lighting

and street trees. The Township and redeveloper will work in partnership to overcome access and traffic circulation issues with the NJDOT to enable an orderly, safe, and efficient re-routing of traffic through and around the Redevelopment Plan Area.

The extent of the redeveloper's responsibility will be outlined in the redeveloper's agreement with the Township. Off-site responsibility for properties not covered under the redeveloper's agreement will be determined during the permit and/or site plan review phases.

All infrastructure improvements will comply with applicable local, state and federal codes including the Americans with Disabilities Act. All utilities will be placed underground.

Section 4. Land Use and Regulating Plan

4.1 Land Use Plan

The TC District of the Waretown Town Center is intended to be a mixed-use community that provides a variety of residential, commercial, and recreational opportunities for residents and visitors. Figure 5 depicts the Land Use Plan for the TC District, which was developed according to the articulated vision for the Waretown Town Center. The Land Use Plan provides for the following land use types:

1. Mixed Use-1 (Highway Commercial and Neighborhood Commercial Mixed Use): This land use designation provides the opportunity for the development of highway-oriented commercial uses along frontage with Route 9, while allowing for neighborhood-scale mixed use (residential and non-residential) development within the TC District. Multi-family residential development also is an option along the non-Route 9 street frontage.
2. Mixed Use-2 (Neighborhood Commercial and Single-Family Attached Residential): Provides for the development of neighborhood-scale mixed use (residential and non-residential) and townhome-style buildings.
3. Multi-Family Residential: Allows for the development of multi-family residential buildings.

4. Parks and Open Space: Provides for the development of active recreation facilities and for the preservation of existing open space.
5. Residential (Single-Family Attached or Multi-Family): Permits the development of townhome-style or multi-family residential buildings
6. Residential (Single Family Attached): Permits the development of townhome-style residential buildings.
7. Residential (Single Family Detached): Permits the development of small lot, single family detached residential homes.

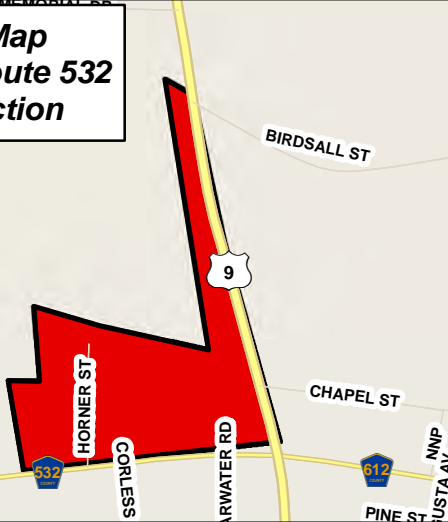
4.2 Regulating Plan

While the land use plan for the Town Center District established herein regulates the types and location of uses permitted within the Town Center, it is the intent of this plan to also govern the form and mass of buildings within the Town Center. To that end, this plan establishes a Regulating Plan for the TC District that will guide the physical appearance and form of buildings with the district.

The Regulating Plan, as depicted in Figure 6, establishes five building form types. These building form types and their descriptions are as follows:

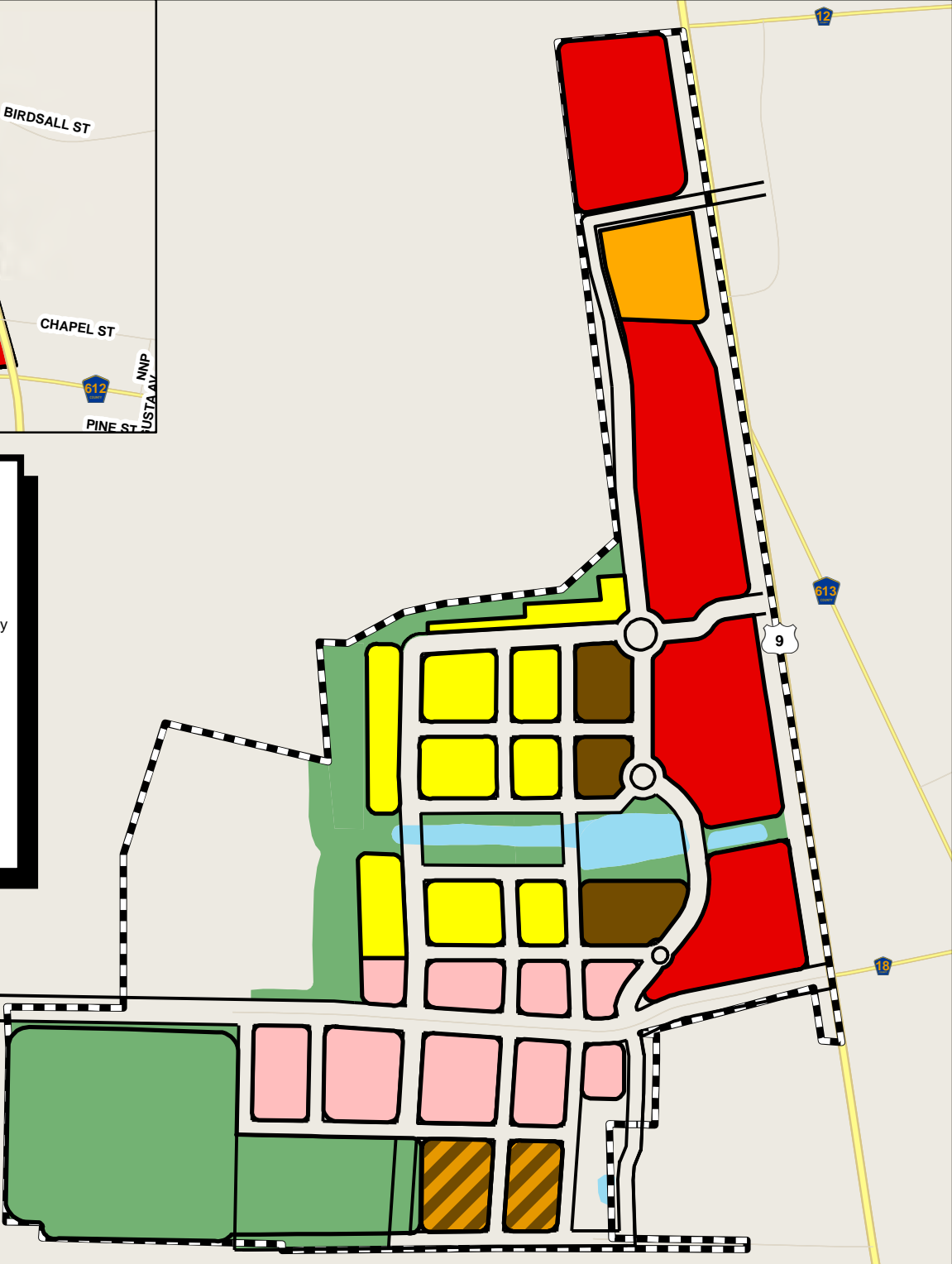
1. A-Type: A-Type buildings are characterized by their orientation toward Route 9 and their resemblance to conventional shopping center developments, although with enhanced design elements consistent with the vision of the Town Center. A-Type buildings are capable of accommodating a variety of commercial uses and are able to accommodate single and or multiple uses in one building. A-Type buildings shall be no more than one story in height. A-Type buildings shall incorporate architectural elements and wall breaks as required by the regulations herein. While these buildings will be oriented toward Route 9, they shall be set back from the County bikeway. Parking will be provided in the rear of A-Type Buildings in accordance with Section 3 of this plan.
2. B-Type: B-Type buildings are neighborhood scale mixed-use buildings that provide non-residential floor area on the ground floor and incorporate residential dwelling units on the upper floors. B-Type buildings shall be no more than two and one half (2.5) stories. B-Type buildings shall be built in accordance with the build-to line for each block. B-Type buildings shall incorporate architectural elements as outlined in this plan. Any parking associated with B-Type buildings is required to be located at the rear of the buildings as describe in Section 3 of this plan.
3. C-Type: C-Type buildings are neighborhood-scale multi-family residential buildings. C-Type buildings shall be built in accordance with the build-to line for each block. Layout and design of C-Type buildings shall provide an environment that encourages walkability and social interaction between private and public spaces. C-Type buildings shall be no more than two and one half (2.5) stories in height. All associated parking shall be at the rear of the building as set forth in Section 3 of this plan.
4. D-Type: D-Type buildings are single family detached residential dwellings constructed on small lots and oriented to the street to provide a walkable environment for residents. D-Type buildings shall be built in accordance with the build-to lines for each block and shall incorporate front porches to encourage interaction between public and private spaces. Driveways and garages shall be incorporated into D-Type buildings at the rear of such buildings or lots and shall be accessible via a rear alley as depicted on the regulating plan. D-Type buildings shall not exceed two and one half (2.5) stories in height.
5. E-Type: E-Type buildings are townhome-style attached residential buildings. E-Type buildings shall be built in accordance with the build-to line for each block and shall provide a porch or stoop to provide an environment that encourages walkability and social interaction between private and public spaces. E-Type buildings shall not exceed two and one half (2.5) stories in height. Townhome buildings in the Ocean Commons sub-district shall be regulated in accordance with the plan for that sub-district.

**Inset Map
Route 9/Route 532
Intersection**



Land Use Types

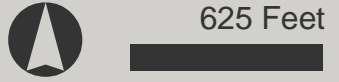
- Mixed Use-1 (Highway Commercial and Neighborhood Commercial Mixed-Use) ■
- Mixed Use-2 (Neighborhood Commercial and Single-Family Attached Residential) ■
- Multi-Family Residential ■
- Parks and Open Space ■
- Residential (Single Family Attached or Multi-Family) ■
- Residential (Single Family Attached) ■
- Residential (Single Family Detached) ■



**Figure 5
Land Use Map
Waretown Town Center
Township of Ocean
Ocean County
New Jersey**

Legend

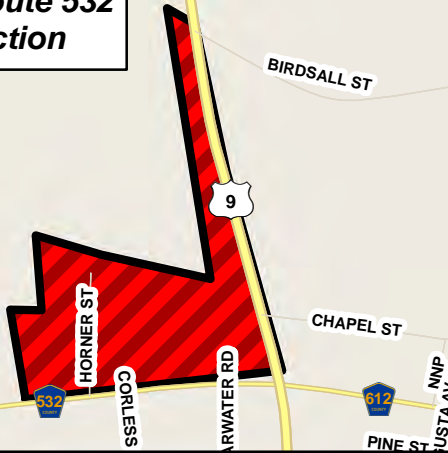
- Proposed Right-of-Way Lines
- Parks and Open Space
- Water Features
- Town Center (TC) Zone
- Interstate or Toll Route
- US or State Route
- County Route
- Local Road
- Ramp







11 Tindall Road
Middletown, NJ 07748-2792
Phone: 732-671-6400
Fax: 732-671-7365

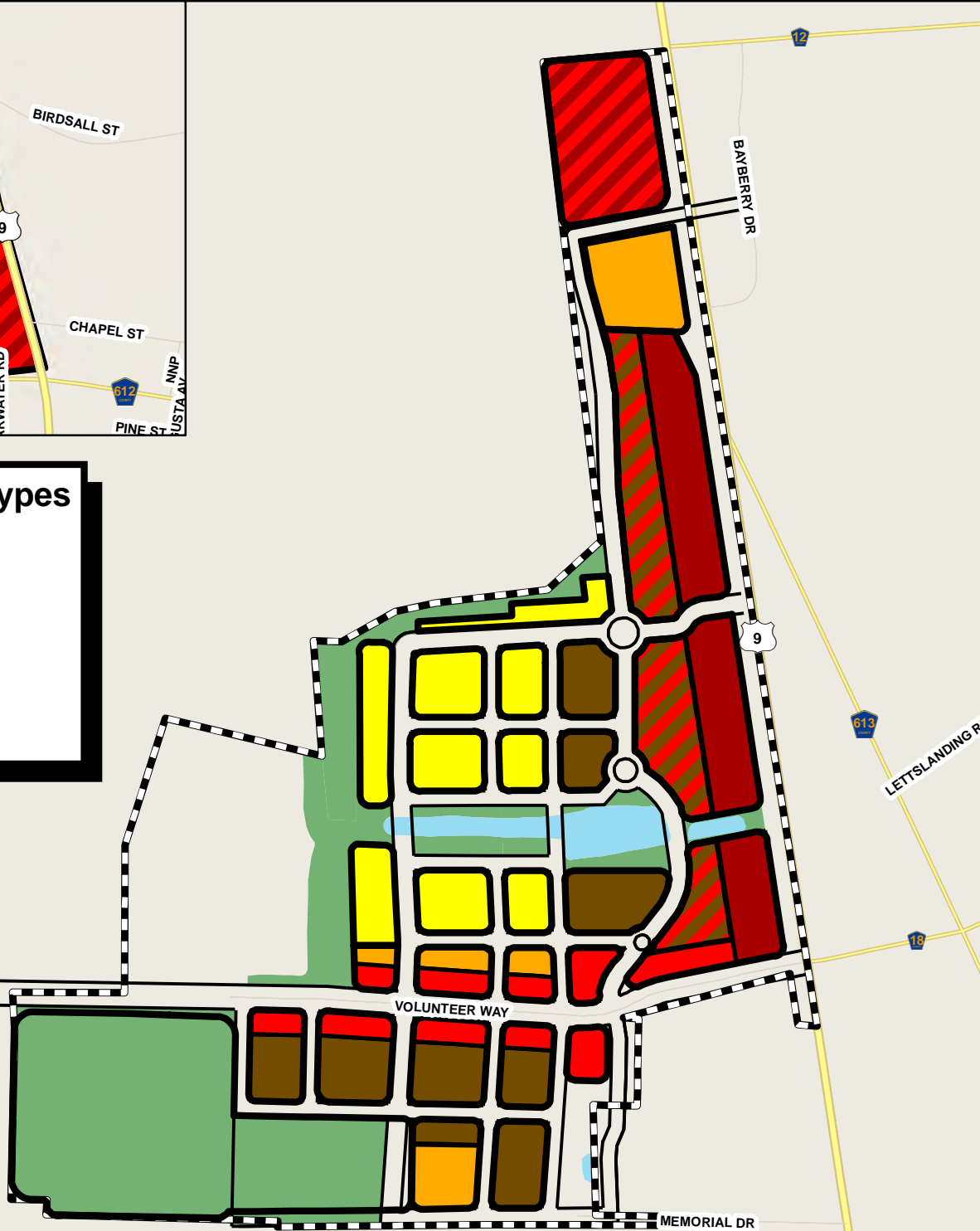
NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State authorized.
Prepared by: ARR, 3/19/2013
Source: NJGIN, NJDEP, Ocean Township, FEMA
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**Inset Map
Route 9/Route 532
Intersection**












Building Form Types

-  A Type
-  B Type
-  C Type
-  D Type
-  E Type
-  A or B Type
-  B or C Type



**Figure 6
Regulating Plan
Waretown Town Center
Township of Ocean
Ocean County
New Jersey**

Legend

-  Proposed Right-of-Way Lines
-  Parks and Open Space
-  Water Features
-  Town Center (TC) Zone
-  Interstate or Toll Route
-  US or State Route
-  County Route
-  Local Road
-  Ramp



650 Feet



T&M
ASSOCIATES

11 Tindall Road
Middletown, NJ 07748-2792
Phone: 732-671-6400
Fax: 732-671-7365

NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State authorized.

Prepared by: ARR, 3/19/2013
Source: NJGIN, NJDEP, Ocean Township, FEMA
H:\OTWP\00420\GIS\Projects\Fig6_RegulatingPan.mxd

Section 5. Relationship to the Land Use and Zoning Ordinance

5.1 Master Plan

The Township of Ocean and its Planning Board have adopted a number of planning documents, reports, and studies through the years. Among these documents are the:

- 1999 Master Plan Update - 1999
- 2000 Economic Redevelopment Plan - June 2000
- 2001 Master Plan Reexamination Report - April 19, 2001
- Community Forestry Plan 2002 – 2007 - January 15, 2002
- 2002 Open Space and Recreation Plan - September 12, 2002
- 2003 Amended Land Use Plan Element - April 21, 2003
- Route 9 – Phase I Redevelopment Plan - July 9, 2004
- Amended Land Use Plan Element, Circulation Plan Element and Master Plan Reexamination – December 14, 2005
- Land Use Element Amendment Environmental Conservation (EC) and Bayfront Conservation (BC) Areas – October 5, 2006
- 2007 Economic Redevelopment Plan Amendments – December 2007
- Zoning Map Amendments – November 13, 2008
- 2008 Housing Element and Fair Share Plan – December 2008

Regarding land use issues in the Township, the 2005 Reexamination Report reaffirmed the following Community Goals and Objectives from previous plans and recommended several new goals as follows:

“The Amended Land Use Plan Element is designed in a manner consistent with the “Smart Growth” policies promoted in New Jersey’s State Development and Redevelopment Plan (State Plan). The State Plan’s overall vision is to promote development and redevelopment that will consume less land, deplete fewer natural resources and use the State’s infrastructure more efficiently. Therefore, the Township’s Land Use Plan Element is designed to guide future development into areas where infrastructure is available and to limit growth in environmentally sensitive areas”. (Page 1 – 2003 Amended Land Use Plan Element)

5.1.1 General Goals

- Create an attractive, diverse, and vibrant center consisting of mixed-use development, open space, civic buildings and residential uses.
- Create safe trail linkages between the destination nodes in the center, municipal facilities, elementary schools, and the Barnegat Bay (Across Route 9),

5.1.2 Land Use Goals

- Create a pedestrian friendly town, easily accessible from neighboring residential areas.

- Develop a Center at a density that creates a sense of place, encourages pedestrian activity and uses infrastructure efficiently.

5.1.3 Environmental Goals

- Protect environmentally sensitive lands and direct growth towards areas of Township with existing infrastructure.

5.1.4 Housing

- Encourage a variety of housing types suiting the needs of all income and age levels.
- Incorporate low and moderate income housing in centers.

5.1.5 Circulation

- Create pedestrian walkways, bikeways, and other pathways to enhance both the ability and desirability of walking and bicycling.
- Design the interior roadways of the Center to meet the needs of the car, pedestrian and bicyclists.
- Establish trails and greenways linking neighborhoods, schools, recreational facilities, community facilities and the Town Center.

5.1.6 Design

- Create building design which ensures privacy, safety and contributes to the long-term desirability of the community.
- Create small-town charm as a key design element for future development.

The goals and objectives of the redevelopment plan are designed to effectuate these overall goals and objectives as stated in the Township's comprehensive planning documents. Therefore, the redevelopment plan is consistent with the Township's Master Plan and Master Plan Reexamination Report.

5.2 Zoning Ordinance

5.2.1 Zoning Superseded

Accept as described in Section 5.2.2, the standards contained within this redevelopment plan and form-based code shall supersede the applicable regulations in the Ocean Township Land Use and Zoning Ordinance governing this area or any previously adopted redevelopment plan where those regulations and requirements conflict with this plan. In the case where a particular land use, development regulation, or site standard is not addressed in this Redevelopment Plan, the original Economic Redevelopment Plan, or the 2007 amendment to the Economic Redevelopment Plan, compliance with the Ocean Township Land Use and Zoning Ordinance or other applicable Ocean Township code or ordinance will be required.

5.2.2 Mixed-use Overlay Sub-Districts

For the two Mixed-use overlay sub-districts, these standards shall act as an overlay to the underlying C-1 Commercial District standards unless as otherwise specified herein. The

Township Zoning Map shall be amended to restore the underlying C-1 District designation for these areas.

5.3 Zoning Map Amendment

The Zoning Map of the Township of Ocean was amended on November 18, 2008 to delineate all of the redevelopment districts in the Waretown Town Center, including the TC Town Center District. This redevelopment plan and the various sub-districts specified herein shall constitute an amendment to the Township's current zoning map to reflect the TC District and its respective sub-districts.

Section 6. Acquisition and Relocation

6.1 Acquisition

The Township does not anticipate that there will be a need to identify any properties for acquisition as part of this plan. However, the Township reserves the right to use its authority to clear any easements or other title restrictions that may prevent the development of the area in accordance with the redevelopment plan.

6.2 Relocation

No relocation of any household or business is contemplated as part of this plan.

Section 7. Significant Relationships to Other Plans

7.1 Plans of Adjacent Municipalities

Ocean Township shares its municipal border east of the Garden State Parkway with Barnegat Township to the south and Lacey Township to the north. All three municipalities share portions of the Route 9 Corridor through Ocean County. The Route 9 Corridor Master Plan, produced by NJDOT in 2005, provides recommendations that are completely in alignment with this Redevelopment Plan as show in the excerpt to the right.

7.2 Ocean County Master Plan

The Ocean County Master Plan was adopted in December 1988. The following county goals are relevant to this Redevelopment Plan:

- Continue to provide a coordinated management program to control the spatial development of the County by directing new growth to environmentally suitable areas which can be provided with essential infrastructure and support facilities.
- Promote the provision of a broad range of housing opportunities for all income levels and household types by encouraging the maintenance or rehabilitation of the

existing housing stock and through the construction of new housing units.

- Promote the development of an improved and balanced, multi-modal transportation system which integrates the highway system with bus, rail, and waterborne transport systems.
- Continue the economic development efforts of the County to reduce unemployment provide year-round employment opportunities and enhance the tax base by encouraging compatible industrial and commercial operations to locate or expand in Ocean County.

In addition, growth areas were identified to provide an objective measure of development opportunities and constraints within the county. The redevelopment area is identified as a “maximum growth area.” Growth areas were determined based on environmental features, ability to accommodate increased land use activity, growth trends, area development patterns, local zoning policies, water supply, wastewater treatment facilities, and transportation facilities (accessibility to major highways and travel distance to major commercial and shopping facilities). The development criteria associated with maximum growth areas include:

- Infill of vacant lands within existing developed areas;
- Redevelopment of existing developed areas consistent with land use and density guidelines; and

- Serviced by an existing wastewater treatment system with sufficient capacity to provide treatment for increased wastewater flows.

The TC Town Center District Redevelopment Plan is consistent and compatible with these goals and objectives.

7.3 New Jersey State Development and Redevelopment Plan (SDRP)

The Redevelopment Plan Area is located in a Town Center (Waretown Town Center) designated through Plan Endorsement in 2005. The Waretown Town Center Economic Redevelopment Plan and TC Town Center District Redevelopment Plan are compatible with the State Plan's intention for the Centers, which is: to provide for much of the state's future development; provide growth in centers and other compact forms; protect the character of existing stable communities; protect natural resources; redesign areas of sprawl; reverse the trend toward further sprawl; and revitalize cities and towns.

This plan will move Ocean Township several steps forward toward the realization of one of the State Plan's major objectives – providing alternatives to sprawl by planning for and creating new “communities of place”. In addition, the plan would achieve the following State Plan goals:

- Promoting beneficial economic growth – The Waretown Town Center will provide a focal point for future economic activity in the Township. It is expected that a higher

quality and greater diversity of goods and services will be available to residents than is currently found in the strip developments that characterize the Route 9 corridor.

- Ensuring cost-effective delivery of infrastructure – The State Plan offers centers as the model for cost-effective delivery of infrastructure.
- Preserving and enhancing the quality of community life – Centers provide a focal point for the community as a whole and a vibrant, human-scaled living environment for those who live and work in the center.
- Preserve and enhance areas with historic, cultural, scenic open space and recreational value – An open space plan has been incorporated into the overall plan as depicted in the corresponding maps.

7.4 New Jersey Pinelands Commission

Approximately half of the Township of Ocean, the portion west of the Garden State Parkway, falls under the jurisdiction of the Pinelands Commission. The Town Center is not within the Commission regulated portion of the Township (i.e., the “Pinelands Area”).

Section 8. Amendments and Completion

8.1 Amending the Redevelopment Plan

This plan may be amended from time to time in accordance with the procedures of the Local Redevelopment and Housing Law. To the extent that any such amendment to the redevelopment plan materially affects the terms and conditions of a duly executed redevelopment agreement between a redeveloper and Ocean Township, the provisions of the redevelopment plan amendment will be contingent upon the amendment of the redeveloper agreement to provide for the plan amendment.

8.2 Certificate of Completion and Compliance

Upon the inspection and verification by Ocean Township's Redevelopment Entity that the redevelopment of any parcel or area within the redevelopment plan area has been completed in accordance with an executed Redevelopment Agreement, a Certificate of Completion and Compliance will be issued to the redeveloper and such parcel or area will be deemed no longer in need of redevelopment.

The redevelopment plan will remain effective until the Redevelopment Plan Area has been redeveloped and deemed no longer in need of redevelopment by the Ocean Township Committee.

Section 9. Procedural Requirements

9.1 Redevelopment Entity Review

The Township Governing Body acting as the Redevelopment Entity shall review all proposed redevelopment projects within the redevelopment area to ensure that such project(s) is consistent with the Redevelopment Plan and relevant redeveloper agreement(s). Such review shall occur prior to the submission of the redevelopment project(s) to the Planning Board. As part of its review, the Redevelopment Entity may require the redeveloper to submit its proposed project to a technical review committee or subcommittee of the Redevelopment Entity. The technical review committee may include members of the Redevelopment Entity and any other members and/or professionals as determined necessary and appropriate by the Township. The technical review committee shall make its recommendations to the Redevelopment Entity.

In undertaking its review, the Redevelopment Entity shall determine whether the proposal is consistent with this Redevelopment Plan and relevant redeveloper agreement(s) as well as the overall vision and goals and objectives of the Waretown Town Center. In addition, the review may address the site and building design elements of the project to ensure that the project adequately addresses the goals and objectives of the plan.

9.2 Planning Board Review

Subsequent to the review of the Redevelopment Entity and determination that the project is consistent with the redevelopment plan, all development applications for development of sites governed by the TC District Redevelopment Plan shall be submitted to the Township Planning Board for review and approval in accordance with N.J.S.A. 40A12A-13.

The Planning Board shall conduct site plan and subdivision review, if applicable, pursuant to N.J.S.A. 40:55D-1 et seq.

Section 10. Definitions

Auto Dependent Design: The construction of buildings and development to accommodate the car as the only method of transportation to and from a site or development (i.e., drive through windows, plentiful parking located in front of entrances; wide road lanes with no on street parking, sidewalks, or accommodation for pedestrian and bicycle access.

Alley: A publicly or privately owned secondary roadway which provides access to the side or rear of abutting properties.

Arcade/Colonnade: A covered walk enclosed by a succession of arches that are supported by columns or piers.

Awning: A secondary covering attached to the exterior wall of a building, typically above a window, door or above the area along a sidewalk.

Balcony: a platform projecting from the wall of a building supported by columns or console brackets and enclosed with a balustrade.

Baluster/Balustrade: a molded shaft made of stone, wood, or metal that stands on a unifying footing and supports a handrail, forming a balustrade.

Build-to Line: The line at which construction of a building is to occur on a lot or block. A build-to line runs parallel to the front property line and is established to create an even building façade line on a street (see also, Required Build Line).

Building, A Type: buildings that are characterized by their orientation toward Route 9 and their resemblance to conventional shopping center developments, although with enhanced design elements consistent with the vision of the Town Center. A-Type buildings are capable of accommodating a variety of commercial uses and are able to accommodate single and or multiple uses in one building.

Building, B Type: B-Type buildings are neighborhood scale mixed-use buildings that provide non-residential floor area on the ground floor and incorporate residential dwelling units on the upper floors.

Building, C Type: C-Type buildings are neighborhood-scale multi-family residential buildings. C-Type buildings shall provide an environment that encourages walkability and social interaction between private and public spaces.

Building, D Type: D-Type buildings are single family detached residential dwellings constructed on small lots and oriented to the street to provide a walkable environment for residents.

Building, E Type: E-Type buildings are townhome-style attached residential buildings. E-Type buildings shall be built in accordance with the build-to line for each block and shall provide a porch or stoop to provide an environment that

encourages walkability and social interaction between private and public spaces.

Building Line: The line formed by the facades of buildings which creates a frame defining the public realm. Respecting building lines means to place walls or landscaping in such a manner as to continue the frame where there is an absence of buildings.

Cupola: A small structure on top of a building that crowns a large roof.

Design Review: A process where design characteristics of a project are reviewed for consistency with goals of the comprehensive plan and this Plan for proper neighborhood, site and building design. In the context of this ordinance, design review therefore includes a review of the neighborhood design for general issues such as layout of uses, connectivity of neighborhood areas, neighborhood focal points, and creation of a sense of place. It also includes review of specific plats for similar issues and more localized and specific issues such as the relationship of the plat to adjacent plats in the context of the Master Plan and the 2003 Amended Waretown Center Petition, consistency of plan layout and design to neighborhood themes, specific placement and design of key uses or buildings, and requirements for general building design and characteristics within the plat. Design review also includes specific sites and building design details; its façade and roof treatment, building style, orientation to sun and compatibility with plat conditions, etc.

Drip Line: An imaginary vertical line extending from the outermost portion of the tree canopy to the ground.

Expression Line: A visual break in a building wall expressed through architectural elements such as balconies, awnings, or another architectural feature designed to provide differentiation between the first story and second story of a building.

Facades: The vertical surface of a building which is set along a frontage line. The elevation of a façade is the vertical surface area. Facades are subject to visual definition by building height, setback lines, recess lines (a line prescribed for the full width of the façade above which the façade sets back. The location of a recess line is determined by the desired height to width ration of the enfronting space or by a desired compatibility with existing buildings), and transition lines (a line prescribed for the full width of the façade expressed by a variation of material or by a limited projection such as a cornice or balcony).

First Floor Elevation: The finished height of the lowest above ground floor of livable floor area. Livable floor area is defined as areas completely enclosed and climate controlled.

Flat Roof: Refers to the silhouette formed by a roof line. Flat roof lines infer a roof with no pitch. The actual roof structure is required to have a slope for drainage purposes. This is separate from the roof line which can be stepped or flat in appearance through architectural elements such as cornices, mansards, and parapets; or pitched as with residential homes.

Height: The vertical distance from the mean grade elevation taken at the fronting street side of a structure to the parapet or roof line of a flat roof, the eave of a pitched roof, or the deck line of a mansard roof. Towers, spires, steeples, and enclosed rooftop mechanical equipment are not counted in height measurements.

Impervious Coverage: All areas covered by buildings, pavement (not included ungrouted pavers for sidewalks), gravel, rooftops of store merchandise, i.e., cars and manufactured housing displays, even if located on grass surfaces.

Lot Area: The total area within the boundaries of a lot.

Marquee: A structure placed typically placed over the entrance to a building that displays signage stating the name of the establishment.

Massing: The shape and form a building takes on through architectural design. There are ten architectural design elements which create urban space.

1. Building Silhouette: Similar pitch and scale to a roof line.
2. Spacing between building facades: Setbacks or notches between primary facades that frames the structure.
3. Setback from property line: building setback and/or primary façade setback from property line.
4. Proportion of windows, bays and doorways: vertical or horizontal elements tied together in bands across façade length.

5. Proportion of primary façade: size of facades similar in area and height to width ratios.
6. Location and treatment of entryway: Important visual commonality between structures.
7. Exterior materials uses: similar materials and treatment add to detail and monumentality of a building.
8. Building Scale: Similarity of building height of configuration.
9. Landscaping: Ties together buildings and defines space.
10. Shadow Patterns Form Decorative Features: the light and dark surfaces from materials used and projections from windows, bays and setbacks create visual breaks.

Mechanical Equipment: All HVAC (heating, ventilation and air conditioning) equipment located on the roof of a building or outside a home or building.

Mixed Use: The presence of residential and nonresidential uses within the same building.

Off-street Parking: Parking which occurs on a lot and not on a street or any public right-of-way.

On Site, Off Site: Located on the lot relative to a use, or structure; or located off the lot relative to a use, or structure.

Open Space: Any area which does not consist of buildings, streets, rights-of-way, parking, or easements, and serves as a passive or active recreational area, or as pervious cover for watershed and habitat protection requirements.

Parking Area: All the area in square footage of land designated for the storage of cars. The parking area also includes all areas for storage and trash facilities.

Parking Setback Line: A line parallel to the property boundary line in front of which parking is not permitted.

Pedestrian Oriented Development: Development which accommodates the needs of the pedestrian. Such development will have parking to the side or rear of a building, will mix uses and provide them in proximity to one another, will allow the pedestrian the option or choice of not having the use of a car to accomplish certain trips, and will provide a variety of interesting and detailed streetscapes which balances the need of pedestrian and car equity.

Permitted Uses: Uses allowed within a designated land use plan or regulating plan.

Porch: An open, roofed structure supported by posts of columns attached to a residence that is oriented toward the front property line.

Property Line, Front: The front boundary line of a lot bordering the street or closest to the street. In the case of a corner lot, it is the frontage opposite the alley. In all other cases, the front property line shall be designated as the property line on which the main or front entrance to a building is oriented.

Rain Garden: a planted depression or a hole that allows rainwater runoff from impervious urban areas, like roofs, driveways, walkways, parking lots, and compacted lawn areas, the opportunity to be absorbed.

Required Build Line: A line parallel to the property line along which a building must be built (see also, Build-to Line).

Setback: The minimum distance between the building face and lot boundary line.

Shop front: A business or retail use. The façade of a shop front is aligned directly on the frontage line with the entrance at grade. This is typical for sidewalk retail. Shop fronts often have awnings or a colonnade. A transition line should separate the signage from the façade below.

Street Orientation: The direction of the architectural front façade of a building in relation to the street.

Street Vista: A view framed by buildings at the termination of the axis of a thoroughfare.

Stoop: A small platform and/or entrance stairway at a residential building entrance.

Trails: Pedestrian paths for walking or jogging within parkways or greenbelts. Trails are informal in design and run through natural settings. They differ from the formal design of promenades and esplanades in parks and squares.

Section 11. Form-Based Code

11.1 Purpose and Intent

- A. The Town Center District is intended to establish specific standards designed to govern the redevelopment of the Town Center District of the Waretown Town Center. These standards reflect and draw upon the principles of traditional neighborhood design and mixed-use development with regard to street layout and design, mixture of uses, and building placement.
- B. The Town Center District is provided to encourage and enable the creation of a new neighborhood that incorporates an interconnected network of pedestrian-oriented streets and includes a mixture of residential, recreational, and community-related commercial uses.
- C. The Town Center District regulations are intended to create compact neighborhoods which respect, preserve and create open space and environmentally sensitive areas, especially as it relates to parameters for preservation and encumbrance agreed upon by the Township and the New Jersey Department of Environmental Protection.
- D. The Town Center District is intended to enable the creation of a variety of housing options that are available to a variety of income levels, including designated affordable units as established in the Township's Housing Plan Element.

11.2 Town Center District Sub-Districts

- A. The following Sub-Districts shall govern development within the Town Center District:
 - 1. Town Center Core Sub-District
 - 2. Ocean Commons Sub-District
 - 3. Mixed-Use Overlay Sub-District
- B. Section 5 provides design standards for these districts.

11.3 Redevelopment Sub-District Design Standards

A. Town Center Core Sub-District

1. The Town Center Core Sub-District will be designed and structured as one neighborhood with vehicular and pedestrian connections to the Sub-Districts to the north and to the Phase I Route 9 Mixed-Use Redevelopment District to the south and east.
2. The Town Center Core Sub-District shall be developed in accordance with the block structure, roadway network, street hierarchy, land use plan and regulating plan established in the *TC Town Center District Redevelopment Plan*.
3. Permitted building types, Required Build Lines, parking setback lines, and general design standards shall adhere to the standards contained in Section 8 of this document.

B. Ocean Commons Sub-District

1. The Ocean Commons Sub-District is governed by the Ocean Commons Redevelopment Plan, which was adopted by the Ocean Township Committee on January 12, 2012.

C. Mixed-Overlay Sub-District

1. The Mixed-Use Overlay District Sub-Districts should be developed in a manner consistent with the land use plan and regulating plan established in the *TC Town Center District Redevelopment Plan*.
2. The physical form of development within these Sub-Districts may conform to the A Type and B Type Buildings as stipulated in the Regulating Plan, as well as the Required Build Lines, parking setback lines, and general design

standards contained herein. Alternatively, these Sub-Districts may be developed in accordance with the bulk and yard standards of the C-1 (General Commercial) Zone established by Title 18 of the Township of Ocean Code.

11.4 Lot Standards

A. The Lot Standards contained herein correspond to the building form types established by the Regulating Plan contained in the *TC Town Center District Redevelopment Plan*. These building form types must conform to the following lot standards:

Building Type/ Lot Standard	A Type	B Type	C Type	D Type	E Type
Minimum/Maximum Lot Width	150'/no max.	100'/no max.	100'/no max.	24'/50'	25'/35'
Minimum/Maximum Lot Area (sq. ft.)	20,000/ no max.	10,000/ no max.	10,000/no max.	2,400/5,000	2,000/3,600
Required Build Line	25'	0'	6'-12'	12'-15'	6'-12'
Required Parking Setback Line	50'	25'	25'	3'-5'	3'-5**
Required Side Yard Setback One/Combined	25'/50'	0'/0'	6'/12'	5'/10'	6'/12'***
Required Rear Yard Setback	20'	5'	5'	5'	5'
Maximum Building Height (stories)	1	2.5	2.5	2.5	2.5
Minimum First Floor Elevation	N/A	N/A	30"	30"	30"
Minimum Front Lot Line Building Frontage	65%	90%	80%	50%	70%

B. Buildings must also comply with the following provisions:

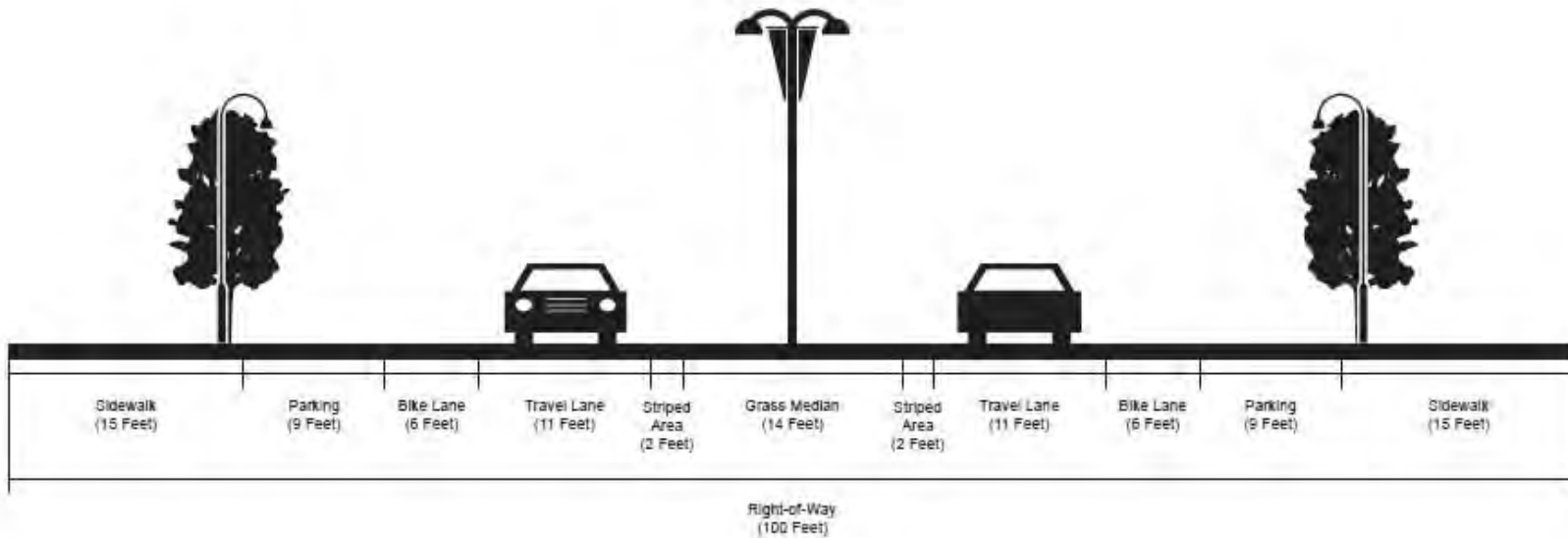
1. Each building shall have separate walls to support all loads independently of any walls located on an adjacent property.

2. The primary entrances for Americans with Disability Access (ADA) accessibility may be in the rear, convenient to parking.
3. Each building shall have an entrance facing a street.
4. Garages and driveways for D Type and E Type buildings will be provided at the rear of buildings and will be accessed via a rear alley or adjacent parking area that provides vehicular access to driveways and garages where applicable.
5. Each B Type building is required to have an awning/marquee, balcony, or colonnade/arcade. Refer to Section VIII for design requirements.
6. Front porches or stoops may occur forward of the Required Build Line, but shall not extend into the right-of-way.

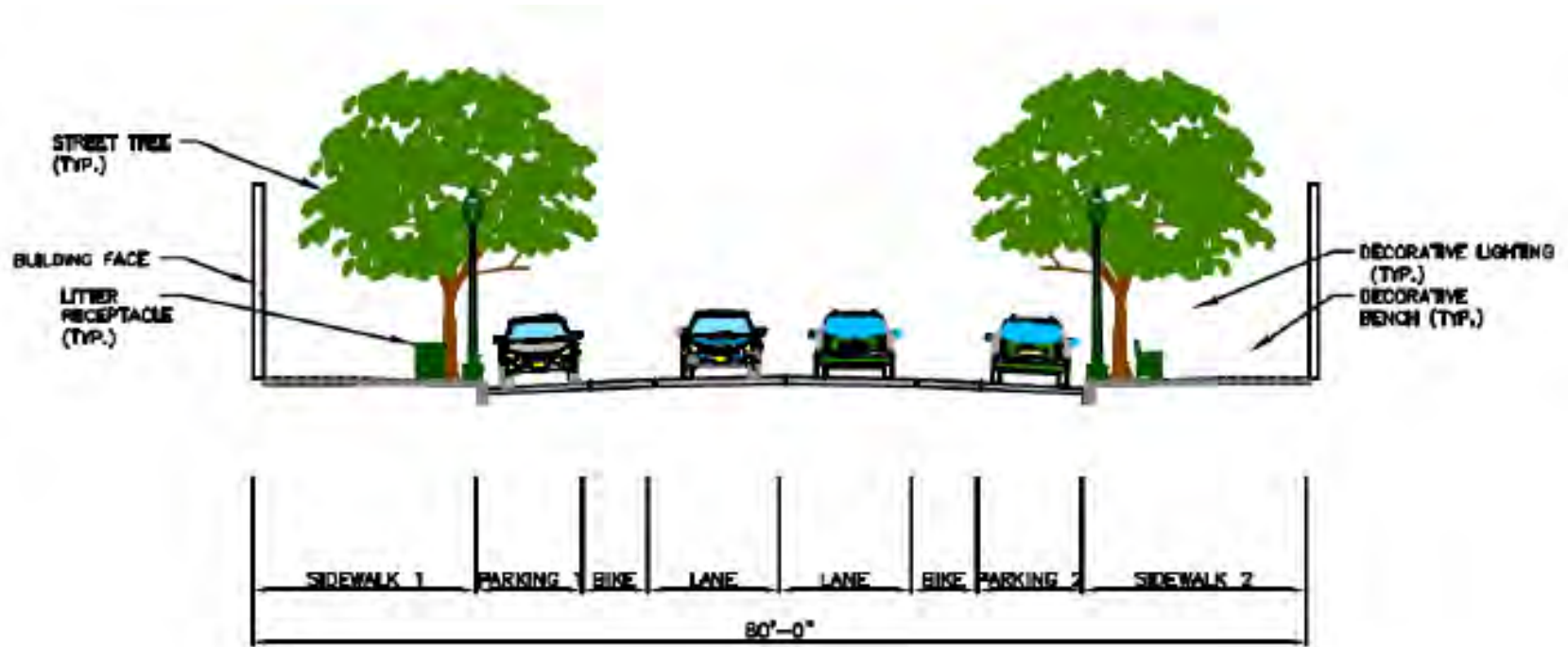
11.5 Thoroughfare Standards

- A. The street grid shall be constructed according to Figure 4: Roadway Network, Street Typology, and Open Space contained in the *TC Town Center District Redevelopment Plan*.
- B. Each street within the TC District shall be constructed in accordance with the established thoroughfare standards for its corresponding street type.
- C. Established thoroughfare standards for each street type are as follows:

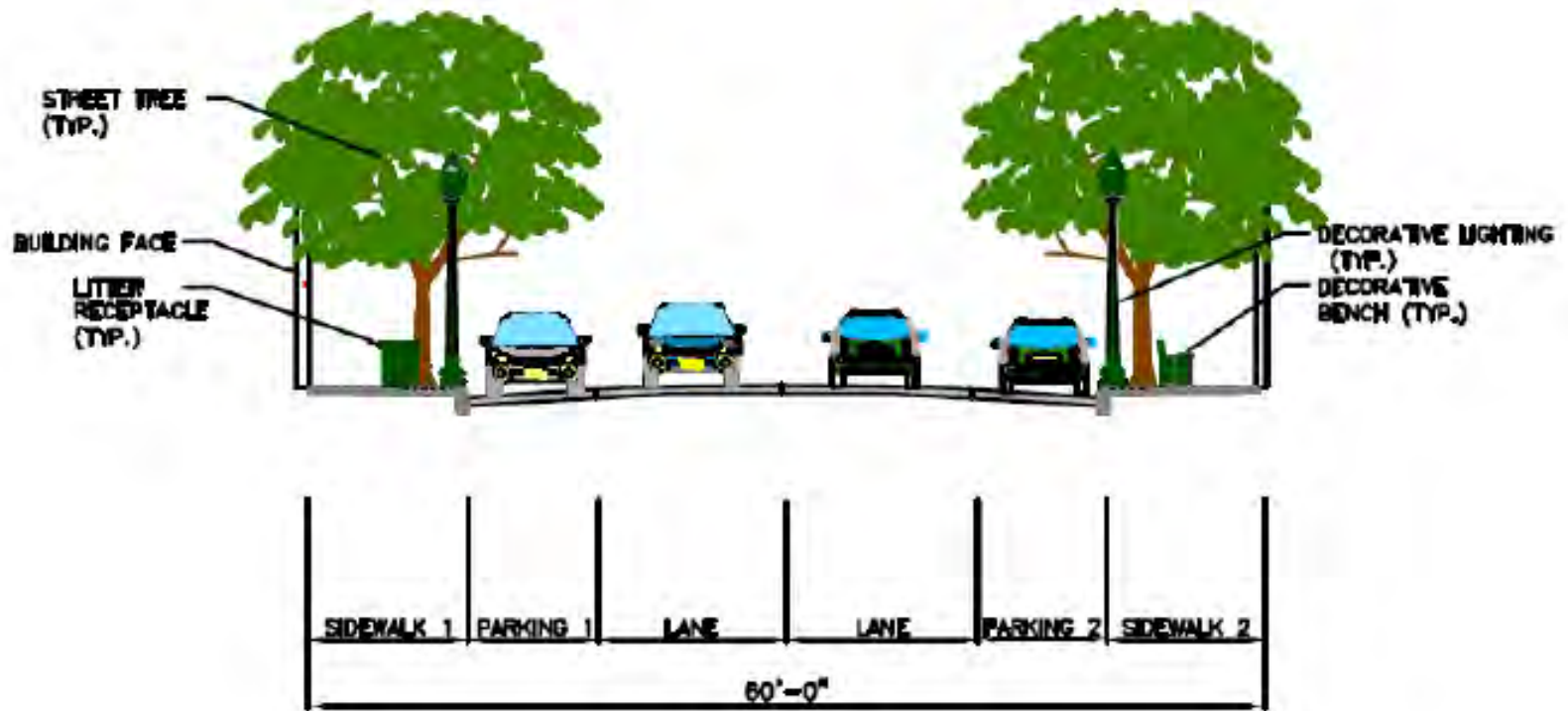
"Road Type A" (Volunteer Way) Cross Section	
Feature	Width (ft.)
Right-of-Way	100
Sidewalk (Both Sides)	15
Parking (Both Sides)	9
Bike Lane (Both Sides)	6
Travel Lane (Both Sides)	11
Interior Striped Pavement (Both Sides)	2
Grass Median	14



"Road Type B" Cross Section	
Feature	Width (ft.)
Right-of-Way	80
Sidewalk (Both Sides)	12
Planting/Furniture/Lighting Area (Both Sides)	8
Parking (Both Sides)	9
Travel Lane (Both Sides)	11



"Road Type C" Cross Section	
Feature	Width (ft.)
Right-of-Way	60
Sidewalk (Both Sides)	10
Parking (Both Sides)	9
Travel Lane (Both Sides)	11



D. Blocks designated for D Type Buildings shall incorporate rear alleys to provide vehicular access to garages and driveways. Rear alleys shall adhere to the following thoroughfare standards:

Rear Access Alley	
Feature	Width (ft.)
Right-of-Way	20
Travel Lane	20

11.6 General Standards

The development of buildings of buildings and public spaces within the Waretown Town Center shall adhere to the following standards:

A. Special Building Elements

1. Buildings within the Waretown Town Center will incorporate architectural elements and materials consistent with the established maritime theme of the Waretown Town Center. Buildings within the Waretown Town Center are encouraged to incorporate, awnings or marquees, balconies, colonnades or arcades, towers and cupolas, porches or stoops in accordance with the following matrix and regulations:

Architectural Elements/ Building Type	Awnings and Marquees	Balconies	Colonnades and Arcades	Towers and Cupolas	Porches and Stoops
A Type	X		X	X	
B Type	X	X	X	X	
C Type		X		X	X
D Type					X
E Type		X			X

2. Awnings and Marquees

- a. Awnings and marquees shall be permitted in accordance with the matrix contained in Section VII.A.1.
- b. Awnings and marquees shall be permitted only on the ground floor.
- c. Awnings and marquees shall have a minimum depth of six (6) feet as measured from the building façade to which it is mounted to the outside edge of the awning or marquee frame.
- d. Awnings and marquees shall have a minimum vertical clearance of eight (8) feet as measured from the sidewalk to the lowest horizontal structural member of the awning.
- e. Awnings and marquees shall cover a minimum of 25 percent of the building's frontage.
- f. Awnings and marquees are permitted to occur forward of the Required Build Line and may encroach within the right-of-way, but shall not interfere with landscaping, lighting or street furniture required within the right-of-way.
- g. Awnings shall be made of fabric or metal. High-gloss or plasticized fabrics are prohibited.
- h. Signage placed on awnings or marquees shall conform to the standards contained in Chapter 15.52 of the Township Code and the standards contained in Section 3.8 of the *TC Town Center District Redevelopment Plan*.

3. Balconies

- a. Balconies shall be permitted in accordance with the matrix contained in Section VII.A.1.

- b. Balconies shall be permitted for all upper floors and shall occur forward of the Required Build Line. Balconies may encroach within the right-of-way but shall not interfere with landscaping, lighting or street furniture required within the right-of-way.
 - c. Balconies shall have a minimum depth of six (6) feet and a maximum depth of ten (10) feet as measured from the building façade to edge of the most outward extending element of the balcony.
 - d. Balconies shall have a minimum ground floor clearance of ten (10) feet as measured from the sidewalk to the lowest horizontal structural member of the balcony.
 - e. Balconies shall have a maximum floor area of 100 square feet.
 - f. Balconies are permitted to have roofs but may not be enclosed or climate controls.
 - g. Balconies may wrap around building corners, but are required to adhere to the standards contained in this section with regard to required depth and maximum floor area.
4. Colonnades and Arcades
- a. Colonnades and arcades shall be permitted in accordance with the matrix contained in Section VII.A.1.
 - b. Colonnades and arcades shall have a minimum depth of eight (8) feet and a maximum depth of twelve (12) feet as measured from the building façade to the inside column face.
 - c. Colonnades and arcades shall have a minimum ground floor clearance of ten (10) feet as measured from the sidewalk to the lowest horizontal structural member of the arcade or colonnade.
 - d. Colonnades and arcades must cover a minimum of 75% of the building façade along which they are constructed.

- e. Colonnades and arcades shall only be constructed where the minimum depth can be obtained. Colonnades may be constructed forward of the Required Build Line, but may not encroach within the right-of-way.
 - f. Buildings incorporating arcades and colonnades may be constructed behind the Required Build Line provided that all outside column faces of the colonnade or arcade are constructed to the Required Build Line.
 - g. Balconies may be permitted above colonnades and arcades provided that they meet the requirements contained in Section VII.A.3.
5. Towers and Cupolas
- a. Towers and cupolas shall be permitted in accordance with the matrix contained in Section VII.A.1.
 - b. Towers and cupolas shall have a maximum footprint of ten feet by ten feet (10' x 10').
 - c. Towers and cupolas shall have a maximum height not to exceed forty percent (40%) of the building height as defined in Title 18 of the Township Code. For example, a building with a height of thirty (30) feet may not incorporate a tower or cupola greater than twelve (12) feet in height (40% of building height).
6. Porches and Stoops
- a. Porches and stoops shall be permitted in accordance with the matrix contained in Section VII.A.1.
 - b. Porches and stoops shall be permitted only at entrances to buildings fronting upon a public street. Porches and stoops are not permitted at the rear of buildings.

- c. Porches and stoops are permitted to be covered. However, porches and stoops are required to be open parts of buildings that are not climate controlled.
- d. Porches shall have a minimum depth of six (6) feet and shall not exceed a depth of twelve (12) feet as measured from the building façade to the edge of the most outward extending element of the porch.
- e. Stoops shall have a minimum depth of four (4) feet and shall not exceed a depth of eight (8) feet as measured from the building façade to the edge of the most outward extending element of the stoop.
- f. Porches and stoops may occur forward of the Required Build Line, but shall not extend into the right-of-way.
- g. Clear access for pedestrians shall be provided to and from all porches and stoops.

B. Architectural Elements

1. General Requirements

- a. Buildings within the Waretown Town Center will incorporate architectural elements and materials consistent with the established maritime theme of the Waretown Town Center. All architectural elements and building materials are subject to review and approval by the Ocean Township Committee, acting as the Ocean Township Redevelopment Entity.
- b. The following shall be located in rear yards or side yards not facing on public streets:
 - 1. Window and wall air conditioners;
 - 2. Electrical utility meters;
 - 3. Air conditioner compressors;
- c. The following shall be located in rear yards only:
 - 1. Antennas;

2. Permanent barbecues;
 3. Satellite dishes;
 4. Clotheslines;
- d. The following elements and materials are prohibited:
1. Undersized shutters (shutters must be sized to equal the width that would be required to cover the window opening;
 2. Plastic shutters;
 3. Reflective or tinted glass;
 4. Plastic/PVC Roof tiles;
 5. Backlit Awnings;
 6. Glossy-finish awnings;
2. Building Walls
- a. Building walls constructed with more than one material shall be constructed so that heavier materials are located below lighter materials.
 - b. An expression line shall delineate the division between the first story and second story of buildings. Any of the special building elements provided for in Section VII.A may act as an expression line.
3. Columns, Arches, Railings and Balustrades
- a. Columns shall be spaced no farther apart than they are tall and shall be constructed of wood (painted or natural), cast iron, smooth finish concrete or stone;
 - b. Semi-circular or segmental arches are permitted. Arches shall be constructed of concrete masonry units (e.g., bricks) or concrete;

- c. Railings and balusters shall be constructed of wood (painted or natural) or wrought iron. Balusters shall be spaced at a minimum of four (4) inches on center and at a maximum of six (6) inches on center. Top railings shall have a minimum width or diameter of three (3) inches.

4. Windows and Doors

- a. Windows and doors are required to have trim on all sides and may be finished with wood, steel, Aluminum, copper, vinyl, or clad wood;
- b. Doors must be constructed of wood or metal. Casement and French doors are permitted;
- c. Windows shall be single or double hung, industrial, or fixed frame;
- d. The use of recycled, locally sourced, and/or "green" building materials is strongly encouraged.

5. Roofs

- a. Hipped roofs, gabled roofs and flat roofs are permitted. Flat roofs shall be concealed with parapets along all sides;
- b. All gabled and hipped roofs shall be finished with asphalt "dimensional" type, wood, slate, or slate composite shingles;
- c. Shingles shall be square or rectangular in shape;
- d. Gutters shall be constructed of copper, aluminum, or galvanized steel;
- e. Gutters and downspouts shall match in materials and finish.

6. Landscaping and Fencing







- a. Hedges, raised planting beds, at-grade planting beds or rain gardens shall be required along unbuilt front and side property lines for A Type, B Type, C Type and E Type building areas as designated in the Regulating Plan contained in the *TC Town Center District Redevelopment Plan*, except where vehicular and pedestrian access to parking areas is provided. The purpose of such hedges, planting beds, and plantings is to provide an adequate screen between the public realm and common areas and parking areas required to support the type and scale of development within the Town Center.
- b. Landscaping shall consist of drought resistant, native plant species and shall provide a visually interesting, year round screen in such areas.
- c. Landscaped plantings shall utilize mulches to minimize evaporation, reduce weed growth and prevent erosion.
- d. Fencing is permitted only in C Type, D Type and E Type building areas and is subject to the provisions governing fencing contained in the Township Code. Fencing for C Type building areas shall be limited to fencing required to enclose at-grade utility areas, patios, or other common areas. No fencing shall be permitted along any front building façade, but may be permitted along side yard areas fronting on a public street.

11.7 Sample Block Layout Plans

The following Sample Block Layout Plans are provided for illustrative purposes to show building forms and relationships in various block types within the Town Center. Actual development will be governed by the Standards herein and may vary from these illustrations so long as the purposed development is consistent with the development permitted in this plan.

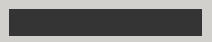
Figure FBC-1 Sample Block Layout Plan Neighborhood Commercial and Townhome Block

Legend

-  Right-of-Way Line
-  Interstate or Toll Route
-  US or State Route
-  County Route
-  Local Road
-  Ramp



50 Feet

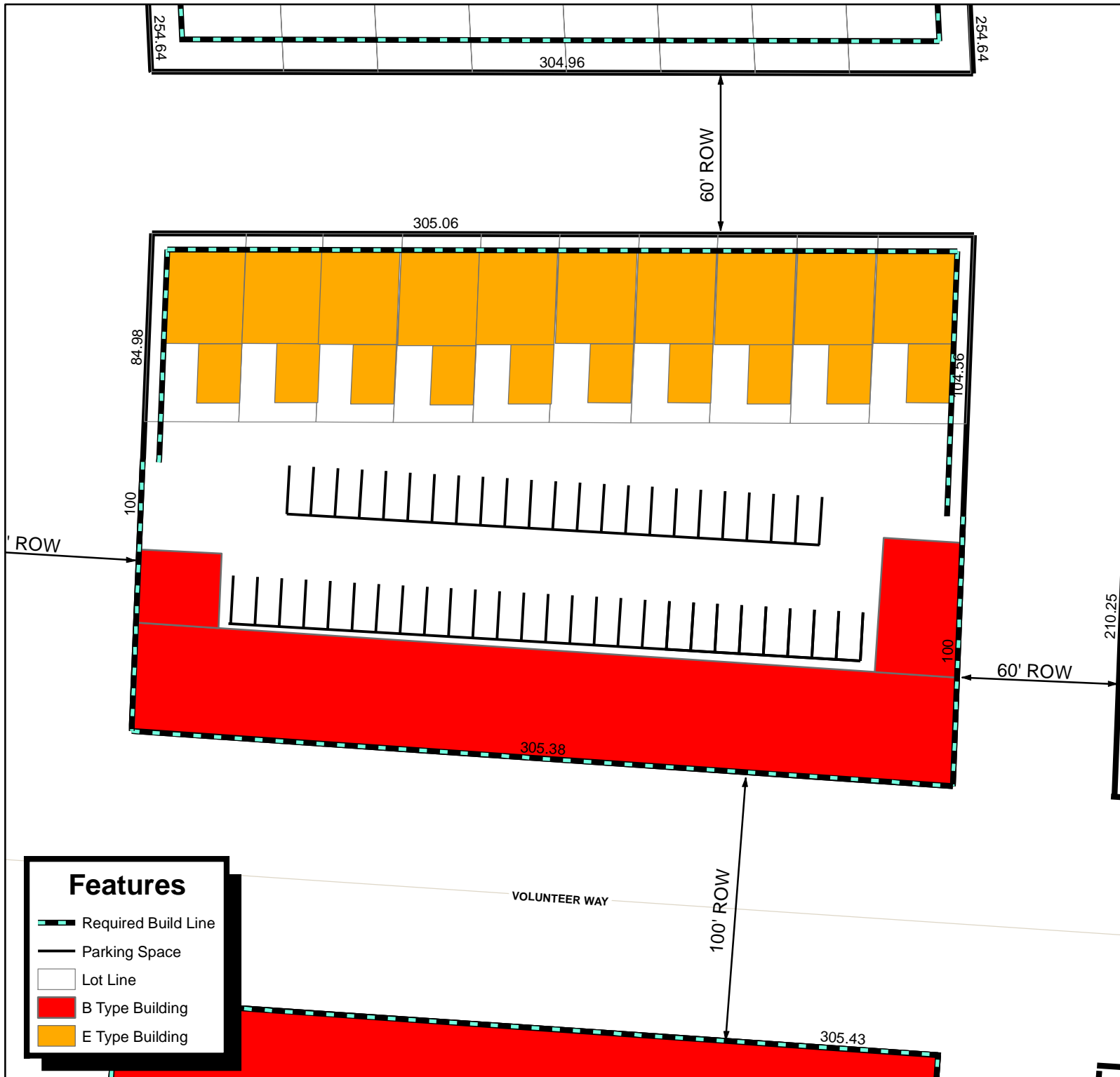


T&M
ASSOCIATES






11 Tindall Road
Middletown, NJ 07748-2792
Phone: 732-671-6400
Fax: 732-671-7365

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Source: NJGIN, NJDEP, Ocean Township, FEMA
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Features

-  Required Build Line
-  Parking Space
-  Lot Line
-  B Type Building
-  E Type Building

Features

-  Required Build Line
-  Parking Space
-  Lot Line
-  A Type Building
-  B Type Building
-  C Type Building
-  D Type Building
-  E Type Building

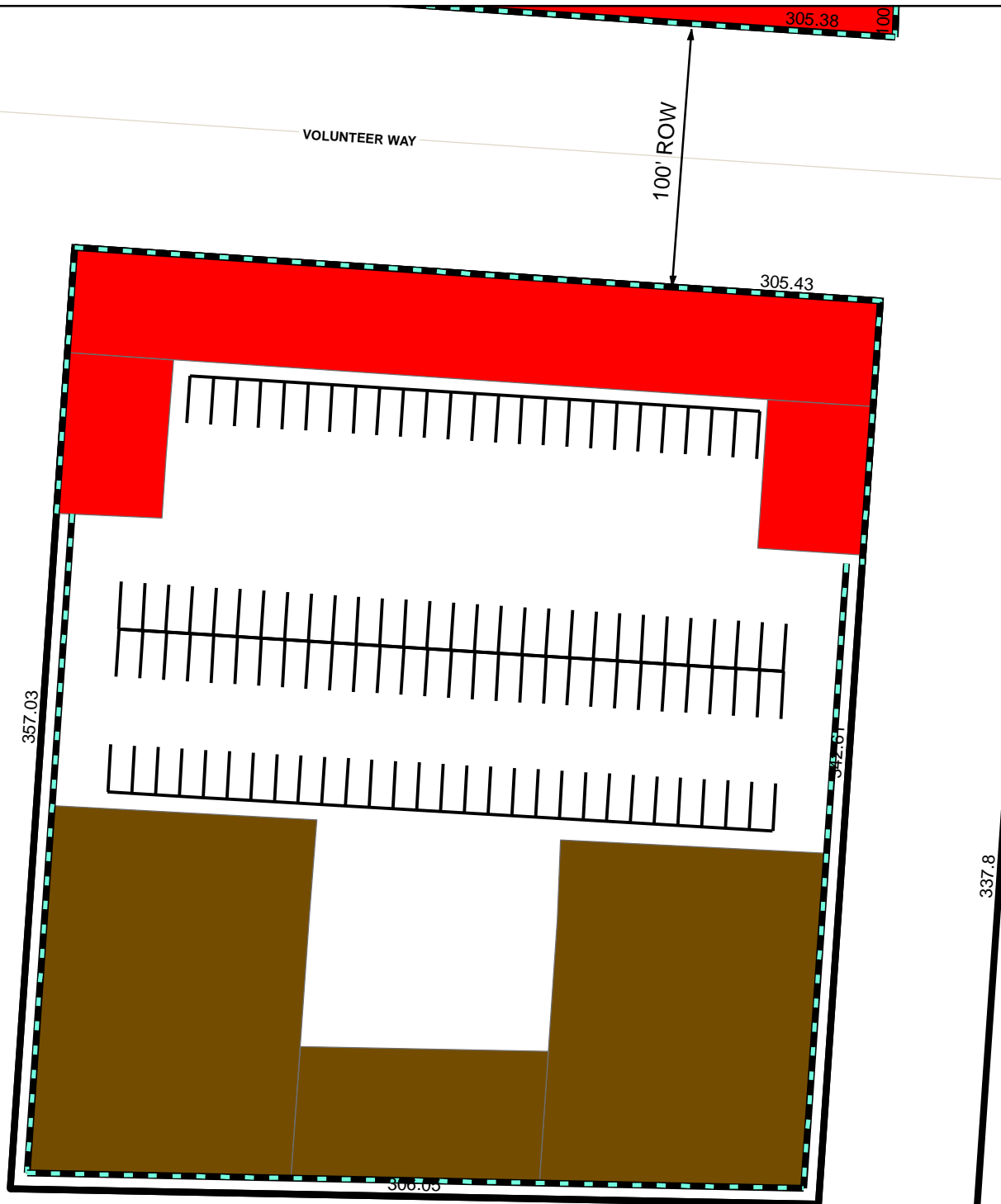









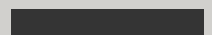
Figure FBC-2 Sample Block Layout Plan Neighborhood Commercial and Multi-Family Residential Block

Legend

-  Required Build Line
-  Right-of-Way Line
-  Interstate or Toll Route
-  US or State Route
-  County Route
-  Local Road
-  Ramp



60 Feet



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185.77

277.2

Features

-  Required Build Line
-  Parking Space
-  Lot Line
-  A Type Building
-  B Type Building
-  C Type Building
-  D Type Building
-  E Type Building

1

237.23

253.41

221.16

225.43

206.5

128.18

703.68







207.62

497.08

VOLUNTEER WAY

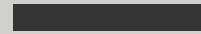
Figure FBC-3 Sample Block Layout Plan Neighborhood Commercial Block

Legend

-  Right-of-Way Line
-  Interstate or Toll Route
-  US or State Route
-  County Route
-  Local Road
-  Ramp



40 Feet











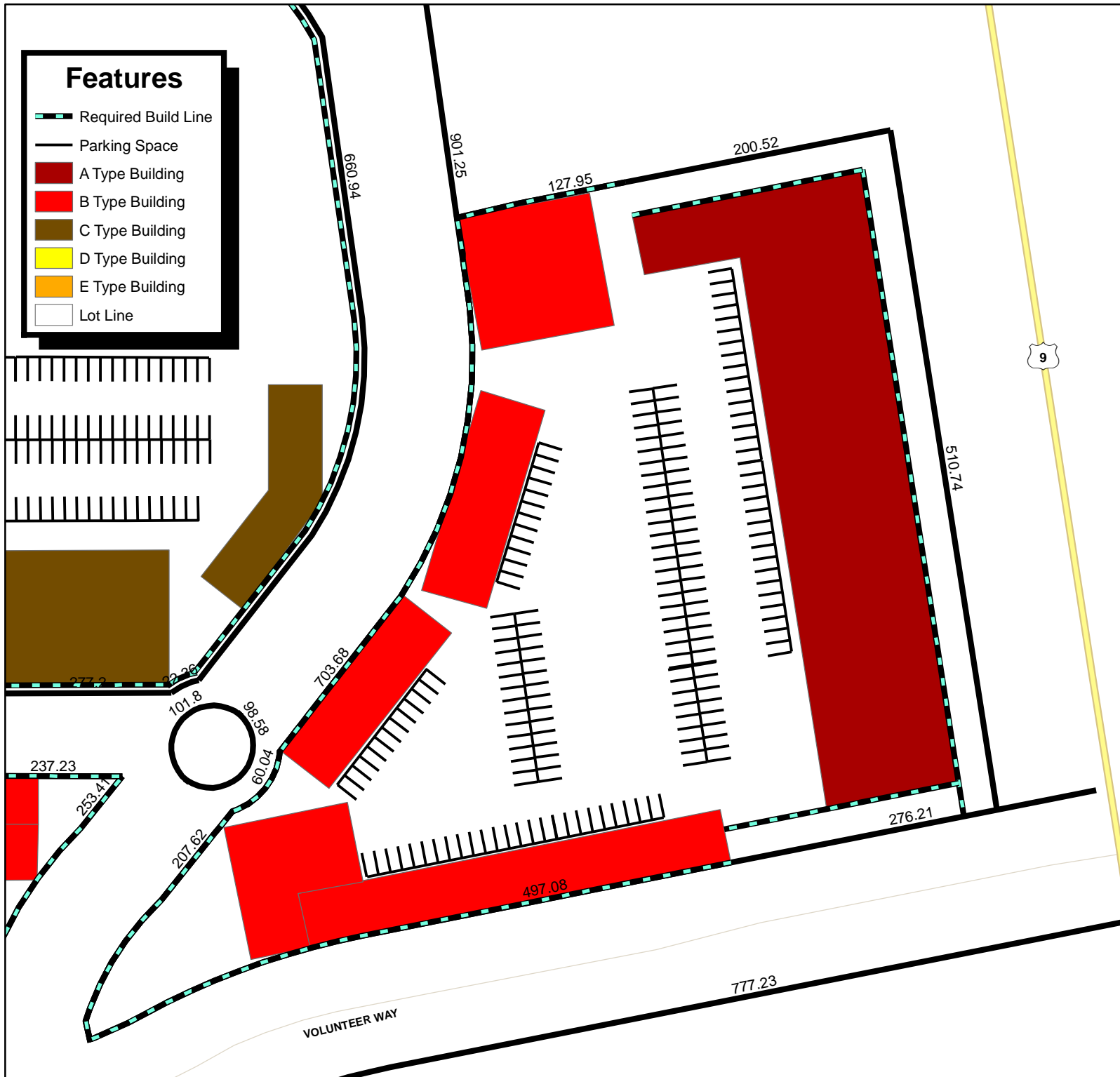
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

Features

-  Required Build Line
-  Parking Space
-  A Type Building
-  B Type Building
-  C Type Building
-  D Type Building
-  E Type Building
-  Lot Line



**Figure FBC-4
Sample Block
Layout Plan
Highway
Commercial and
Neighborhood
Commercial
Block**

Legend

-  Right-of-Way Line
-  Interstate or Toll Route
-  US or State Route
-  County Route
-  Local Road
-  Ramp



100 Feet



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Features


















-  Required Build Line
-  Parking Space
-  Lot Line
-  A Type Building
-  B Type Building
-  C Type Building
-  D Type Building
-  E Type Building

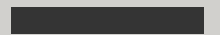
Figure FBC-5 Sample Block Layout Plan Multi-Family Residential Block

Legend

-  Required Build Line
-  Right-of-Way Line
-  Parks and Open Space
-  Water Features
-  Interstate or Toll Route
-  US or State Route
-  County Route
-  Local Road
-  Ramp



60 Feet

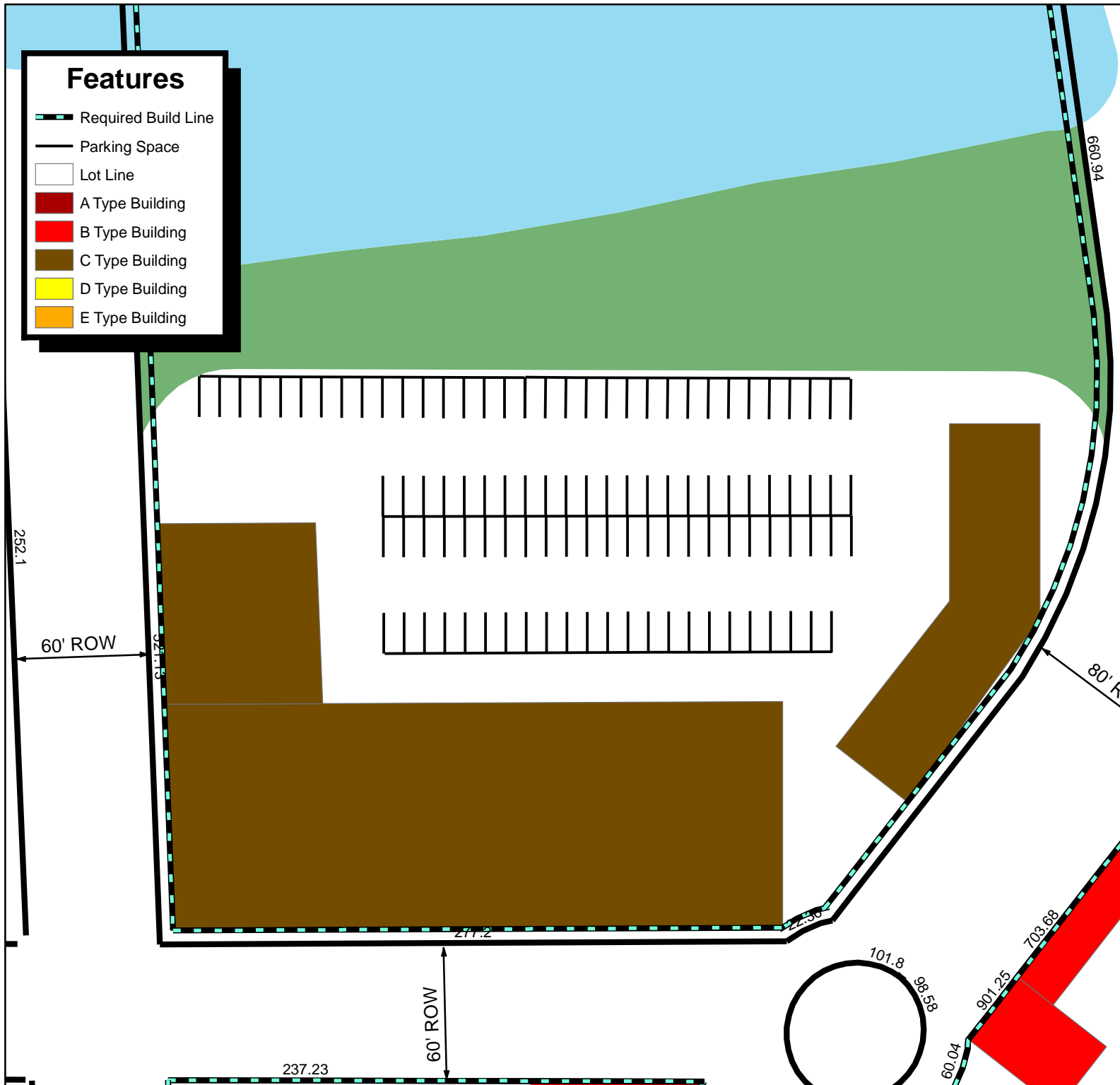


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Features


















-  Required Build Line
-  Parking Space
-  Lot Line
-  A Type Building
-  B Type Building
-  C Type Building
-  D Type Building
-  E Type Building

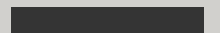
Figure FBC-6 Sample Block Layout Plan Single-Family Residential Block

Legend

-  Required Build Line
-  Right-of-Way Line
-  Parks and Open Space
-  Water Features
-  Interstate or Toll Route
-  US or State Route
-  County Route
-  Local Road
-  Ramp



60 Feet

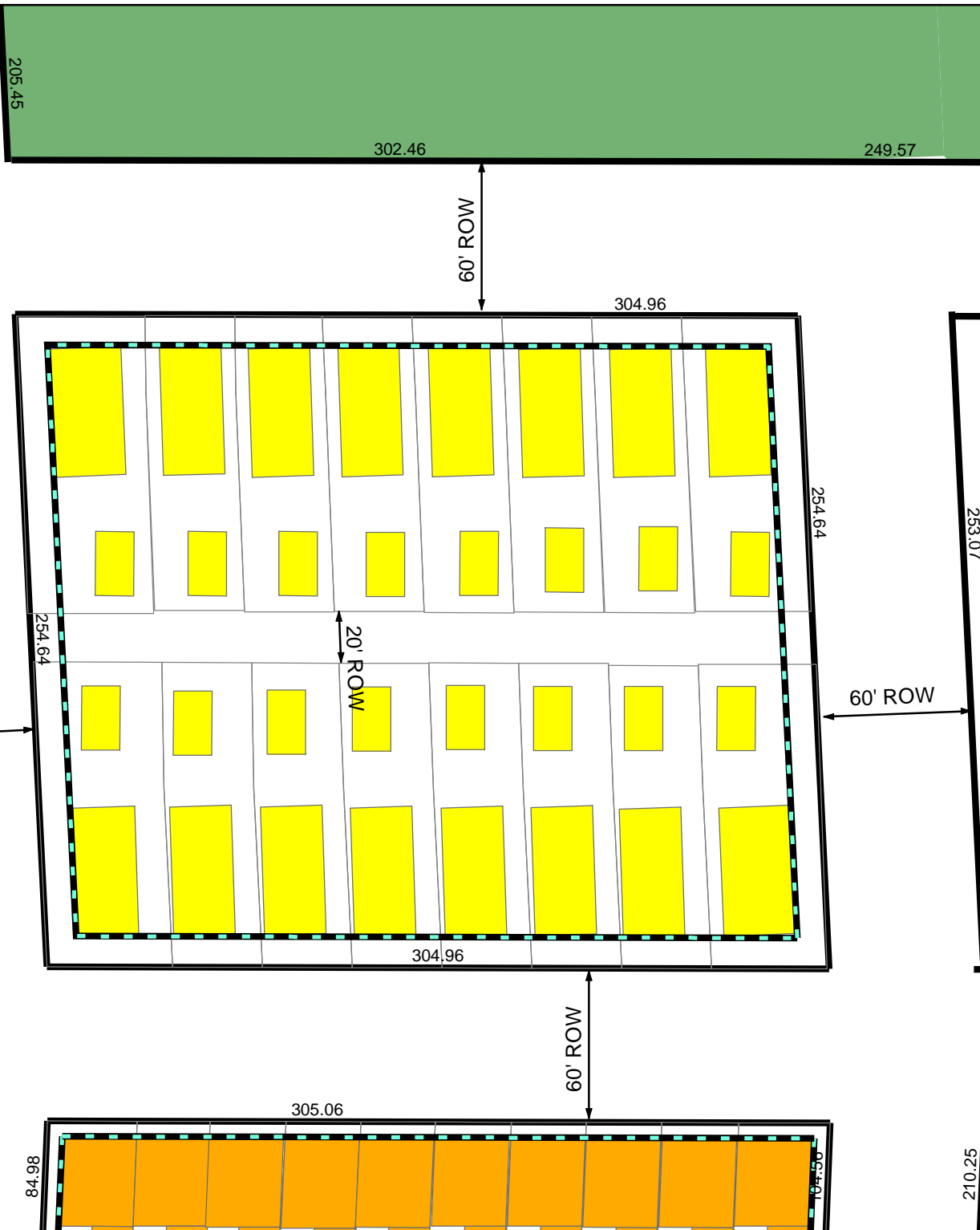


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Middletown, NJ 07748-2792
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C. — 2013-2018 Community Forestry Management Plan

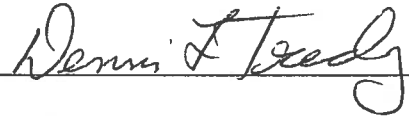


Township of Ocean
County of Ocean, NJ

2013-2018 Community Forestry
Management Plan

Community Forestry Management Plan

Municipal/County Information Form

Municipality	Township of Ocean
County	Ocean
Address	50 Railroad Avenue Waretown, NJ 08758
Contact Name and Title	Matthew Ambrosio, Director of Public Works
Phone #	609-693-3177
Fax # and E-mail	609-693-1476 dpw@TownshipofOcean.org
Organization Name	Township of Ocean
Mayor/County Freeholder's Signature	
Date of Management Plan Submission	December 2012
Time Period Covered in Management Plan	2008-2013
Community Stewardship Incentive Program (CSIP) Practices Identified in Management Plan	<input checked="" type="checkbox"/> CSIP #1 Training <input checked="" type="checkbox"/> CSIP #2 Community Forestry Ordinance Establishment <input checked="" type="checkbox"/> CSIP #3 Public Education and Awareness <input checked="" type="checkbox"/> CSIP #4 Arbor Day <input checked="" type="checkbox"/> CSIP #5 Tree Inventory <input checked="" type="checkbox"/> CSIP #6 Hazard Tree Assessment <input checked="" type="checkbox"/> CSIP #7 Storm Damage Assessment <input checked="" type="checkbox"/> CSIP #8 Tree Maintenance and Removals <input checked="" type="checkbox"/> CSIP #9 Insect and Disease Management <input checked="" type="checkbox"/> CSIP #10 Wildfire Protection <input checked="" type="checkbox"/> CSIP #11 Tree Planting <input checked="" type="checkbox"/> CSIP #12 Tree Recycling <input checked="" type="checkbox"/> CSIP #13 Sidewalk Maintenance Program <input type="checkbox"/> CSIP #14 Storm Water Management <input type="checkbox"/> CSIP #15 Other

**Official Use Only
Certification**

The above named municipality/county has made formal application to the New Jersey Forest Service. I am pleased to advise you that after our review, the NJ Forest Service has concluded that this plan meets the standards set forth by the State and the NJ Community Forestry Council and is approved for the period covered.

Signed _____

State Forester

Approved date _____

Prepared for:

Township of Ocean Mayor & Council

This plan was prepared in accordance with the New Jersey Shade Tree and Community Forestry Assistance Act, P.L. 1996, Chapter 135.

First Plan: 2002-2007

Second Plan: 2008-2012

Third Plan: 2013-2018

Plan Updated by:



Planning
Landscape Architecture
Streetscape Design
Park Planning & Design
Planning Board Consultation
Economic Redevelopment

Taylor Design Group, Inc.
100 Technology Way, Suite 125
Mount Laurel, NJ 08054
tdgplanning.com

November 2012

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Introduction

This is Ocean Township's 3rd Community Forestry Management Plan for the years 2013-2018 (5-years), which serves as an update of the prior plans. This plan was prepared per "Guidelines for a Subsequent Community Forestry Management Plan" as required under the New Jersey Shade Tree and Community Forestry Assistance Act, P.L. 1996, Chapter 135. The emphasis for this Township remains the basic elements of tree planting, tree maintenance and the safety of the community forest along streets, parks, municipal complexes and school property.

Approval of this plan by the State Forester, upon favorable recommendation from the Community Forestry Council, will provide continued liability protection to the Township under the New Jersey Shade Tree and Community Forestry Act and will render the Township eligible to apply for grants from the New Jersey Forest Service to help implement the plan.

Mission Statement

The Mission Statement remains unchanged: To insure the health, safety, and sustain ability of Ocean Township's forest and shade trees for the economic, aesthetic, and environmental benefits provided to residents and visitors.

Goals and Objectives

The goals of the plan remain unchanged. The objectives of each goal have been evaluated to determine continued validity, amendment, emphasis, exclusion or completion prior to inclusion in this plan. The following format includes the original goal statement, on-going or incomplete objectives from the prior plans.

Goal #1:

To increase the administrative capacity, awareness, knowledge, appreciation and support for community trees and forests.

Ongoing Objectives:

- To re-apply for recognition as a Tree City, USA annually. (Ocean Township was previously awarded Tree City, USA status during the first plan period.)
- To support an annual Arbor Day program involving the local school.
- To continue Project Learning Tree (PLT) curriculum with the local school administration and teachers.
- To continue visiting the current shade tree ordinances and current site plan requirements for possible amendment.
- To implement forest management on Township lands as an example for local forestland owners.
- To supply pamphlets at the municipal building on new tree care for homeowners including such topics as mulching, watering, pruning, insect and disease identification and backyard composting.
- To hold scheduled meetings of the Shade Tree Advisory Committee (STAC) and take minutes.
- To participate in Founder's Day celebrations by distributing Crape myrtle seedlings – the Township "tree" -- and to distribute fliers on tree-related advice.

- To maintain the appointment of a "Tree Conservation Officer" to be responsible for proper application of the Township tree code and site plan requirements.

Goal #2:

To continue to plant trees to replace those lost and to increase species diversity and success of new plantings.

Ongoing objectives:

- Install trees per the No Net Loss Planting Plan as funds become available.

Goal #3:

To increase public safety and aesthetics by scheduling maintenance and the reduction of hazardous trees.

Ongoing:

- To continue the existing hazard tree identification procedure by the local police, parks department, and public works employees.
- To conduct an inventory and assessment of trees needing corrective pruning or removal.
- To develop a comprehensive hazard tree removal and maintenance plan based on priorities supported by the inventory data.
- To assess trees for insect and disease problems.

Goal #4:

To train and educate elected officials, volunteer members of the Shade Tree Advisory Committee, Department of Public Works and Parks Department employees in community forestry technical and administrative topics.

Ongoing Objectives:

- To attend the New Jersey Shade Tree Federation Conference on an annual basis.
- To maintain sufficient continuing education units (minimum 8 CEU's per year).
- To maintain membership in the New Jersey Shade Tree Federation.
- To focus on training for identifying hazardous tree conditions and remedial actions.
- To provide information to the public regarding care of trees such as watering, mulching, stake removal and elevation.

Liability Statement

Trees in the Township of Ocean are dominant in the landscape and create a pleasing environment for living, work, and play. Although street trees are an asset to the community, it is inevitable that they mature and require care, maintenance and eventually replacement. Care and maintenance, in addition to planting "the right tree in the right place," can help ensure community trees not only contribute to the environmental and economic vitality of the area, but also reduce the potential hazards to public safety. The Township of Ocean must work within a reasonable budget that may not be able to meet each and every need of the community forest immediately. Therefore, it is the intent of this plan to focus available resources on the greatest need and

outline a step by step action plan to achieve a healthy forest with commensurate reduced risks to public safety.

The Township of Ocean believes, by taking the logical steps outlined in the plan, it will garner public support for plan implementation and demonstrate long-term benefits to the environment and public safety. The Township also wants to become more pro-active in the management and care of its trees. Through inventory and hazard assessment, the Township will initiate corrective action by the public works department, contracted professionals, the parks department, or the county prior to structural tree failure and other hazardous tree-related conditions. It is acknowledged that not all hazardous conditions will be predicted, however, good maintenance and care will reduce the probability of tree failures. The Township also wants to increase homeowner and school children's awareness, appreciation, and knowledge of trees to enable them to contribute well-informed and meaningful efforts towards the health and sustainability of the Township of Ocean's trees. The Township will continue its efforts to have "the right tree planted in the right place" in established and new developments to insure against long-term problems. Following this Community Forestry Management Plan will demonstrate that the Township of Ocean is devoting reasonable levels of resources in a planned manner to reduce the number of tree related accidents, and thereby, reduce its exposure to liabilities and increase public safety.

Community Overview

5-Years of Progress

Achievements during the 2007-2012 plan period included:

1. Attended N.J. Shade Tree Federation conferences.
2. Obtained CEU's of continuing education.
3. Celebrated Annual Arbor Day at schools.
4. Continued assessment of trees in parks resulting in some removals and pruning.
5. Oversaw planting of ~800 trees in the Greenbriar US Homes development.
6. Continued tree planting in parks.
7. Prepared a No Net Loss Planting Plan.

Problems encountered and new issues discovered as a result of following the previous 5-year plan, and how they were or will be dealt with.

Since the time of the last plan, the State has not funded the Township's No Net Loss Planting Plan. We understand that the funding has been re-instated, however is only \$23,647 whereas \$250,000 was initially promised. The planting plan will either have to be revised or phased.

One lingering challenge is administering this plan, which has been housed in the Department of Public Works. The Director is CORE trained, however lacks time for obtaining CEU's on an annual basis. Continuing education and preparation of the Annual Report should be delegated to a reliable staff member in the department, so knowledge is retained in the Township. Additional volunteers on STAC should continue to be encouraged to receive education.

Until the minimum number of CEU's are obtained and Annual Accomplishment Reports submitted to the Community Forestry Program, the Township will not regain Approved Status.

Four Annual Requirements for Approved Status:

1. A current approved Community Forestry Management Plan is required for Approved Status. A Community Forestry Management Plan covers a five-year period.
2. It is required under the Act that each municipality or county has at least two CORE Trained individuals currently participating in the program, one municipal employee and one community volunteer. An elected official will qualify as either a municipal employee or a community volunteer.
3. Together, at least two individuals representing your municipality or county must accrue a total of eight Continuing Education Units (CEUs) annually. Any individual can attain CEUs on behalf of your municipality/county; they do not have to be CORE trained. CORE Training does not count toward CEU credits.
4. An Annual Accomplishment Report records Community Forestry Management Plan implementation. A complete Annual Accomplishment Report detailing the previous year's accomplishments under the plan, with signed Cover Sheet, must be submitted at the end of each calendar year by February 15th.

The Township lost its Tree City USA certification. Certification requires establishment of a Shade Tree Committee (done), observation of Arbor Day (done) and establishment of a comprehensive tree management budget for annual expenditures at a minimum of \$2 per capita (not done). At 8,332 persons (2010 U.S. Census), this equals \$16,664.

Also, the means to complete an inventory and assessment of the Township's trees has not been available.

Benefit Statement:

The overall benefits to Ocean Township realized by following the Community Forestry Management Plan included:

1. Establishing a strong partnership with the New Jersey Forest Service Community Forestry Program.
2. Participating in training and informational opportunities at the New Jersey Shade Tree Federation conferences.
3. Increased liability protection under the Act.
4. Eligibility to apply for grant funds.
5. Having a pro-active plan to help guide the Township's shade tree program.

Master Plan Link:

The Master Plan and other applicable documents have not been substantially revised since the time of the last plan. The most recent Amended Land Use Plan Element, Circulation Plan Element and Master Plan Reexamination Report for the Township of Ocean prepared by T&M Associates, dated November 21, 2005 states, "In addition to the ERI, Ocean has several planning documents that consider natural resources such as the Municipal Master Plan (1999/2001) and the 2002 Community Forestry Plan 2002-2007, as well as its Open Space and Recreation Plan." Linkages between planning elements is facilitated by persons serving on several committees with associated and sometimes over-lapping interests. All of the planning documents hint at the value of trees by addressing environmentally sensitive land, providing adequate open space and creating a hometown atmosphere. However, as with many master plans, the true value of trees and the requisite care needed to sustain the community forest is yet to be realized.

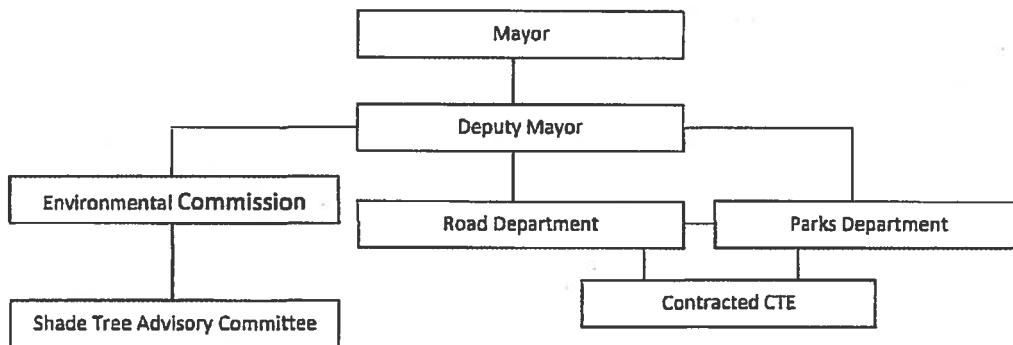
Community Forestry Program Administration

The governing body of Ocean Township is responsible for overseeing the management of the Township's trees. Administration of the plan is housed with the Department of Public Works, under the CORE-trained Director of Public Works. The Director communicates with the Shade Tree Advisory Committee, and CEU's are obtained by STAC volunteers, Public Works and other Township employees.

Currently any resident inquiries or requests regarding trees are channeled through the Township's administrative chain-of-command; eventually assigned to either the Public Works Department or Parks Department for action. The Public Works Department effectively handles downed limbs, leaves and other debris.

The Parks Department is responsible for maintenance, fertilizer and pest control involving trees within Ocean Township. A local tree service is contracted for removals and emergency work beyond the capabilities of the Public Works Department. The Ocean County Road Department cares for trees along county roads and is responsive to Township requests.

Organizational Chart



Community Map

The street map previously submitted is unchanged and up to date.

Training Plan

Some training is required by the State to retain "approved" status for the Township under the Act. Training is usually limited by available time, interest, funding and/or opportunities. Whatever the cost in time or money, the knowledge gained through training will improve program success.

Required Training:

CORE training is required by the New Jersey Shade Tree and Community Forestry Act for municipalities seeking approved status. The purpose of CORE training is to familiarize persons with the background of community forestry and the shade tree commission, the legal aspects of managing trees, recognition of hazardous tree conditions and state planning and implementation assistance. To gain and retain approved status, a

municipality must have at least two persons CORE trained; one volunteer and one municipal employee (ideally someone from public works responsible for trees).

Ocean Township has 4 CORE-trained persons:

1. Matthew Ambrosio, Director of the Department of Public Works, Ocean Township (2005)
2. James Mitchell, Employee, Ocean Township (2005)
3. Geoffrey Geary, Volunteer (2002)
4. Michael Villanova, Volunteer (2002)

In addition to CORE training, there is a Community Forestry Program continuing education requirement of 8 Continuing Education Units (CEU's) per year. Any individual can obtain these credits for the municipality and credits are not limited solely to those persons whom are CORE trained. These credits can be most easily obtained by attending the Shade Tree Federation Conference each year, usually in the Fall. Rutgers University also offers courses at its New Brunswick campus throughout the year.

Public Education, Awareness and Outreach

Several of the elements of this section were addressed during the prior plan periods with success. Tree City, USA status was achieved, Arbor Day programs were held at the schools, site plan ordinances were revised and the public information program was started. These initiatives have proven the worth of involving and informing the public regarding the Township's tree programs. The following elements represent on-going and renewed emphasis public education, awareness and outreach topics:

Tree City, USA:

The Township of Ocean achieved Tree City, USA status in the past, and may apply again in the future if funds become available. A Community Forestry Budget with at least \$2 per capita devoted to trees is required. At 8,332 persons (2010 U.S. Census), this equals \$16,664.

Arbor Day:

The Arbor Day celebration and program take place on the Township of Ocean's school grounds. A tree is donated to the school for the purpose of planting. A sixth grade teacher organizes the activities for the day's event. A member of the Township Committee, Shade Tree Advisory Committee and Environmental Commission along with the public and sixth grade class participates in the tree planting and presentation. The mayor reads the Arbor Day Proclamation and the other Committee members assist in planting the tree. The students read poems they have written for the celebration and a large cake with a picture of a tree is enjoyed.

The seedlings, which the Township receives from the State nursery, are distributed to the school children with planting and maintenance instructions. A few are kept for the Township to plant throughout the town and in the Township Recreation area where the children can watch them grow.

Project Learning Tree (PLT):

The Township of Ocean acknowledges the importance of helping young students learn more about trees and the environment. One program helping to expand and influence young minds is Project Learning Tree. The PLT program is an international environmental education program that is crafted to meet state and national

education standards. The Township school is encouraged to take students to the New Jersey Forest Resource Education Center in Jackson, New Jersey to learn about trees and to be introduced to the PLT program. Contact the NJFS Forest Resource Education Center at (732)-728-0029.

Shade Tree Advisory Committee (STAC):

The STAC functions as a sub-committee of the Environmental Commission. While the formation of the sub-committee is a good first step, some thought should be given to separating the two entities and working towards a dedicated Shade Tree Commission.

Public Information Program:

The Township plans to utilize its web site, newsletter and take home messages via school children to convey tree related information to residents. Additional information will be distributed at Founder's Day. Information of primary importance is:

- Species selection for trees planted near the bay, native plant landscaping tips and seashore plants.
- Proper care of newly planted and young trees - watering, mulching, staking, pruning for central stem and elevation.

This work could be supported by a CSIP grant to purchase existing brochures available from the NJ Shade Tree Federation, NJ Forest Service, US Forest Service and/or Rutgers Cooperative Extension.

Big Trees:

One way to raise the awareness of youth about trees is to involve them in some way. The STAC will seek out a partnership with the public school to search for and produce a listing of Ocean Township's largest trees. Results of the search will be announced at annual Arbor Day events.

Forest Stewardship on Publicly-Owned Lands:

The Township owns significant acreage of forest lands. Owning land carries stewardship responsibilities which in turn require some planning and informed action over time. Generally, most entities owning land want to know the existing condition and composition of the trees and wildlife present. Then, acknowledging risks and threats, a vision for the desired future condition is prepared. After these steps are taken, a list of action items designed to achieve the desired future condition is made. These long-range plans, Forest Stewardship Plans, recommend such things as fire protection, wildlife habitat improvement, forest improvement thinning, access creation and improvement and insect and disease management. The wooded properties including the Greenbriar US Homes reserved tract and the woodland adjacent to the Waretown Lake tract are good first candidates for stewardship planning. Implementation of Stewardship Plans not only provides a framework for Township lands but serves as an example for private landowners.

Statement of Tree Budget

There is currently no specific budget for tree maintenance, the installation of new trees, required education, and membership in the NJ Shade Tree Federation. Such expenditures come from the Department of Public Works' general budget which is typically \$45,000 per year.

Labor is provided through the Department of Public Works and Parks Departments, and sometimes contracted out to arborists. Volunteers provide the in-kind hours as well by attending STAC meetings, receiving training and participating in events such as Arbor Day at the schools.

Trees are purchased on an as-needed basis for the municipal parks and facilities. Many trees were planted in the last few years in the parks by the Department of Public Works, so they do not anticipate the need for a significant number of new trees in the near future. New trees also could possibly be funded by the No Net Loss Program as it is re-funded by the State.

Statement of Plan Implementation

During the 2013-2018 time period the Township will continue its training, outreach, education and awareness activities as described in earlier sections of this plan. Implementation steps associated with public education and outreach require some action each year.

Tree Inventory and Assessment:

The Township of Ocean does not have a tree inventory. Some initial work has been undertaken to assess dangerous tree conditions in the parks. The following was included in the 1st plan and remains valid:

1. Design of a tree assessment and inventory must take into account the apparent needs of the community forest and be undertaken in a prudent manner.
2. A comprehensive inventory of all roadside trees in the Township is neither needed nor practical. The assessment and inventory should focus on the parks, schools, municipal complexes, and built-up sections of Waretown. Detailed inventory should be undertaken in the areas with sidewalks and where trees have been planted.
3. Areas where residential dwellings have been built in forested areas need only visual inspection for hazardous trees and trees in need of maintenance. Most rural roads need only visual inspection for hazardous trees and maintenance needs.

A CSIP grant application may be submitted to accomplish this work through the use of a consultant working in concert with the Shade Tree Committee, the Superintendent of Parks and the Director of the Department of Public Works.

Tree Hazard Identification and Management:

Tree hazards should be identified through a purposeful and systematic process. Reliance on relatively casual observation by Township employees, police and residents during their every day travels are valuable, but should not be the sole method of identifying tree hazards. Forming a trained "Tree Assessment Unit" of either the Parks and/or Public Works Departments that can be more pro-active is being considered.

Tree Maintenance and Care:

Most of the comments and recommendations in the Tree Maintenance and Care section from the 1st plan remain valid today. The most apparent need for tree maintenance and care in Ocean Township is on smaller trees planted during the past 15+/- years and several larger specimen trees in the parks. Trees in the heavily wooded residential areas grow under forested conditions and need some dead wood removals. Tree maintenance and care needs will be identified in the tree assessment and inventory phase of this plan.

Maintenance and removal priorities will be established and incorporated into the Tree Removal and Maintenance Plan formed from the results of the assessment and inventory.

Formation and training of the new Tree Assessment Unit will facilitate data collection for the Tree Removal and Maintenance Plan and implementation of needed tree maintenance and care.

Tree Planting:

Throughout the past 5-year period trees have been planted in the parks, around the schools and as part of Arbor Day celebrations as outlined earlier in this plan. Trees have also been planted in the Greenbriar development.

The No Net Loss Planting Plan will be implemented as funding is received from the State.

Annual Schedule of Work – 2013 through 2018:

1. Maintain 2 CORE trained persons and accumulate at least 8 continuing education units annually.
2. File Annual Accomplishment Report with State Community Forestry Program at year's end, in order to achieve Approved Status.
3. Maintain membership in N.J. Shade Tree Federation.
4. Schedule and hold agenda-driven STAC meetings. Take minutes.
5. Submit Tree City, USA application annually in December-January if qualifying criteria is met.
6. Systematically assess, record and take action on hazardous tree conditions.
7. Distribute recommended tree planting list.
8. Hold Arbor Day Program with school each year. Arbor Day is 4th Friday in April. Remember to prepare the proclamation early in March each year.
9. Apply for grants as they are announced.
10. Follow-up with PLT curriculum with school.
11. Continue to re-visit tree ordinances and site plan requirements to suggest changes and improvements based upon changing situations.
12. Maintain efforts to complete forest stewardship plans for Township properties.
13. Promote the Township Tree and participate in Founder's Day.

Community Stewardship Incentive Program (CSIP)

The following is a list of possible CSIP grant requests for the Township of Ocean.

CSIP #1, Training: Funds are needed to increase the number of individuals trained as described in the training section. However, training as described and needed occurs throughout the year on a continuing basis. Support for training via CSIP may be impractical. The recommendation is to use Township funds for training purposes.

CSIP #2, Ordinance Establishment: The Township could use funds to create a Shade Tree Commission and adopt an ordinance creating Shade Tree Commission powers. The Township has already created a Shade Tree Advisory Committee and a tree protection ordinance.

CSIP #3, Public Education, Awareness, and Outreach: Funds are needed to support the initiatives listed in the public education, awareness, and outreach section of this plan. The Township of Ocean is especially interested in creating brochures for distribution at the municipal building on homeowner education on tree care. The Township will also be requesting funds in support of their Forest Stewardship Planning initiatives on publicly owned woodlands.

CSIP #4, Arbor Day Activities: No funds will be requested in support of Arbor Day activities.

CSIP #5: Tree Inventory: This is a high priority carry-over task from the prior plans.

CSIP #6: Hazard Tree Assessment: No additional funds will be needed specific to hazard trees. Hazardous trees will be identified by municipal employees during their daily activities. Hazardous trees will also be identified in the assessment and inventory of the Township under CSIP #5.

CSIP #7: Storm Damage Assessment: Currently, trees are addressed in the Emergency Management Plan for the Township. Standing contracts for emergency work are in place with certified tree experts. No additional funds will be requested for this practice during this 5-year planning period.

CSIP #8: Tree Maintenance and Removal: Trees planted during the past 15+/- years are in need of corrective pruning and maintenance. Some larger specimen trees in the parks are also in need of pruning and dead wood removal. Good results here will raise awareness and garner support for the Township's Community Forestry Program. Funds will be needed every year beginning the year after the inventory and assessment is completed. The optimum future condition is a pruning cycle of 7-10 years for every municipal tree.

CSIP #9; Insect and Disease Management: Municipal trees in the Township are relatively free from insects and disease, except for outbreaks of gypsy moth. No funds will be requested for this purpose during this plan period.

CSIP #10; Wildfire Protection: Wildfire protection plans, firewise communities, species selection and fuel reduction programs, fire protection and related outreach.

CSIP #11; Tree Planting: Given the minimal funding for the No Net Loss program, funds may be sought for this item.

CSIP #12; Tree Recycling: Funds will not be sought for this at this time.

CSIP #13; Sidewalk Maintenance Program: Funds will not be sought for this at this time.

CSIP #14; Stormwater Management: Funds will not be sought for this at this time.

SIP #15; Other: Funds will be needed to implement the Forest Stewardship Planning initiative on public lands owned by the Township of Ocean.



D. — 2014-2019 Community Wildfire Management Plan



OCEAN TOWNSHIP
Ocean county
COMMUNITY WILDFIRE PROTECTION PLAN

In Cooperation with:
New Jersey Forest Fire Service
December 2014-2019

Community Wildfire Protection Plan

Executive Summary

The intent of this plan is to encourage the municipality and its residents to:

1. Recognize their responsibility to protect themselves and their property from wildfires.
2. Determine and prioritize fire protection options available.
3. Implement the selected methods to reduce their exposure to the threat of wildfire.

The NJ Forest Fire Service and Ocean Township (CWPP team) completed a comprehensive review of the Township's wildfire fighting capabilities, fire risk, fuel hazard classifications and past fire occurrences. Evaluating these factors and others that contribute to wildfire risk in a spatial format allowed the team to develop a cooperative plan targeting specific issues requiring action. The CWPP is designed to be a working document available for modification when warranted and the efforts and priorities that are identified can be changed, rearranged added to or dropped depending on current needs.

The municipality is committed to implementing the listed priority projects within the review period of this plan, and will reassess and renew this process to continue to reduce the severity and threat from wildfires.

The State Hazard Mitigation Plan, required by the Federal Emergency Management Agency under the Stafford Act, directs that a CWPP will be developed for all Municipalities within the wildland/urban interface within NJ. The Stafford Act requires states to provide all-hazard mitigation planning, including wildfires, with the State of NJ focusing these all-hazard plans at the county level. From single homeowners or neighborhood support of Firewise concepts, municipal CWPP infrastructure planning, property maintenance codes, and other efforts, to all-risk hazard planning at the county and state levels, a continuum of methods to protect the citizens

of NJ will be developed that can reduce the damage and risk of wildland fires.

This Community Wildfire Protection Plan was adopted by Ocean Township on (Date of adoption), and will be review and updated as needed or every 5 years.



Prescribed burning in Monmouth Battlefield State Park



Stakeholders

The following plan is a collaborative effort between various entities. The representatives listed below comprise the core decision-making team responsible for this report and mutually agree on the plan's contents.

Community Representative(s): **Name** **Office of Emergency Management (OEM)**
Police Lt. George Thompson , OEM Coordinator

Address 50 Railroad Avenue
Waretown, NJ 08758

Phone Number 609.693.4007

Other Contact Information Gthompson@twpoceannj.gov

Name **Deputy OEM Coordinator**
Lt. Scott Murphy

Address 50 Railroad Avenue
Waretown, NJ 08758

Phone Number 609.693.4007

Other Contact Information Smurphy@twpoceannj.gov

Name **Township Administrator**
Diane B, Ambrosio

Address 50 Railroad Avenue
Waretown, NJ 08758

Phone Number 609.693.3302 x 221

Other Contact Information administrator@twpoceannj.gov

Name **Director of Public Works**
Matt Ambrosio, CPM

Address 50 Railroad Avenue
Waretown, NJ 08758

Phone Number 609.693.3302 X 238

Other Contact Information dpw@twpoceannj.gov

Name **Municipal Clerk**
Diane B, Ambrosio, RMC,CMR

Address 50 Railroad Avenue
Waretown, NJ 08758

Phone Number 609.693.3302 X 233

Other Contact Information clerk@twpoceannj.gov

Name **Mayor**
Tina Wetter

Address 50 Railroad Avenue
Waretown, NJ 08758

Phone Number 609.693.3302 X 224

Other Contact Information Twetter@twpocean.gov



Stakeholders

The following plan is a collaborative effort between various entities. The representatives listed below comprise the core decision-making team responsible for this report and mutually agree on the plan's contents.

Community Representative(s): **Name** **Deputy Mayor**
Daniel Collamer
Address 50 Railroad Avenue
Waretown, NJ 08758
Phone Number 609.693.3302 X 225

Other Contact Information

Local Fire Department: **Name** **Waretown Volunteer Fire Company #1, Station 36**
Chief : Brent Cunningham cell: 609-661-5724

Address 50 Railroad Avenue
Waretown, NJ 08758

Phone Number 609.693.3302 X 233

NJ Forest Fire Service **Name** Donald "Scotty" Knauer, Section Forest Firewarden, B-5,
Cell: 609.209.2477

Address PO Box 239, New Lisbon, NJ 08064

Phone Number 609.726.9010, Fax: 609.726.1624,

Name Greg McLaughlin, Division Forest Firewarden

Address PO Box 404 501 East State Street, Trenton NJ, 08625-0404

Phone Number Phone:732.833.4847, Cell: 609.649.3611



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The following federal, state and other interested parties were consulted and involved in the preparation of this report.

Name	Organization
Maureen Brooks, Community Fire Planner	USDA-FS,
Peter Winkler, Manager	Greenwood Forest, Sedge Island WMA
Virginia Rettig, Manager	Forsythe Wildlife Preserve-USFWS
Michael Mangum, Director	County of Ocean- Parks and Recreation
Michelle Byers, Executive Director	NJ Conservation Foundation
Wayne Holmes, Council Camping Director	Joseph A. Citta Boy Scout Reservation
Bryan Ehret, Property Director	Amity Acres, Girl Scout Camp

Background: Ocean Township is a township in Ocean County, New Jersey, United States. As of the 2010 United States Census, the township's population was 8,332, reflecting an increase of 1,882 (+29.2%) from the 6,450 counted in the 2000 Census. Ocean Township was incorporated as a township by an Act of the New Jersey Legislature on April 13, 1876, from portions of both Lacey Township and Barnegat Township. Waretown is a census-designated place and unincorporated community located within Ocean Township. All of Ocean Township is commonly referred to as "Waretown" by local residents.

Ocean Township is governed under the Township form of government with a three-member Township Committee. The Township Committee is elected at-large by the voters in partisan elections to serve three-year terms of office on a staggered basis, with one seat coming up for election each year. At an annual reorganization meeting, the Township Committee selects one of its members to serve as Mayor.

For Kindergarten through sixth grade, public school students attend the Ocean Township School District. Schools in the district are Waretown Elementary School with an enrollment of 331 students in pre-K to 3rd grade and Frederic A. Priff Elementary School with 203 students in grades 4 - 6. For seventh through twelfth grades, public school students attend the schools of the Southern Regional School District, which serves the five municipalities in the Long Beach Island Consolidated School District — Barnegat Light, Harvey Cedars, Long Beach Township, Ship Bottom and Surf City — along with students from Beach Haven and Stafford Township, together with the students from Ocean Township. Both schools are in Manahawkin.

Fire History: Wildfire History: Records of wildfire history in Ocean Township date back to 1924 and large fires have occurred throughout the Township since that time. Fire prone areas generally correspond with Fire Risk Areas and occupy the Northeast and Western portions of the Township. Forest fires occur seasonally and primarily tend to occur between the beginning of April and the beginning of June. In Ocean Township a majority of all recorded Forest Fires over 100 acres occurred in April and May. These are the periods when the moisture levels of the forest canopy tend to be lowest, the forest canopy is bare or just beginning to leaf out so the forest floor dries out quickly, ambient temperatures are elevated, humidity levels tend to be low, and winds tend to be gusty with cold front passages - characteristics that would serve to rapidly spread any fires that are ignited. Historic spring winds from the southwest make wildfires originating and spreading within Ocean Township a real possibility.

Acres Burned:

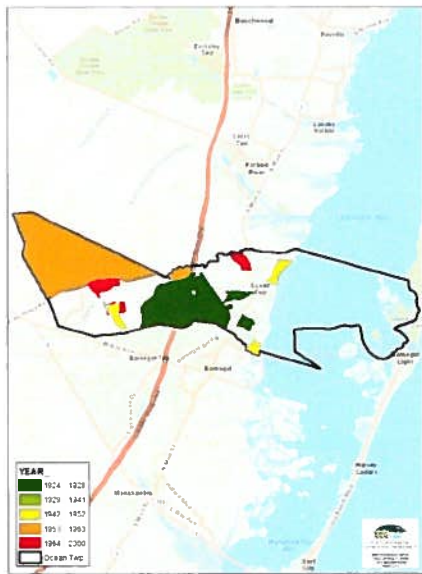
1. The 1950's had 5 wildfires that burned 16,143 acres.
2. The decade of the 1960's had 1 large wildfire that burned more than 69,000 acres.
3. The 1990's, had 3 major wildfires burning a total of 25,881 acres



Ignition Frequency: The number of forest fires in Ocean of all sizes over the past 14 years has been steadily declining with only 2 recorded "large fires" since 2000 when 340 acres burned.. This trend can generally be attributed to increased efforts to raise fire safety awareness. However, it should also be pointed out that almost all wildfires (estimates are as high as 99%) that occur within the project area, and elsewhere, are ignited as a result of human activity, underscoring



WILDFIRE OCCURRENCES



Wildfire Occurrences in Ocean Township 1924-2000

YEAR

1924 - 1928

1929 - 1941

1942 - 1952

1953 - 1963

1964 - 2000

Ocean Twp.

The map shows fires greater than 100 acres in Ocean Township by decade from 1924 to 2000. For more information see map on Figure 4.

Community Base Maps

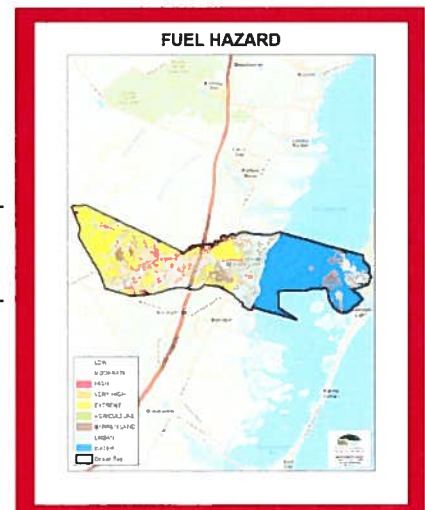
Included in the Community Wildfire Protection Plan is a series of maps highlighting specific data collected and analyzed by the NJ Forest Fire Service as well as maps depicting infrastructure and ongoing and planned future mitigation efforts.

<u>Figure</u>	<u>Map</u>	<u>Notes</u>
1	Fuel Hazard	This figure depicts forest fuel ratings that determine the ease of ignition and resistance to control efforts.
2	Wildfire Risk	This figure depicts a NJ Forest Fire evaluation of the following criteria: WUI, Fire Origins, and Fuel Hazard. A weighting of these 3 combined factors was used to produce this "Fire Risk" data layer
3	Wildfire Occurrences (> 100acres)	This figure depicts the locations of known fire boundaries >100acs within Ocean Township from 1926-2000.
4	Road Infrastructure 600/500 Series County Roads and Larger	This figure depicts major roadways.
5	Water Infrastructure and Sources	This figure depicts the extent of water purveyors and the location of water sources.
6	Property Ownership	This figure shows the different types and extent of property ownership.
7	Wildfire Origins	This figure depicts the locations of known fire origins.
8	Prescribed Burning History	This figure depicts the extent of prescribed fires, conducted by the NJ FFS to reduce fuel loadings.
9	Emergency Services Locations	This figure depicts the location of Police, Medical Emergency Services and Fire Companies.



Goals and Objectives of the Community Wildfire Protection Plan:

- I. Collaborate in the development of the plan with applicable local, county and state agencies.
 - Open community debate regarding wildfire threats and mitigation options
 - Integrate wildfire protection into other federal, state, county and local planning initiatives
- II. Assess the Wildfire Hazards and Risks within the forested and wild-land urban interface areas of the community.
 - Estimate the likelihood and severity of a wildfire, and the impact to neighborhoods, structures or areas of concern.
 - Perform a comprehensive assessment of municipal infrastructure to ensure it is geared to support wildfire defense including;
 - ◊ Roadway heights and widths
 - ◊ Bridge weight limits
 - ◊ Street identification signing
 - ◊ Hydrants or other water sources
 - ◊ Interoperable emergency communication networks
 - ◊ Fire-wise parks and open space
- III. Identify areas requiring hazardous fuels reduction and recommend types and methods of treatments that will protect one or more communities at risk and essential infrastructure.
 - Coordinate with fuel reduction initiatives sponsored by State, State Authorities or other local governments
 - Merge the goals and objectives of the landowners (public and private) with the needs and expectations of the community regarding reduction of wildfire hazards and risks
- IV. Identify and recommend measures that homeowners and communities can take to reduce the ignitability of homes and structures throughout the community.
 - Coordinate fire protection strategies across property/municipal boundaries and with NJ Forest Service Officials and NJ Division of Fish and Wildlife.
 - Foster the recognition by homeowners of their responsibility to protect their homes from wildfire
 - Address the issue of builders/developers responsibility regarding fuel-break installation.
 - ◊ Timing for completing work
 - ◊ Attaching fuel-break work to bonding of infrastructure
 - ◊ Determine municipal department/positions responsible for implementing
 - Address the conservation easement/fuel-break conflict. Can a fuel-break be installed within a conservation easement?
- V. Increase individual and community awareness of wildfire hazards, risks and related issues as well as promote wildfire mitigation and community protection initiatives.
 - Provide for an educational component to remind residents of their responsibility to adopt concepts such as defensible space
 - Integrate and support neighborhood Firewise Communities goals
- VI. Prioritize hazardous fuel reduction, structural ignitability reduction, and community awareness projects within the community and assist in their implementation.
 - Coordinate grant funding with local, county and state government program budgets to achieve the most effective results with available funding
 - Use as a mechanism for the municipality to focus land use, development, building codes and property maintenance ordinances to enhance opportunities for existing homes and safer future development.



Ocean Township
Ocean County



enhance opportunities for existing homes and safer future development.



Municipal Hazard & Risk Assessment

A thorough assessment of historic wildfire occurrence, fire suppression capabilities and ranking of the survivability of a community, structure or area at risk of a wildfire was undertaken for the municipality. The following summary table identifies the associated wildfire hazards and risk as viewed by this municipality for the communities, structures or areas listed.

Table 1:

Community, Fire District Structure or Area at Risk	Fuel Hazard	Risk of Wildfire Occurrence	Structural Ignitability	Firefighting Limitations	Overall Threat
East of Route 9	3	4	3	2	12
Between Route 9 and Garden State Parkway	4	4	4	3	15
West of Garden State Parkway	5	3	4	5	17

¹ **Fuel Hazard** – The rank of the wild-land fuels that burn in and around the community, structure, or area.

² **Risk** – The measure of what causes a wildfire and the impact that it has.

³ **Structure Ignitability** – The rank of a structure's ability to resist the threat from a wildfire as determined by an assessment that meets or exceeds NFPA .

⁴ **Firefighting Limitations** – An assessment of the equipment, organization, training, communication, mutual-aid agreements, and water supply available and in place.

* Undeveloped property. If/when the property is developed, ratings may change.

Summary: Table 1 depicts the areas/communities in Ocean Township that are most at risk for Wildfire pursuant to the factors listed in the table above. Although a wildfire can occur throughout Ocean Township, the communities listed above shared a rating of high when all four criteria were examined and evaluated.

Community Rating System:

1-Low

2-Moderate

3-High

4-Very High

5-Extreme

Overall Threat (summary) Rating System

1-4 -Low

5-8 - Moderate

9-12 -High

13-16 -Very High

17-20 -Extreme



NJ Forest Fire Service personnel using prescribed fire to reduce fuel loads in Monmouth Battlefield State Park

Photo courtesy of NJ Forest Fire Service, Section B-10



Fuel Hazard Mitigation Recommendations

Based on the results of the community hazard and risk assessment, priority ratings have been assigned to projects where the reduction of wildland fuel hazards would be effective. Several project activity types and methods of treatment for reducing the surrounding vegetation may be listed for each community, structure or area. These projects and their related priority rankings are listed in the following table.

Table 2:

Community, Structure or Area at Risk	Recommended Fuel Reduction Project Activity	Treatment Methodology	Overall Priority
East of Route 9			
Ocean Twp. Residents	Beacon Drive	Mechanical Thinning	1
Ocean Twp. Residents	Camp Lighthouse	Prescribed Burning	2
Between Route 9 and GS Parkway			
Lochiel/Rose Hill	Fuel Reduction	Prescribed Burning Mechanical Thinning	3
Greenbriar West	Fuel reduction	Mechanical Thinning	2
*Greenbriar South	Fuel reduction	Prescribed Burning/ Mechanical Thinning	1
Dogtowne	Homeowner/ Defensible Space Activity	Mechanical Thinning	4
Memorial Park/ Waretown Lake	Fuel Reduction	Prescribed Burning	6
Rail Trail to Rt. 9	Fuel Reduction	Mechanical Thinning	5
West of GS Parkway			
Ocean Township Police Shooting Range	Fuel Reduction	Prescribed Burning	10
Brookville Road Corridor WUI	Defensible Space Education	Mechanical Thinning	3
Ocean Twp. Residents	Jones Road Wui	Mechanical Thinning	2
Ocean Twp. Residents	Jones Road Firebreak	Mechanical Thinning/Road Maintenance	1
Girl and Boy Scout Camps	Perimeter Fuel-breaks Fuel Reduction	Mechanical Thinning Prescribed Burning	4
Ocean County Park Wells Mills	Fuel Reduction	Prescribed Burning	5
Brookville Campground	Fuel Reduction`	Mechanical Thinning	9
Ocean Twp. Residents	Pancoast Road Fuelbreak	Mechanical Thinning	6
Ocean Twp. Residents	Frazer Fuel Reduction	Prescribed Burning	7
Ocean Twp. Residents	Greenwood WMA Fuel Reduction	Prescribed Burning	8

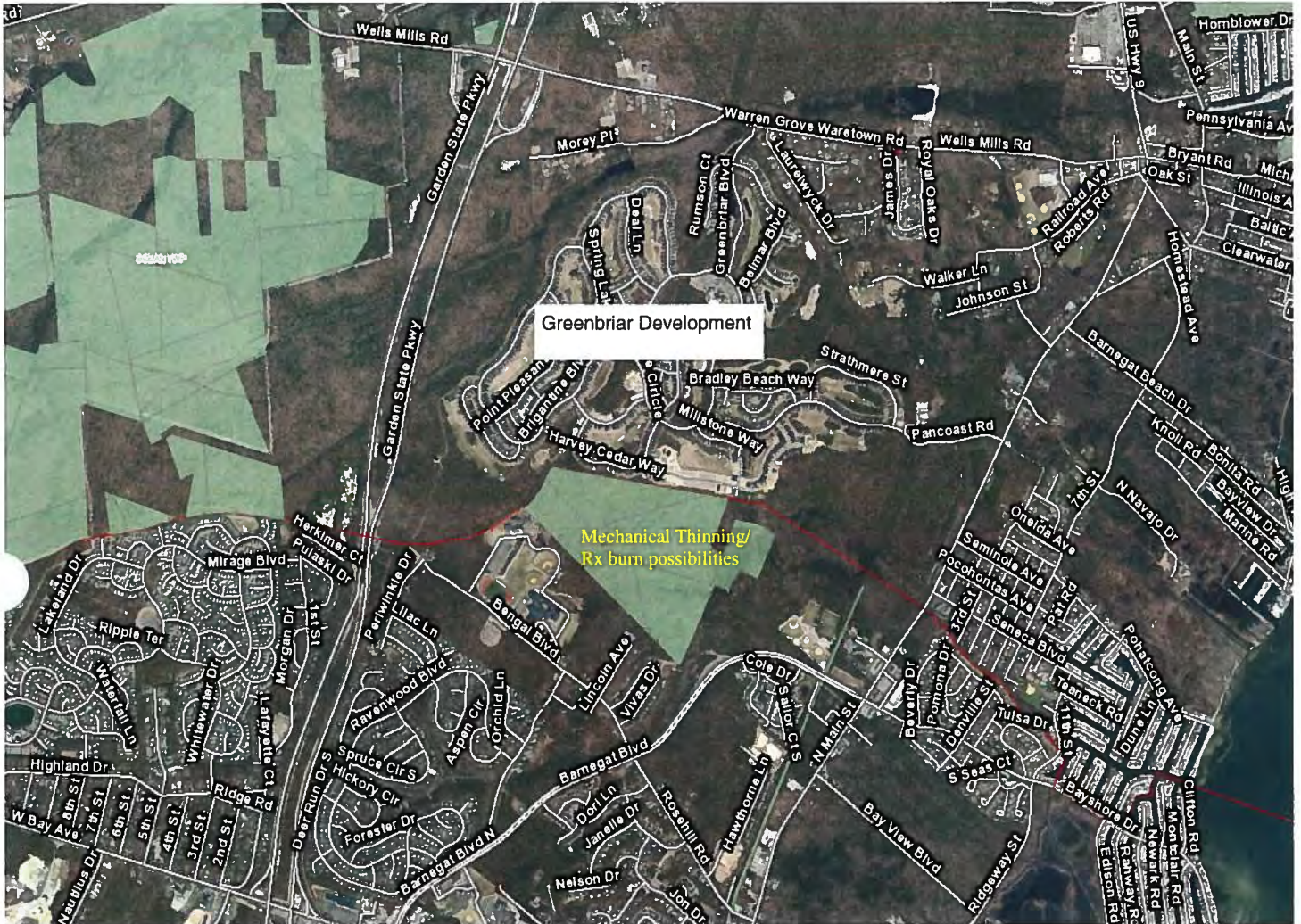
* Some prescribed burn areas proposed to protect Greenbriar are in Barnegat Township

Summary: Table 2 identifies the specific wildfire mitigation strategies determined to be the highest priority actions that can be undertaken to reduce the risk of wildfire in Ocean Township. These specific mitigation actions were then evaluated against one another and priorities were assigned by the NJ Forest Fire Service.



Possible Prescribed Burning Locations Ocean County Park

(in support of fuel reduction around Greenbriar Development)



Ocean County Open Space



County Open Space with possible Rx burning locations in Barnegat Township to protect the Greenbriar development in Ocean Township.



Recommendations to Reduce Structural Ignitability

Methods to reduce structural ignitability are numerous. The following table provides a number of options available to reduce the risk of a wildfire ignition, its severity, and impact to structures.

Table 3:

Community, structure or area at risk	Structure Ignitability Reduction Options	Completed Yes/No
Ocean Township	<p><u>1. Fire Preparedness</u> a. Dry hydrants/cisterns b. Label hydrants c. Wildfire exercises d. Mutual aid agreements e. Fire Depts. to support Hazard Mitigation work</p> <p><u>2. Rules & Regulations</u> a. Enforcement of Pinelands Fire Safety regulations b. Property maintenance ordinances c. Enforce local zoning rules d. Conservation easement/fuelbreak conflict</p> <p><u>3. Community Preparedness</u> a. CERT teams b. Reverse 911 notifications c. Evacuation routes d. Local government to support hazard mitigation work e. Home address visibility f. Fire Company to include Ready, Set, Go outreach</p>	<p>a. No b. Yes, GIS c. Yes d. Yes e. Yes</p> <p>a. Yes b. Yes c. Yes d. Yes, in Pinelands</p> <p>a. Yes b. Yes c. Yes d. Yes e. Problem West of GS Parkway f. Yes</p>
East of Route 9	<p><u>1. Firewise Communities/USA</u> a. Home & structure assessments b. Community clean-ups c. Firewise landscaping d. Firewise Committee established?</p> <p><u>2. Fire Preparedness</u> a. Fuelbreak maintenance (end of Bacon Drive) b. Camp Lighthouse Rx Burning</p> <p><u>3. Homeowner Preparedness</u> a. Home and yard Firewise maintenance and clean ups b. Firewise landscaping c. Home escape & evacuation plans</p>	<p>a. No b. Yes c. No d. No</p> <p>a. Phragmites mowing proposed b. Yes</p> <p>a. No b. Through website Link c. Yes, through R-S-G</p>
Between Route 9 and the Garden State Parkway	<p><u>1. Firewise Communities/USA</u> a. Home & structure assessments b. Community clean-ups c. Firewise landscaping d. Firewise Committee established?</p> <p><u>2. Fire Preparedness</u> a. Fuelbreak maintenance</p> <p><u>3. Homeowner Preparedness</u> a. Home and yard Firewise maintenance and clean ups b. Firewise landscaping c. Home escape & evacuation plans</p>	<p>a. Interested b. Yes c. Yes d. No, interested</p> <p>a. Yes</p> <p>a. Yes b. Yes c. Yes</p>



Recommendations to Reduce Structural Ignitability (cont'd)

Community, structure or area at risk	Structure Ignitability Reduction Options	Completed Yes/No
West of the Garden State Parkway	<p><u>1. Firewise Communities/USA</u> a. Home & structure assessments b. Community clean-ups c. Firewise landscaping d. Firewise Committee established?</p> <p><u>2. Fire Preparedness</u> a. Fuelbreak maintenance</p> <p><u>3. Homeowner Preparedness</u> a. Home and yard Firewise maintenance and clean ups b. Firewise landscaping c. Home escape & evacuation plans</p>	<p>a. No, proposed b. In progress, through website links. c. In progress , through website links. d. No</p> <p>a. Yes</p> <p>a. Yes b. In progress, through website link. c. In progress through R-S-G.</p>

Summary: Table 3 is a comprehensive assessment of Ocean Township and wildfire reduction options for specific sections/communities within the Township. Each section was evaluated for each of the options, and the status of each option was identified as yes/no or interested.

The priorities for implementing the wildfire mitigation options were assigned by the NJ Forest Fire Service.



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Outreach Recommendations

While all activities considered should include some degree of community outreach, such outreach is often an option on its own. The following outreach options were identified for the community, structure or area listed.

1. Ocean Township disseminate Wildfire information:
 2. Community cable channel, channel 22
 3. Lobby display
2. Include Wildfire prevention, Ready, Set, Go and Firewise messages at these events.
3. Install Smokey Bear/Firewise signage at Fire Station.
4. Include preparedness information link on Township and Fire Company Website(s). Post yearly: By January 1st Information about Control Burning and By March 15th post information about the Wildfire season.
5. Link Firewise, Ready, Set, Go and Defensible Space education materials to the Ocean Township and Fire Company Websites.
6. Include wildfire message and information at four events:
 - ◆ Founders Day
 - ◆ National Night Out
 - ◆ Pine Barrens Jamboree
 - ◆ Fire Prevention Week
7. Include Wildfire prevention information in Wells Mills Park (Ocean County Parks)
8. Provide wildfire information at the Ocean County Parks Pinelands tours.
9. Develop a Firewise community
10. Form a Municipal Fire Safety Council to coordinate preparedness effort
11. Incorporate CWPP, Ready, Set, Go, Firewise and a Municipal Fire safety Council to participate in Sustainable Jersey

Resources Available:

1. From the NJ Forest Fire Service
 - a. Fire Danger and Awareness Signs
 - b. Statewide Fire Restriction Information <http://www.state.nj.us/dep/parksandforests/fire/firedanger-restrictions.html>

“Municipalities that participate in the CWPP process are eligible for funding from the NJ Forest Fire Service to implement their highest priority action(s),” according to NJ Section Forest Firewarden Scott Knauer



Implementation Strategy and Action Plan

The following table displays a list of projects considered from the hazard reduction, structure ignitability and outreach options, ranked by priority. Identifying the responsible agency or landowner, the funding source and the estimated completion timetable will help ensure measurable results for each project.

Table 4:

Rank	Project Type	Community, structure or area at risk	Agency/ Landowner	Funding Needs	Funding Source	Time Table
1	Jones Road Firebreak	Brookville	Ocean Township	Depending on availability	NJFFS	2015
2	Wildfire Awareness Event (Founders Day)	All Residents	Ocean Township	\$0.00 Manpower	NJFFS	2015
3	Firewise Website Link	Ocean Township Waretown Fire Dept.	Ocean Township	\$0.00 Manpower	NJFFS	2015
4	Firewise Community Certification	Greenbriar	Various	\$5000 From Firewise Funds	NJFFS	2015
5	Upgrade Wildfire Protection Capabilities	Ocean Township Waretown Fire Dept.	Ocean Township	Depending on availability	NJFFS	2014-2017
6	Town wide alert system/ Cert team notification	Ocean Township	Ocean Township	\$5,000	NJFFS	2014-2017
7	Community Clean-up/ Defensible Space Event	All residents	Ocean Township	Depending On availability	NJFFS	2017

Implementation and Plan Monitoring:

The municipality has agreed by resolution to implement the top five ranked projects within the review period, and is committed to reassessing and implementing additional top ranked projects in the future. These additional projects will be displayed in an updated appendix to this plan.

Resource Materials:

Available at www.njwildfire.org

- Preparing a Community Wildfire Protection Plan, A Handbook for Wildland-Urban Interface Communities, (NACO, NASF, SAF, WGA) March 2004.
- Field Guidance by National Association of State Foresters, June 27, 2003
- Leaders Guide Supplement, International Association of Fire Chiefs



Community Wildfire Protection Plan Certification and Agreement

The Community Wildfire Protection Plan was developed for/by Ocean Township; was collaboratively developed. Interested parties and state land management agencies managing land in the vicinity of Ocean Township have been consulted.

- This plan identifies and prioritizes areas for hazardous wildland fuel reduction treatments and recommends the types and methods of treatment that will protect Ocean Township.
- This plan recommends measures to reduce the ignitability of structures throughout the area addressed by the plan.

The following entities mutually agree with the contents of this Community Wildfire Protection Plan:



Mayor, Ocean

Township;



Fire Chief, Ocean

Township



NJ State Forest Firewarden
State Fire Warden, New Jersey Forest Fire Service



**Appendix A
Updated Project List
2014**

The following table lists the projects completed within the past review period, the projects yet to be completed, and new projects proposed.

Rank	Project Type	Community, structure or area at risk	Agency/ Landowner	Funding Needs	Funding Source	Time Table	Project Complete
1	Jones Road Fuelbreak	Brookville	Ocean Township	Depending On availability	NJFFS	2015	
2	Wildfire Awareness (Founders Day)	All Residents	Ocean Township	\$0.00 Manpower	NJFFS	2015	
3	Firewise Website Link	Ocean Township Fire Company	Ocean Township	\$0.00 Manpower	NJFFS	2015	
4	Firewise Community Certification	Greenbriar	Various	\$5000 Firewise funding	NJFFS	2016	
5	Upgrade Wildfire Protection Capabilities	Ocean Township Waretown Fire Department	Ocean Township	Depending On availability	NJFFS	2014-2017	
6	Town wide Alert system/ Cert team	Ocean Township	Ocean Township	\$5,000	NJFFS	2014-2017	

The following entities mutually agree with the updated contents of this Community Wildfire Protection Plan update:

Mayor of Ocean Township

Ocean Township Fire Chief

NJ State Firewarden
New Jersey Forest Fire Service





Standard Definitions of Forest Fire Terms in New Jersey

State of New Jersey | Department of Environmental Protection | Forest Fire Service
2016

Defensible Space

A natural or manmade change in fuel characteristics that affect fire behavior so that fires burning into them can be more readily controlled or managed.

Defensible space standards

- 30 feet in moderate fire hazard areas
- 75 feet in high hazard areas
- 100 feet in extreme hazard areas
- 200 feet in extreme hazard protecting a community of 100+ houses

Fire Corridors

Defined areas and pathways where wildfire has occurred on more than one occasion in the past. These conditions predict that a fire is more likely to occur in these areas again.

Fire Hazard

A fuel complex, defined by volume, type condition, arrangement, and location that determines the degree of ease of ignition, and of resistance to control.

Fire Management Area

One or more management blocks that have a common set of fire management objectives. This area is administratively managed primarily for fire protection.

Fire Risk

The chance of a fire starting, as determined by the presence and activity of causative agents. In New Jersey, the primary causative agent is humans.

Firebreak

A natural or constructed barrier used to stop or check wildfires, or to provide a control line from which to work. The firebreak is 1.5 times the height of fuels available to burn directly adjacent to the object. When used in conjunction with a fuel break, the size of the firebreak may be reduced.

Firelane

An existing cleared path, minimum width of 10 feet, which emergency traffic uses to gain access to an area.

Fireline

The part of a containment or control line that is scraped or dug into mineral soil, usually 8 feet in width or less. This may be used for a wildfire or prescribed burn.

Firesheds

Defined at the landscape level by natural and manmade geographic features of the environment and include large (thousands of acres) envelopes of land, which are delineated based on the fire regime, fuels, fire history, fire risk, and potential for wildland fire behavior. Firesheds capture social, political, biological and physical elements that relate to wildland fire.

Fuel break

A natural or manmade change in fuel characteristics which affects fire behavior so that fires burning into them can be more readily controlled. Fuel breaks are strategically created within large expanses of high hazard forest to enhance suppression opportunities, provide access, and support the linear firebreaks established along designated roads. Fuel breaks may also be used as points of anchor for indirect attack on wildland fires, as well as for prescribed fires. Fuel breaks afford wildland firefighters a safe area to conduct wildfire suppression operations. Prescribed burning is the preferred method for creating and maintaining fuel breaks.

Fuel Loading

The amount of fuel present expressed quantitatively in terms of weight per unit area. This may be available fuel (consumable fuel) or total fuel and is usually dry weight.

Fuel break System

An assortment of modified land units that may or may not be physically connected, but that have been selected and treated based on their functional location to restrict a wildfire. This type of break may include natural barriers or manually and/or mechanically constructed. Generally, these are designed to disrupt historic fire paths and can include: fuel breaks, safety strips, and/or protection buffers.

Prescribed Burning

The intentional application of fire to a parcel of land with natural vegetation, where the fire is confined to a predetermined area, under specific weather conditions, which helps to prevent and control wildfires.

Protection Buffer

An area where fuel reduction techniques are applied in proximity to exposed property or values at risk to reduce the danger or damage of a wildfire. These buffers enhance the safety for fire protection operations by providing defensible space and reduce the chance for fire ignition and fire spread.

Safety Strip

Areas that take advantage of site specific features or terrain to facilitate suppression and prevent ignitions. These can include fields, rights-of-way, and roadsides. Safety strips can also enhance the effectiveness of existing firebreaks.

Wildland Urban Interface (WUI)

The line, area, or zone where structures and other human development meet or intermingle with undeveloped wildland or vegetative fuels. Describes an area within or adjacent to private and public property where mitigation actions can occur to prevent damage or loss from wildfire





NJ Wildfire Preparedness Guide: Community Wildfire Protection Plan (CWPP)



What is a Community Wildfire Protection Plan (CWPP)? A CWPP is a mechanism for municipalities to address their wildfire risk in a comprehensive manner. Development of the plan and the planning process are designed to promote collaboration between the Forest Fire Service (FFS) and local officials.

A CWPP should address wildfire concerns across a broad area and provide an outline for wildfire mitigation activities including: management of hazardous fuels, outreach and awareness, training and preparedness. A CWPP identifies Ready-Set-Go and Firewise program needs, which helps to strengthen wildfire preparedness among residents, ultimately leading to safer and more effective wildfire response. CWPP's are developed collaboratively with the municipal government and local fire departments, with guidance and technical input from the FFS and other state and federal partners as needed. At its core, the CWPP identifies and defines the Wildfire Urban Interface (WUI). Issues related to wildfire protection in the WUI can also be addressed such as: communications, response capability, zoning regulations, building codes, development standards, fuel treatment and restoration, water and road infrastructure and ecological considerations.

Why is completing a CWPP important to a Section Forest Firewarden?

CWPP's are a plan to reduce wildfire fire risk first to the firefighter and then residents. It is designed to identify problem areas, pin-point needs, recommend actions and implement improvement actions. To this end, all completed CWPP's are supported by a grant of up to \$5,000 reimbursable to the municipality for costs associated with implementing the CWPP. As part of the plan a Section Forest Firewarden's priorities can be identified and fixed.

What are the advantages of a CWPP to the Section Forest Firewarden?

The plan is a vehicle that brings the FFS and municipal officials closer, which builds cooperation and directly benefits incident management and response.

The plan will capture the important players that may be involved in managing an incident within the municipality and brings them into the planning process.

Fuel mitigation activities are identified and limitations to Rx burning as a result of: lack of water, access, bridge limits etc.

The plan identifies areas of the municipality where structures may be more susceptible to wildfire as a result of their construction, landscaping, limited access and/or other factors. Having all that information together in a room with the decision-makers makes it much easier to determine the priorities and therefore the action(s) needed to fix that priority need. Available grant funding helps to ensure implementation of identified mitigation projects as well as to foster a good relationship lo-



What is my responsibility in the CWPP process?

Identification: The Section Forest Firewarden is responsible for identifying wildfire risks in municipalities and communities within their respective coverage area. The availability of resources and funding to develop CWPP's is limited, therefore Forest Firewarden should first make a list that prioritizes the areas within their section with the highest risk.

Prioritization: Contact should then be made through written and/or verbal communication to all municipalities within the coverage area to determine their interest in participating in development of a CWPP for their municipality. The priority list should be reevaluated with input from CWPP Program Managers and, based on "risk/priority" and local interest, at least one municipality will be identified for development of a CWPP.

Coordination: Once it is decided to target a municipality for development of a CWPP, an introductory "briefing" meeting is scheduled, which should include, at minimum:

- a. Mayor and/or Business Administrator
- b. OEM Coordinator
- c. Local Fire Chief(s)
- d. DPW Director
- e. Public landowners: NJF&W, NJ Parks, USFWS, County Parks, etc.
- f. CWPP Program Manager
- g. Division Firewarden

This meeting is designed to introduce the CWPP process and to begin identification of wildfire risks and other related issues. If time allows, this meeting may also be used to conduct a "CWPP Walk-Through."

Planning: Continue to facilitate planning meetings to complete the components of the CWPP. During this Step the Section Forest Firewarden contributes to the development of the CWPP by helping to identify needs, limitations, RxB burn areas, and by suggesting means of increasing awareness of wildfire risk to the residents. This Step includes identification of potential Firewise Communities.

Collaboration: The CWPP Program Manager, and other Forest Firewardens will help to guide the municipality through the process and be responsible for the development of the plan and capturing the comments made at the meetings.

Adoption: Once all parties agree to the plan content, goals and implementation priorities, then it is adopted through Resolution at the township or signed by the Mayor, and State or Division Firewarden and the Local Fire Chief. Each of the respective signers (Municipality, NJFFS and Fire Company get original signed copies of the CWPP.

Q 1. How does a CWPP benefit the Section Forest Firewarden?

A 1. Through development of the CWPP partnerships are formed with local emergency service personnel. These relationships have proven useful in response and management of wildfire emergencies.

2. What is YOUR biggest fear in fighting wildfires as a Section Firewarden?

Loss of property, loss of life? Being proactive and utilizing the preparedness tools available like CWPP's allow you to identify these needs and become proactive in fixing them. This protects you as the responsible party and the residents in your "At-Risk Municipality."



NJ Wildfire Preparedness Guide: Firewise Communities/ USA



This guide is designed to support a Section Forest Firewarden in their delivery of the Firewise Communities/USA program to local communities in their coverage area.

Firewise Communities/USA: The USDA Forest Service provides funding to the National Fire Protection Association (NFPA) to administer a national Firewise Communities/USA program. From the national program guidance, the state Forest Fire Service agency is responsible for developing a program tailored to their state. In New Jersey, the Forest Fire Service (FFS) is responsible for delivery of a Firewise Communities Program to interested communities that are at risk of wildfire. This program is considered “grass-roots” in that it is designed to provide residents with the training, tools and funding to become better prepared in the event of a wildfire.

The Benefits of Becoming a Firewise Community:

The Firewise program is a foundational building block for several other wildfire preparedness programs such as Fire Adapted Communities (FAC), Ready, Set, Go, and Community Wildfire Protection Planning (CWPP). Municipalities with designated Firewise Communities are also eligible for Sustainable Jersey points. To save lives and property from wildfire, the program teaches people how to adapt to living with wildfire and encourages neighbors to work together and take action now to prevent losses. This in turn, allows fire-



How to assist a community in becoming a recognized Firewise Community/USA:

The process of becoming a recognized **Firewise Community/USA** is straightforward and simple. First, identify areas that are fire-prone and/or that are at risk of wildfire. Next, contact residents in the community and host an information session about community preparedness, wildfire prevention and Firewise. If the community is interested in getting involved, then ask for volunteers to form a Firewise Committee. Schedule a follow up meeting with the committee to discuss the details of participation.

Using a five-step process, neighborhoods and communities develop an action plan that guides their residential risk reduction activities, while engaging and encouraging their neighbors to become active participants in building a safer place to live.

The five steps of Firewise recognition include:

1. Obtain a Wildfire Risk Assessment as a written document from your state forestry agency or fire department.
2. Form a board or committee to represent the community and oversee the program.
3. Create a Firewise Action Plan based on wildfire risk. Plan is valid for five years.
4. Conduct a “Firewise Day” event annually.
5. Annually, invest a minimum of \$2 per capita in local Firewise actions.
6. Submit an application to your NJ Firewise Liaison by December 31st.
7. Renew your application annually online at www.firewise.org

In addition, if funds are available, 50/50 matching sub-grants are available to communities who implement actions toward become a designated Firewise Community/USA.

How the Firewise Communities/USA Program Help Me?

“At-risk” wildfire communities that participate in Firewise understand the importance of creating proper Defensible Space, which will make you safer when responding to a wildfire. Better prepared residents are more knowledgeable about wildfire and know what actions to take in the event of a fire. This helps keep everyone safer. Engaging and teaching residents about wildfire will lead to more support for you in carrying out your day-to-day job responsibilities.

www.firewise.org





The Section Firewarden's Guide to Ready-Set-Go



READY, SET, GO! THE NATIONAL PROGRAM

www.wildlandfireRSG.org

The Ready, Set, Go program, managed by the International Association of Fire Chiefs (IAFC), seeks to develop and improve the dialogue between fire departments and the residents they serve. The program helps fire departments teach individuals who live in high risk wildfire areas - and the wildland urban interface (WUI) – how to best prepare themselves, their families, and their properties against fire threats.

READY: Take personal responsibility and prepare long before the threat of wildland fire so your home is ready in case of a fire. Create defensible space by clearing brush away from your home. Use fire resistant landscaping and harden your home with fire safe construction measures. Assemble emergency supplies and belongings in a safe place. Plan escape routes and make sure all those residing within the home know the plan of action.

SET: Pack your emergency kit. Know how to receive and stay aware of the latest news and information on the fire from local media, your local fire department, and public safety officials.

GO: ACT EARLY: Follow your personal wildland fire action plan. Doing so will not only support your safety, but will allow firefighters to best maneuver resources to combat the fire.

Program resources are at your fingertips. Upon joining RSG (at no charge), the department will receive a tool kit of resources for outreach and have access to the program's documents from the web site. The resources are customizable and free.

Why is READY, SET, GO! important to a Section Warden?

RSG increases resident's wildfire awareness by partnering with fire departments (volunteer and career). RSG is a complete outreach resource package, from the RSG action guide to pre-done letters to HOA's and township officials. NJFFS can increase residents wildfire awareness by promoting RSG to fire departments in fire prone areas. Thru RSG the fire departments will reach more people, and give them an understanding of the dangers of wildfire and what they can do to take personal responsibility for their own safety.

RSG increases resident's awareness of what to do and where to go during a wild fire. Thru fire department outreach residents are taught what radio stations to listen to and how to sign up for Nixel and reverse 911 for the latest information. During an evacuation, if residents know what routes to take and where to go, thru emergency messaging, it will make it easier for fire crews to get to the fire.

Residents are taught how to make their homes more resistant to fire with some Simple steps such as keeping gutters clean, keeping fire wood off decks and



What are the advantages of READY, SET, GO! to the Section Warden?

Working with each fire department in a section can grow outreach exponentially. Getting fire departments to buy in to RSG is not hard. There are so many perks from IAFC that it makes it hard for a department to say no, including easy to write grants for outreach. Once a department is signed up they can do as much outreach and type they want. Each fire department becomes an independent voice for RSG.

RSG can help develop a stronger partnership between the section fire warden and the local fire departments.

What's my job in the READY, SET, GO! process?

Discuss the positive aspects of RSG with fire department leaders in your section, let them know the perks associated with RSG.

Give department's pre- packaged information from IAFC. (this will be the same as the package you received).

Follow up with departments to make sure each department has made contact with IAFC to sign up for RSG. Keep in mind the sign up is free and gives them access to all the resources IAFC offers as outlined in your packet.

Other outreach resources are also available. For more information contact the International Association of Fire Chiefs (IAFC), at 703-273-0911 or www.wildlandfireRSG.org

NFPA resource: <http://www.nfpa.org/>

U.S. Fire Administration resources: <https://www.usfa.fema.gov/>

Why Get Involved in Ready, Set, Go!?

Getting "at risk" communities and local fire companies involved with Ready-Set-Go can help make your job easier by allowing others to spread the wildfire preparedness message.....

Local fire departments spread a multi- level message to residents about wildfire safety.

All information and guidance are provided to the local fire departments by the IAFC.

Once a department signs up for RSG they become an independent voice to carry the wildfire safety message.





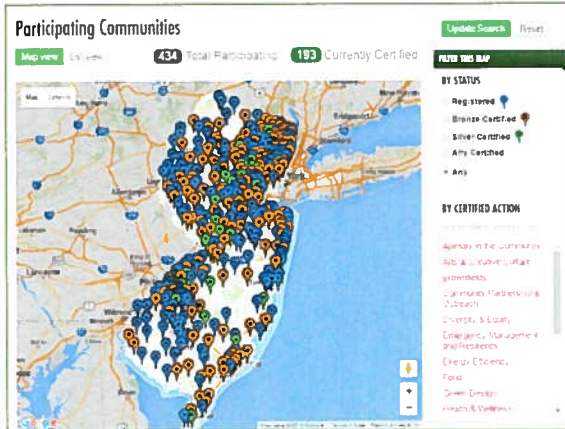
Wildfire Preparedness Guide: Sustainable Jersey – Wildfire Actions



What is Sustainable Jersey?

Sustainable Jersey (SJ) is a nonprofit organization operated as part of the Center for Sustainability at The College of NJ. The SJ program has a well-defined and rigorous format for certification of municipalities that participate in SJ. This program provides tools, training and financial incentives to support municipal level sustainability programs. For example, municipalities that take measures to reduce waste, cut greenhouse gas emissions, plant trees, reduce wildfire risk and improve environmental equity are eligible for Sustainable Jersey certification. SJ's goal is to empower communities to build a better world for future generations. Sustainable Jersey certification is a prestigious designation for municipal governments

in New Jersey. Municipalities that achieve the certification are considered by their peers, by state government and by the experts and civic organizations in New Jersey, to be among the leading municipalities and some of the great places to live. The certification process is meaningful and comprehensive, whereby all actions taken by municipalities to score points toward certification must be accompanied by documentary evidence and is reviewed. The certification is free and completely voluntary.



Of New Jersey's 566 Municipalities 434 of

them are participating in the Sustainable Jersey Program.

The NJFFS along with the NJ Fire Safety Council worked with Sustainable Jersey for more than a year to develop a suite of *Wildfire Preparedness Actions*. These new actions have been approved by the SJ Board and are now available to municipalities.

<http://www.sustainablejersey.com/actions-certification/actions/>

Why has the NJFFS Partnered with Sustainable Jersey?

The NJFFS has partnered with Sustainable Jersey in order to reach a new audience, in



preparedness messaging that will aid the Division and Section Firewarden in carrying out their responsibilities for the protection of life and property from the threat of wildfire. Given, that a municipality can now receive points toward SJ certification through its participation in one of the FFS's sponsored programs is a boon for the municipality as well as the FFS.

For more than a year, the FFS met with Sustainable Jersey staff to develop several "Certified Actions" that municipalities could take to reduce their wildfire risk AND receive "points" towards their bronze, silver or gold certification. Those wildfire preparedness actions are:

Firewise Communities - Communities seeking to take wildfire reduction actions within a Municipality can gain points towards Sustainable Jersey by becoming a Firewise Community. A Community can gain additional points by "mentoring" another community and guiding them through the Firewise Community process. Everything a Community needs to know to enroll in the Firewise Programs is available on the Sustainable Jersey website.

Ready, Set, Go! - Fire Companies that stage a RSG awareness event receive points towards Sustainable Jersey Certification. If there are more than one fire company in a Municipality they may receive up to 15 points for multiple fire company participation.

Community Wildfire Protection Plans (CWPP) – Municipalities seeking a comprehensive review of their wildfire risk through the CWPP planning process receive 10 points under the Sustainable Jersey program. Funding to complete 8 CWPP's that come to the NJFFS through the Sustainable Jersey Program has been ear-marked as an incentive. A \$5,000 grant to implement the highest priority action identified in the CWPP process is also part of that earmark.

Wildfire Safety Council – Municipalities seeking to coordinate their wildfire preparedness efforts through a local Wildfire Safety Council will be rewarded with Sustainable Jersey points towards certification. Municipalities that form a local Fire Safety Council will be responsible for keeping the CWPP up to date and will receive a \$1,000 grant towards building capacity of the local council by holding a Wildfire Awareness event.

For more information about the Sustainable Jersey *Wildfire Preparedness Suite of Actions*, follow the link:

Why Get Involved in Sustainable Jersey?

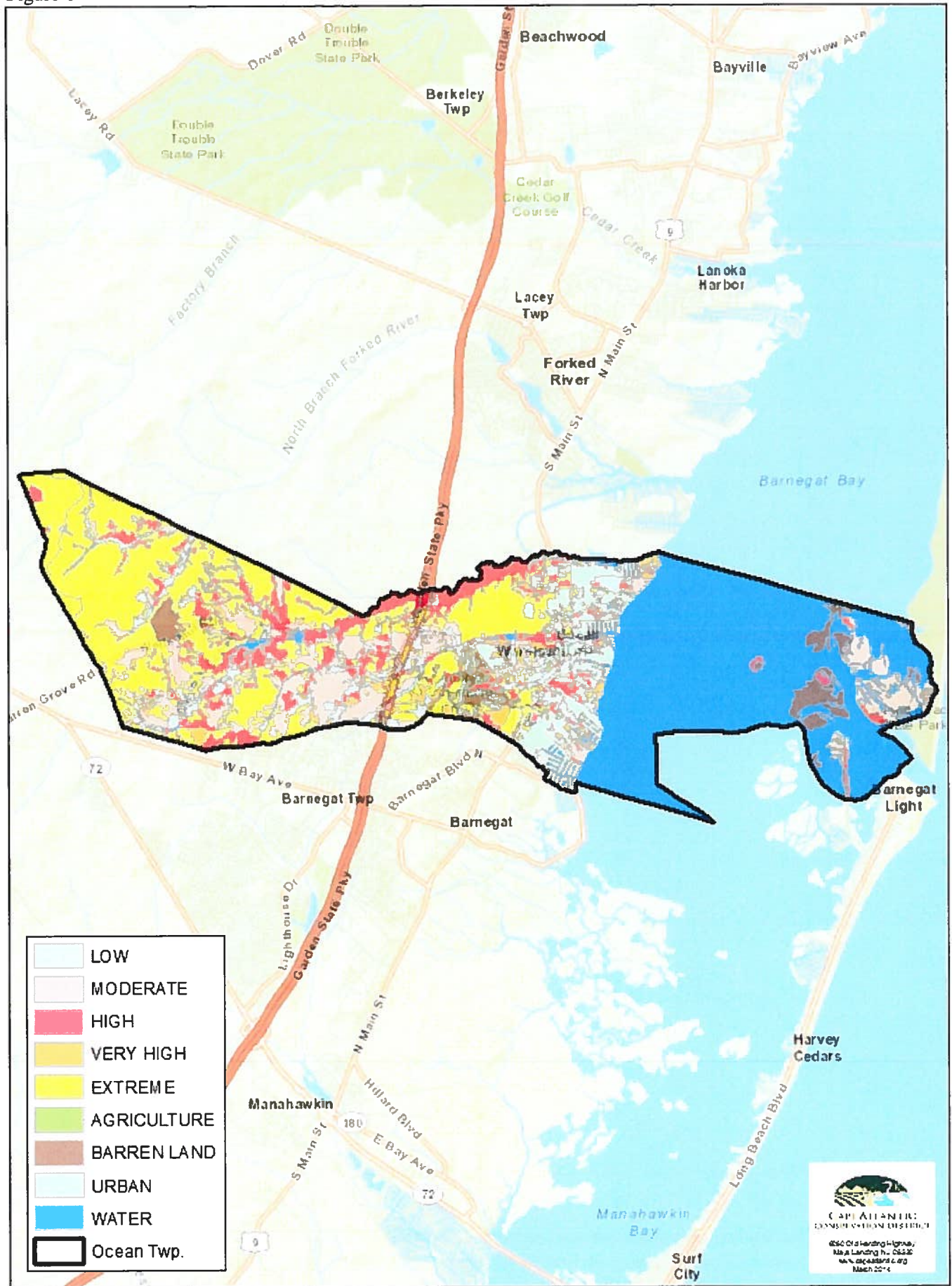
Studies have shown, that municipalities that are better prepared for natural disaster, suffer few losses and recover more quickly. There is less risk to firefighters and other emergency service personnel that work in these areas.

Getting "at-risk" communities involved with Firewise, RSG! and seeking a CWPP on their own and then applying these principles keeps them invested which will make a fire-fighters job safer and easier.



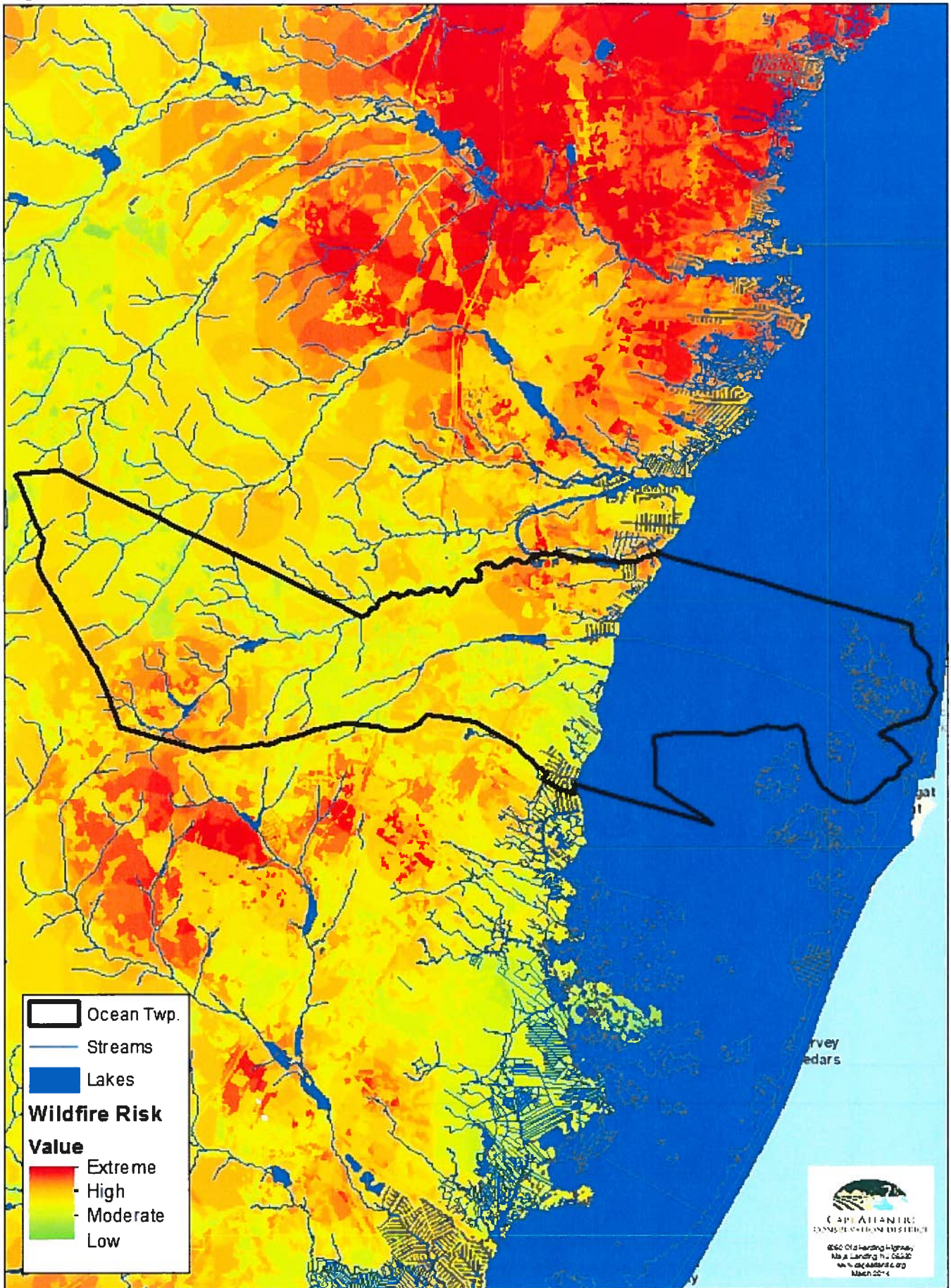
FUEL HAZARD

Figure 1



WILDFIRE RISK

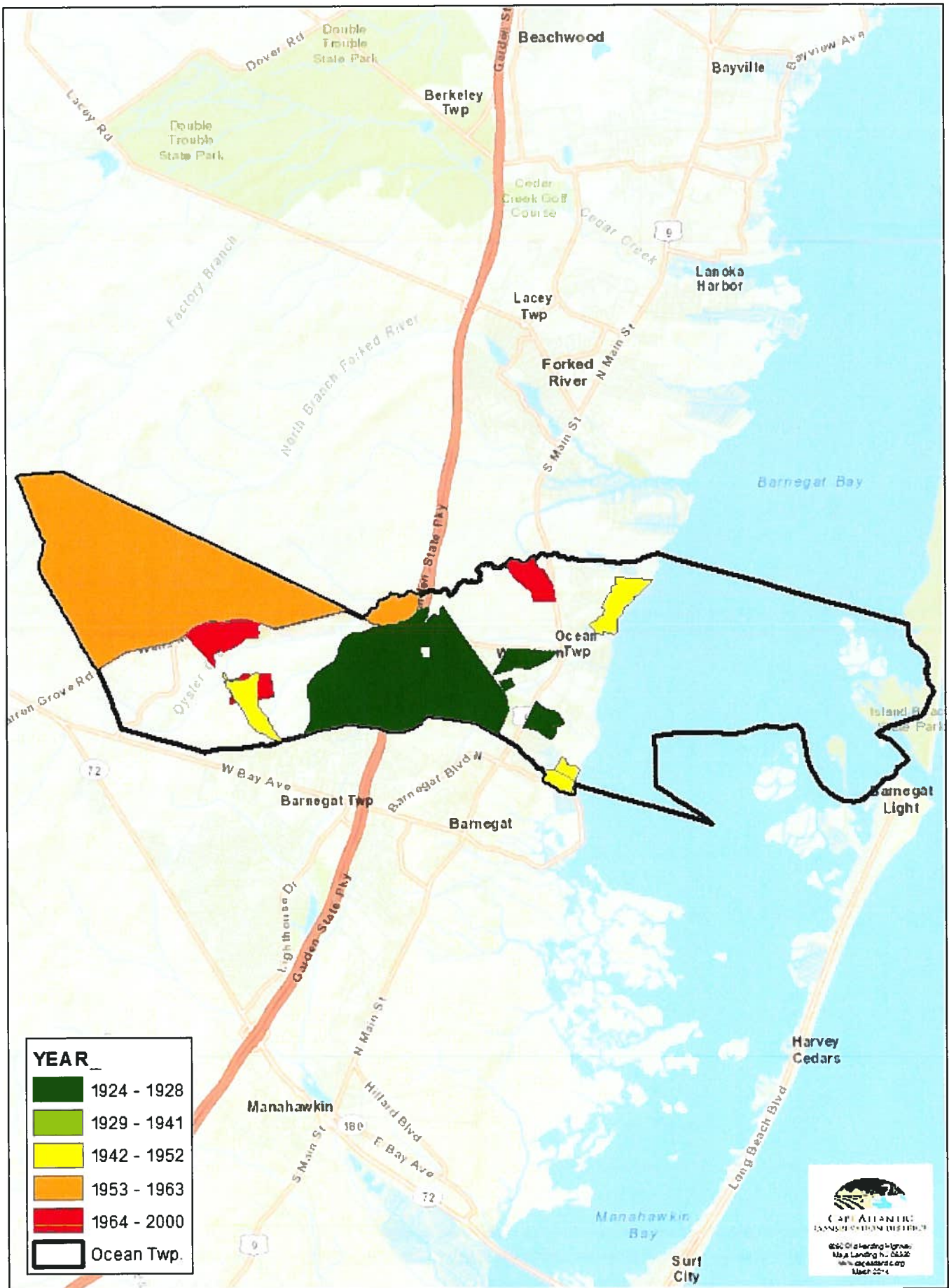
Figure 2



* This Fire Risk data layer includes a NJ Forest Fire evaluation of the following criteria: WUI, Fire Origins, and Fuel Hazard. A weighting of these 3 combined factors was used to produce this "Fire Risk" data layer.

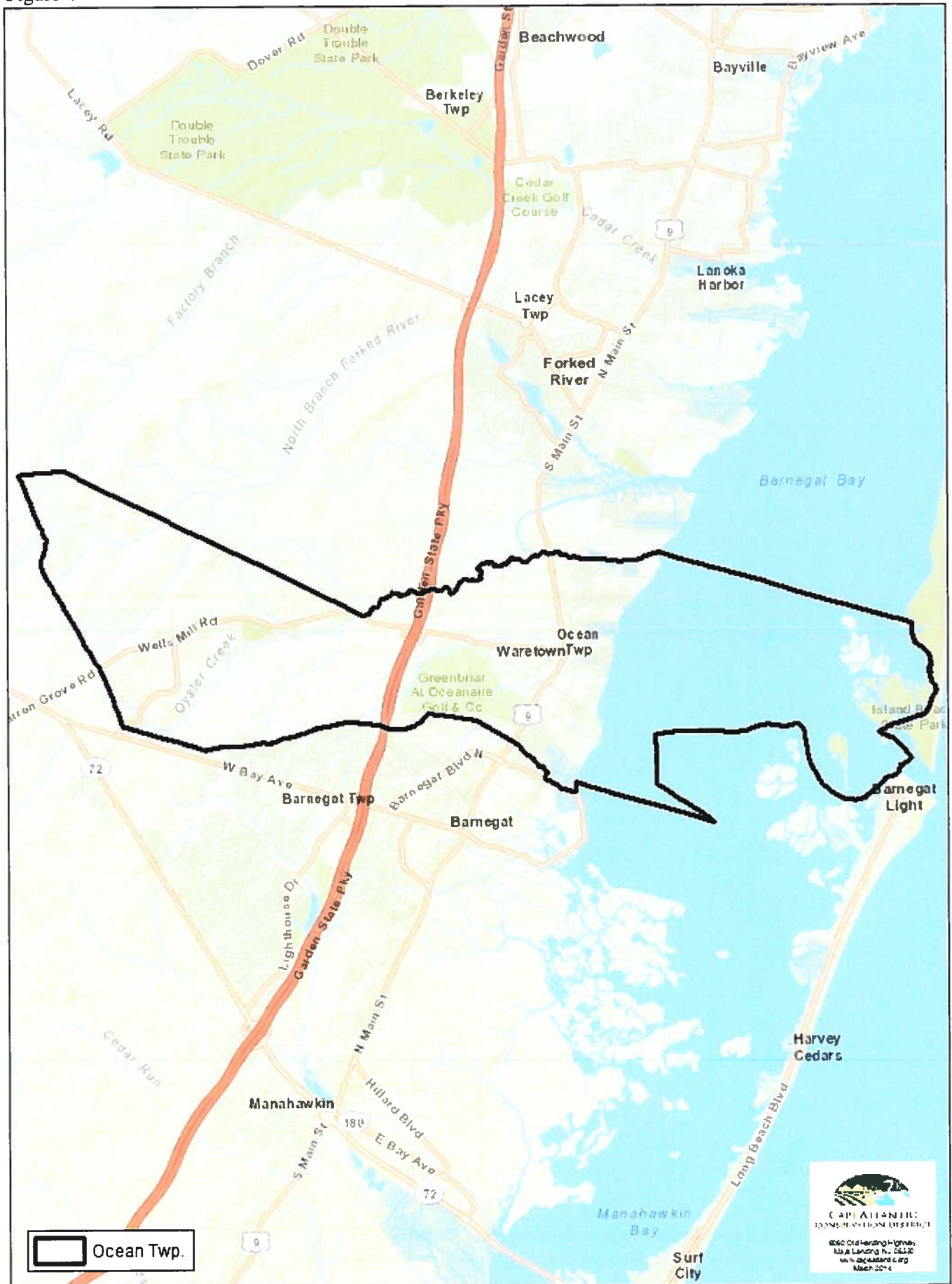
WILDFIRE OCCURRENCES

Figure 3



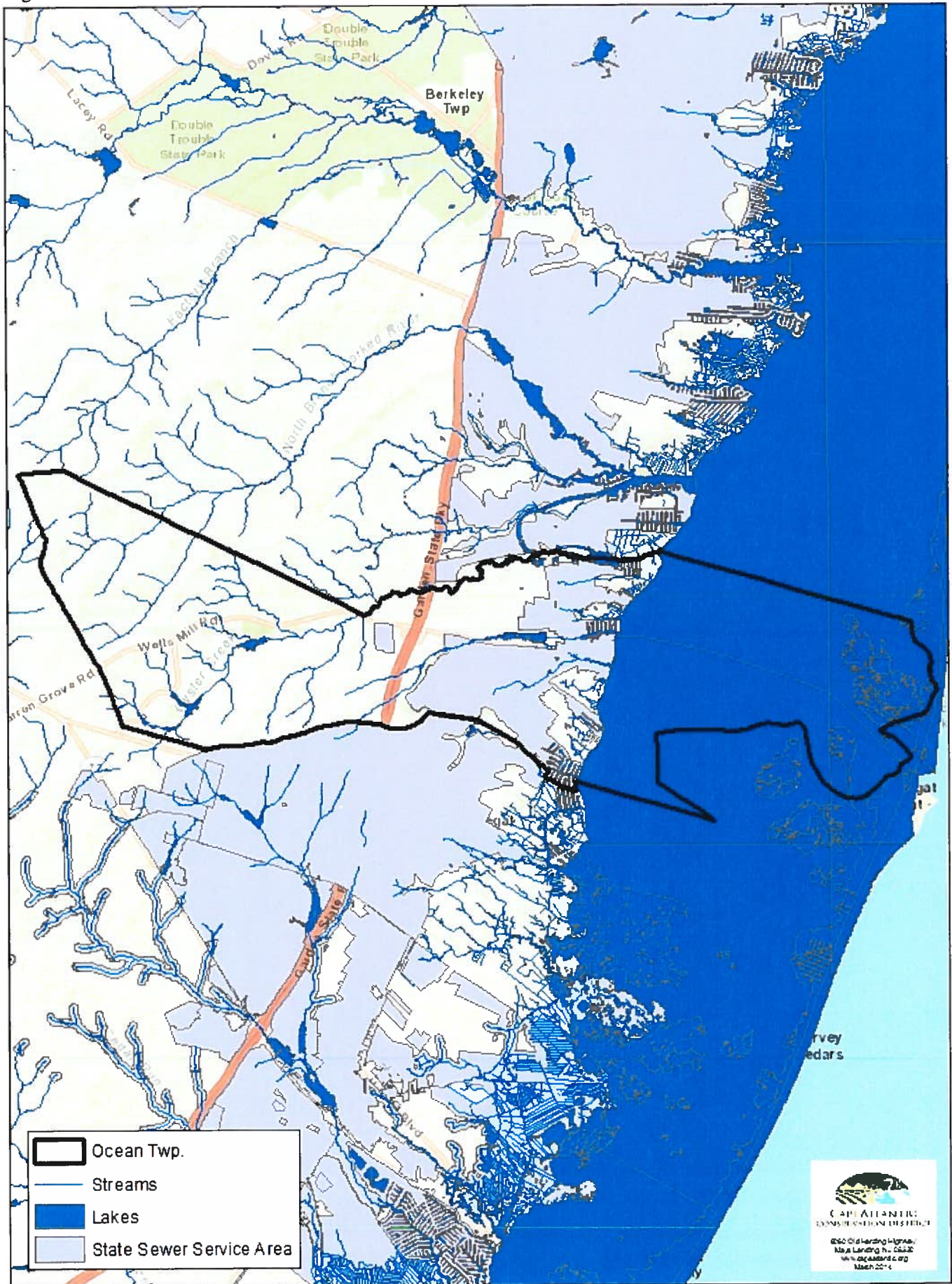
ROAD INFRASTRUCTURE

Figure 4



WATER INFRASTRUCTURE

Figure 5



WILDFIRE ORIGINS

Figure 7

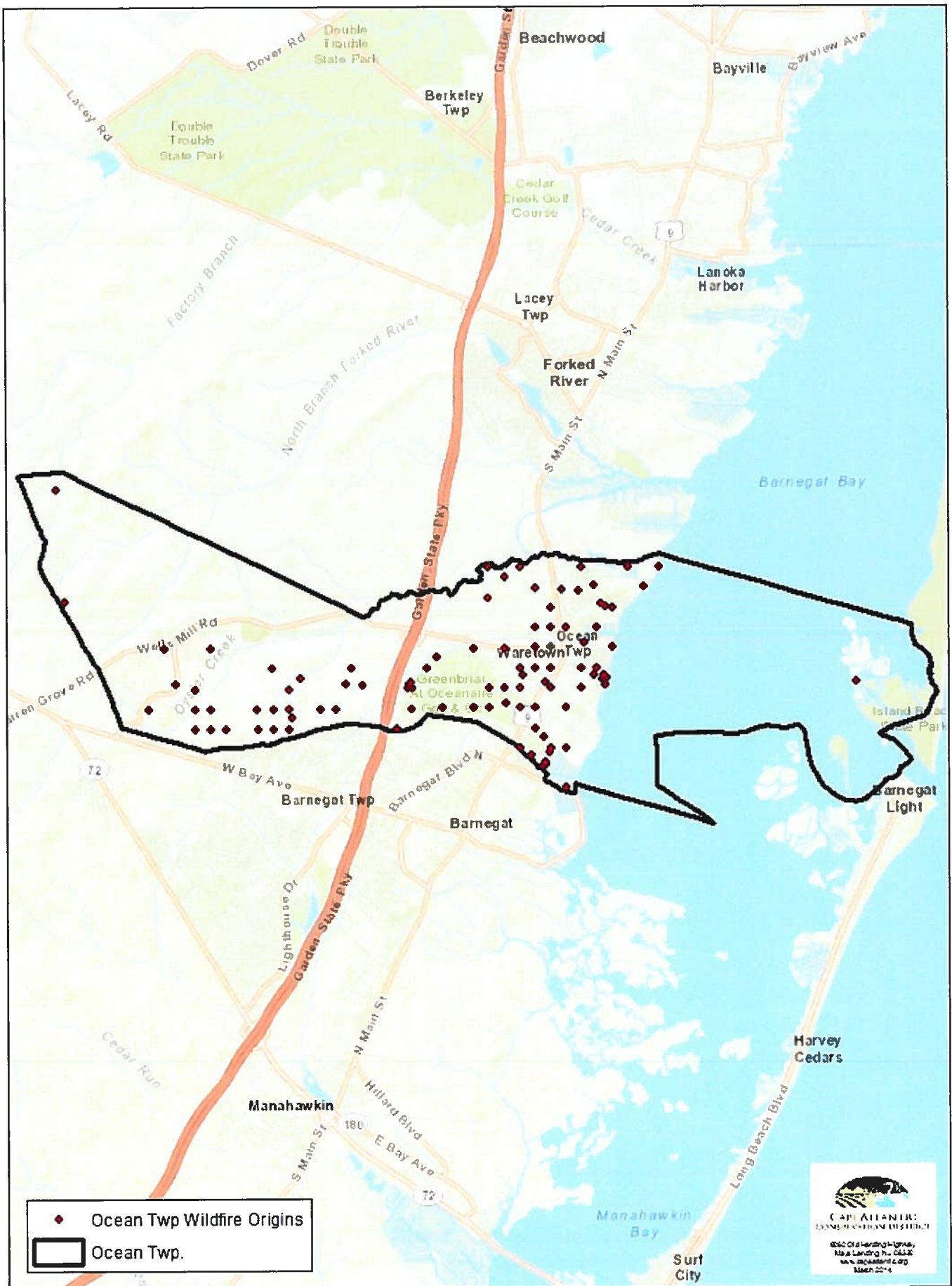
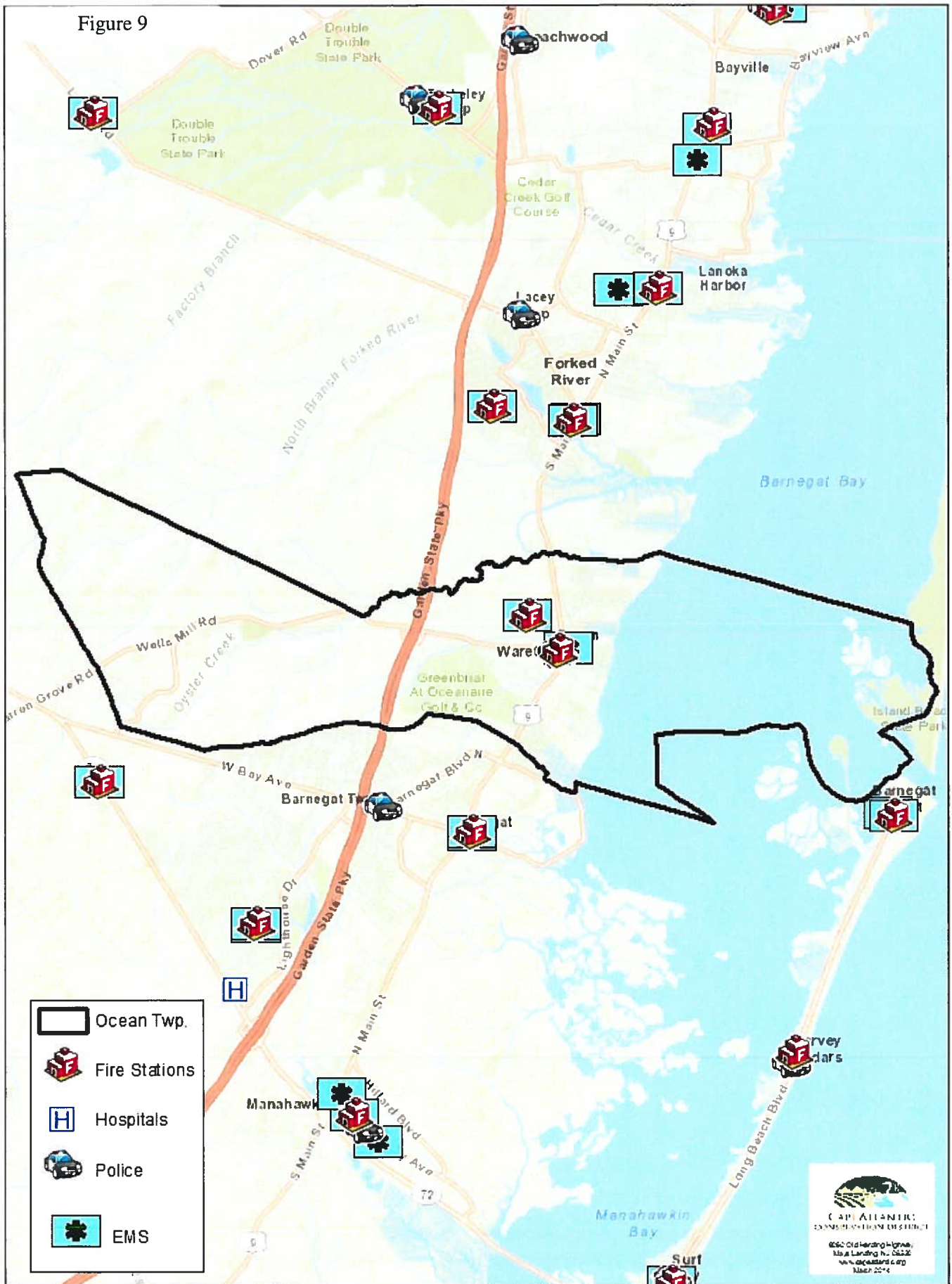


Figure 8



EMERGENCY SERVICE LOCATIONS

Figure 9





E. — 2014 Strategic Recovery Planning Report

Ocean Township



Strategic Recovery Planning Report

Ocean Township Strategic Recovery Planning Report

Adopted April 10, 2014

Prepared by:



T&M Associates
11 Tindall Road
Middletown, NJ 07748



Stan C. Slachetka, PP, AICP
NJ Professional Planner No.: 03508

The original of this document was signed and sealed in accordance with New Jersey Law.

Executive Summary

When Superstorm Sandy struck the coast of New Jersey on October 29, 2012, it brought extensive damage to Ocean Township from both storm surge and wind damage. Ocean reported that 87 properties within the Township's jurisdiction faced substantial damage. Five of the Township's sewage pump stations went offline due to floodwater inundation and/or power system failure. Trees and power lines throughout the Township also fell, in some cases damaging roofs and buildings. The Township also faced total power outages for 14 days.

In response to the impacts faced by Superstorm Sandy, Ocean Township's recovery efforts have been extensive. Ocean Township passed and amended ordinances including methods to reduce flood loss and to update building height definitions for properties located in flood hazard areas. The Township has also applied for funding to elevate 203 homes. Other recovery actions include repairs and improvements to parks, water meters, and emergency generators throughout the Township that were damaged and/or destroyed.

Ocean Township property and business owners have also received recovery aid from the New Jersey Department of Community Affairs Community Development Block Grant programs; the Township has been awarded \$1,150,000 for the Homeowner Resettlement Program, \$4,100,000 for the Homeowner Reconstruction, Rehabilitation, Elevation, and Mitigation program, \$90,000 for the Small Rental Properties/Landlord Rental Repair Program, and \$17,026,612 for the Fund for Restoration of Large Multi-Family Housing. Furthermore, Ocean has received 29 home loans from the Small Business Administration totaling \$2,249,800 and two business and economic injury disaster loans totaling \$84,900.

Ocean Township's recommended municipal actions to promote recovery from Superstorm Sandy and to reduce vulnerabilities from future storms include (but are not limited to) the following resiliency actions: updating the Comprehensive Master Plan; stabilizing the bay shoreline by installing riprap; installing new generators at key municipal buildings; installing a town-wide Supervisory Control and Data Acquisition (SCADA) system; automating and upgrading the zoning and construction permit program; reviewing zoning in the waterfront development districts as it relates to resiliency and promoting rebuilding; developing a GIS database/inventory of Township-owned infrastructure; compiling low-elevation aerial mapping of identified special flood hazard areas; and continuing participation in FEMA's CRS program with actions designed to further improve the Township's CRS rating.

Acknowledgements

Mayor and Committee

Dennis F. Tredy, Mayor
Tina Wetter, Deputy Mayor
Joseph Lachawiec, Committeeman

Township Officials

David Breeden, Township Administrator
Diane Ambrosio, Township Clerk
Laurie Clune, Zoning Official

Office of Emergency Management

Scott Murphy, Deputy Coordinator

Department of Public Works

Matthew Ambrosio, Superintendent

Department of Utilities

Clifford Keen, Superintendent

Township Attorney

Gregory McGuckin

T&M Associates

Stan Slachetka, PP, AICP
James Oris, PE, CME, Township Engineer
Jason Worth, PE, PP, CME
Jeffrey Cucinotta

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Introduction

This Strategic Recovery Planning Report (SRPR) will serve as a blueprint to guide Ocean Township's recovery from the effects of Superstorm Sandy and to reduce vulnerabilities to future storms. Accordingly, the report:

- Evaluates the impacts on affected community features in Ocean Township and address the conditions created or exacerbated by the storm;
- Articulates the planning goals, strategies, and priority actions that are most urgently needed to improve public safety, increase resistance to damage from future storms, and stimulate economic recovery; and
- Contains detailed descriptions of each of the projects proposed; a statement of need that demonstrates how each project relates to the impacts of Superstorm Sandy; why the project is important to the economic and environmental health of the community; the major tasks associated with each project; the estimated cost of implementation; identification of potential or actual funding sources to pay for project implementation; and estimated implementation dates.

Description of Ocean Township

Ocean Township is a predominantly rural-suburban residential community with a population of approximately 8,333 (according to the U.S. Census Bureau's American Community Survey 2012 estimate). It is located on the eastern bay shore of Barnegat Bay in central Ocean County. The Township is about 21 square miles in area. Ocean Township is bordered to the north by Lacey Township, to the south and west by Barnegat Township, and to the east by Barnegat Bay, as seen in Figure 1. The Township has 3.62 miles of coastline fronting Barnegat Bay.

To the east across Barnegat Bay is Barnegat Inlet. There are also several uninhabited and undeveloped sedge islands adjacent to Barnegat Inlet that are within the Township's jurisdiction, but are owned by the State as part of Island Beach State Park.

Ocean Township is divided by the Garden State Parkway, which runs north and south through the Township. The Township's land use pattern is generally characterized by the Pinelands to the west of the Parkway, which makes up about 64.4% of the Township's land area. The land to the east of the Parkway (encompassing the remaining 35.6% of the Township's land area) is in the CAFRA zone. The eastern part of Ocean Township is marked by US Highway 9, which also runs north and south through the Township and is where most of the Township's development has occurred over the last 30 years. The land to the east of the Garden State Parkway is generally developed with residential and maritime-related uses.

Ocean Township is subject to flooding (sometimes serious tidal flooding) from hurricanes/tropical storms and nor'easters, which in the past have brought heavy precipitation, higher tides, and strong wave activity. Tidal flooding is the Township's predominant loss risk, as there are several streams in and bordering the Township. The Waretown Creek runs through the Township, Oyster Creek runs along the northern border of the Township, and Lochiel Creek runs along the southern border. These streams are all influenced by tides where development is located within the floodplain.

There are a total of 2,947 structures estimated within the Township's Special Flood Hazard Areas (SFHA), 2,807 of which are residential structures. The remaining are commercial (134 structures), industrial (1), religious or non-profit (4), and utilities (1). None of the Township's public buildings are located in a flood hazard area. Figure 2 outlines the Township's flood hazard area in relationship to key community facilities.

As of April 2012, The Township had 13 properties listed as repetitive losses, two (2) of which had been elevated to raise the first floor above the base flood elevation. A repetitive loss property is defined as one in which a NFIP claim of \$1,000 has been reported at least twice in the last ten years. The repetitive losses are located in the various lagoon lot sections of town.

Figure 1: Regional Location

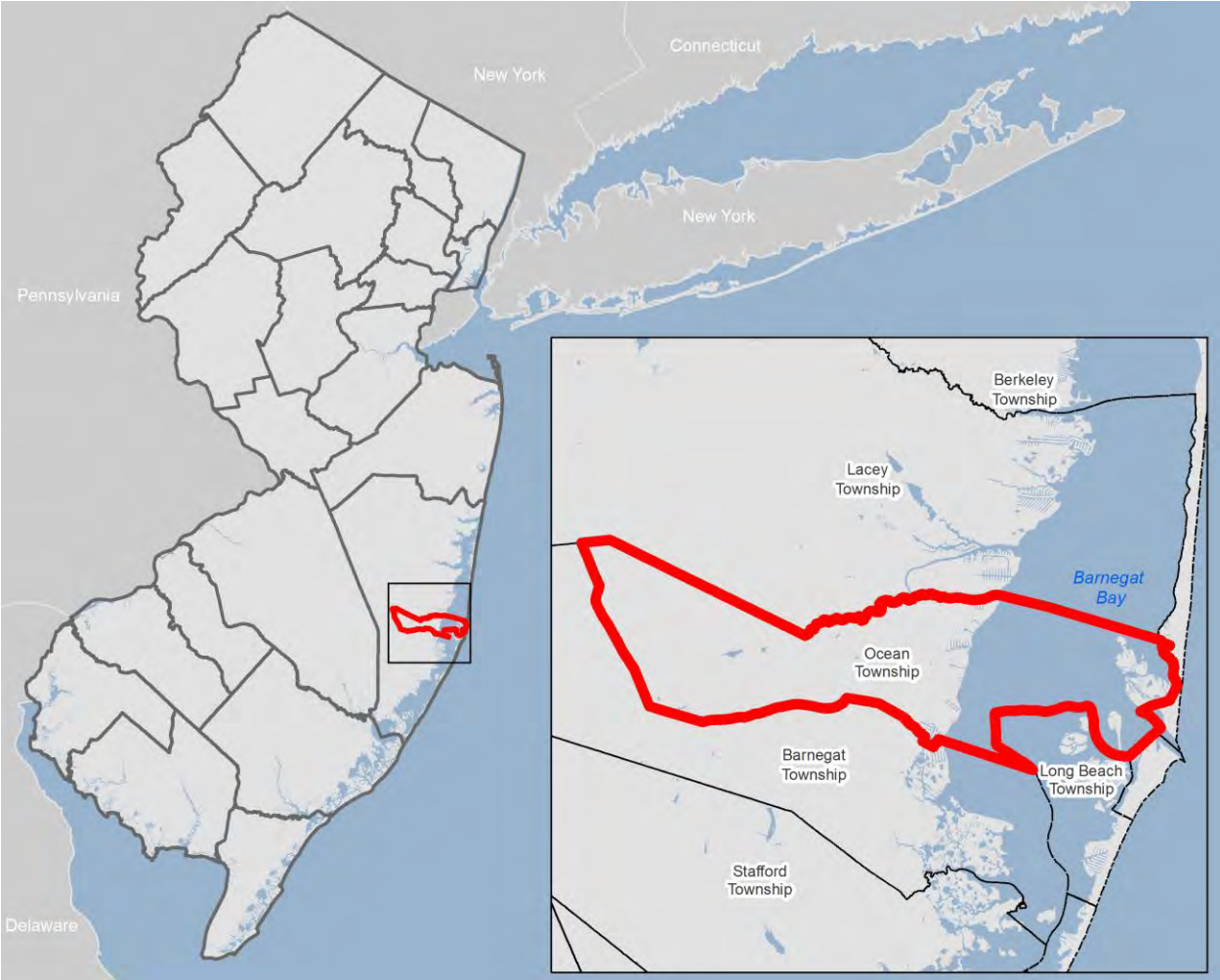
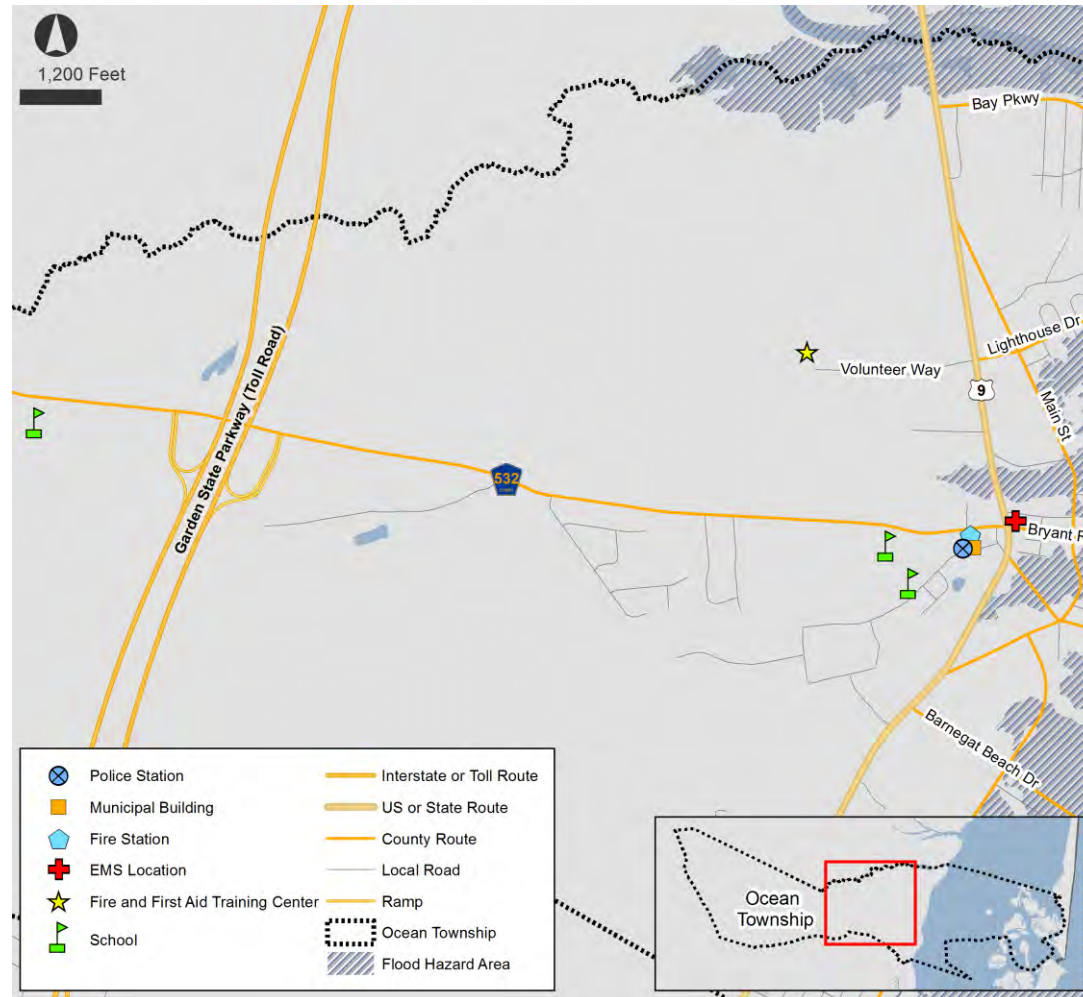


Figure 2: Key Community Facilities and Flood Hazard Areas



Assessment of Existing Planning Documents

Ocean Township

Master Plan Update, 1999

The 1999 Plan serves as an update to Ocean Township's prior Master Plan, which was adopted in 1982. The 1999 update develops guidelines for future land development and redevelopment within Ocean Township. Included in this plan are recommendations for the locations, types, and densities for residential and non-residential land uses.

The Plan includes the following objectives that are relevant to this SRPR:

General Development Goals:

- Encourage the use of best management policies for all development to ensure the least negative impact on the overall quality of residential life and the environment in the Township.
- Review and continually update the permitted uses within each zone to ensure that only those uses compatible with the land capacity to support them are permitted.

Conservation and Environmental Protection:

- Provide for cluster design to conserve open space and natural amenities in residential subdivisions and projects.

- Establish a system of conservation areas which are designed to limit or restrict development in wetlands, along streams, and in undeveloped bay front locations; promote appropriate recreational uses in these conservation areas.

Residential Development:

- Encourage development of new residential housing units in areas that are served with adequate infrastructure including water, sewer, stormwater management, and streets, so as to minimize any negative environmental impacts.

Commercial Development:

- Maximize the economic benefit of resource-based development with the lowest possible negative environmental impact.

Economic Redevelopment Plan, 2000

The goals of the 2000 Economic Redevelopment Plan (ERP) are to provide a development plan for Ocean Township that will provide for a combination of private and public activities. The relevant goals of the 2000 ERP for this SRPR include:

- Reinforcing the goals of making Ocean Township a place where people will want to live and work.
- Capitalizing on the accessibility of Barnegat Bay through its many marinas, for both commercial and recreational opportunities.

- Developing underutilized and unused land in a manner which increases the Township’s economic viability without burdening its municipal services.
- Protecting to the greatest extent possible the existing environmentally sensitive resources of the area.
- Ensuring that the redevelopment plan is consistent with the Town’s Master Plan, the State Plan, and all other planning documents with jurisdiction in Ocean Township.
- Providing a program of rehabilitation of existing residential and commercial uses so they can become a viable component of the Town’s overall economic plan.

The Economic Redevelopment Plan was amended in 2007 and in 2013 to incorporate the Waretown Town Center (explained below), and to provide more specific land use categories and general design standards to regulate lands within the redevelopment area.

Master Plan Reexamination Report, 2001

After the adoption of the 1999 Master Plan, the Ocean Township’s governing body became concerned with the impact that single family development was having on the Township, and therefore directed the Land Use Board to conduct this Reexamination Report to include an updated Land Use Element, Single Family Dwelling Unit Build-out Analysis, and the municipality’s capacity to effectively manage that growth.

The intent and purpose of the Reexamination Report was to develop guidelines and future land development and redevelopment within the Township. Its goal was to address the Governing Body’s concern about Ocean Township’s ability to sustain and support the residential development that could take place under the prior Land Use Plan.

In this Report, the Ocean Township Land Use Board expressed its concern about the imbalance between the ratio of privately owned commercial property to residential property. Therefore, a goal of this Reexamination Report for residential development included using smart growth principals to create a balanced development plan that ensures sustainability and protection of the natural systems.

Open Space and Recreation Plan, 2002

The Open Space and Recreation Plan (OSRP) includes an inventory of existing open space and recreation facilities and activities, identification of open space and recreation goals, a recreation and open space needs analysis, and an action plan focused on the preservation of open land. As of 2002, when this Plan was adopted, Ocean Township had 2,748 acres of publicly owned land devoted to conservation and recreation purposes, 94% of which is owned by the Federal Government, the State of New Jersey, or Ocean County.

The OSRP proposes to meet the Township’s open space and recreation needs through the acquisition of strategic vacant parcels in the Township. The intent of the OSRP is to preserve

existing open space, environmentally sensitive lands, and greenways.

The Plan serves to guide future open space acquisitions and recreation development in Ocean Township. The Plan will also be utilized to address New Jersey Green Acres program requirements for Planning Incentive Grants and other funding programs.

The main goal of the OSRP is to preserve open space and natural lands for a range of recreational uses and for historical and environmental benefits. The Plan's objectives include the following:

- Improve the quantity, variety, and quality of useable active and passive open space.
- Provide open spaces that contribute to building and maintaining community and neighborhood identity.
- Maintain and enhance the natural environment by preserving lands for passive open space and resource conservation.
- Coordinate the acquisition, use, and management of open space lands.

The OSRP's needs analysis examines the adequacy of the current open space and recreation system to address the present and future needs of the Township.

The OSRP's action plan outlines specific Township recommendations, including:

- Acquire additional lands for conservation, preservation, and active recreation through the New Jersey Department of Environmental Protection Green Acres Program, the Ocean County Natural Lands Trust Program, the Ocean Township open space trust, developer dedications, and other conservation programs.
- Acquire open space for greenways along stream corridors to create hiking opportunities and to protect the streams and wetlands areas, which ultimately protect the water quality for the community.
- Acquire conservation and access easements to provide linkages between existing local, county, state, and federal open space areas.
- Acquire and develop land for active recreation facilities in close proximity to existing neighborhoods.

All of the objectives and components of the Ocean Township Open Space and Recreation Plan are relevant to this SRPR. Continuing to emphasize the importance of preserving its open space will help the Township be more resilient to future Sandy-type storms.

Amended Land Use Plan Element, 2003

This Amended Land Use Plan Element serves as one aspect of Ocean Township's continuing effort to upgrade and refine its planning documents. The Plan establishes Ocean's long-range

land use planning objectives and serves as a guide for the Township's officials in making decisions about land use and development within the Township. It has been designed to permit growth and development in the Township consistent with state and regional plans. The Plan seeks to update the Township's planning policies in accordance with the State Plan, continue to provide a high quality of life for Township residents, promote environmental protection, and to encourage growth and development where appropriate.

The Plan includes an outline of the Land Use Board's recommendations for changes in zoning, bulk regulations, and design standards based on a review of the previous Land Use Plan.

Waretown Town Center State Plan Endorsement, 2005

In 2005 Ocean Township received Plan Endorsement from the New Jersey State Planning Commission, which included the designation of the Waretown Town Center. This designation legitimized over a decade of planning in Ocean to create a vibrant new mixed-use town center at Waretown. The Waretown Town Center integrates land uses and smart growth planning principles into a comprehensive mixed-use center design. The Waretown TC District has also been designated a coastal town center under the Coastal Area Facility Review Act (CAFRA). The Plan Endorsement and Town Center Designation also included the extension of Volunteer Way to the Garden State Parkway, providing a key evacuation route for new and existing

development in the Township. The Waretown Town Center boundary is depicted in Figure 3.

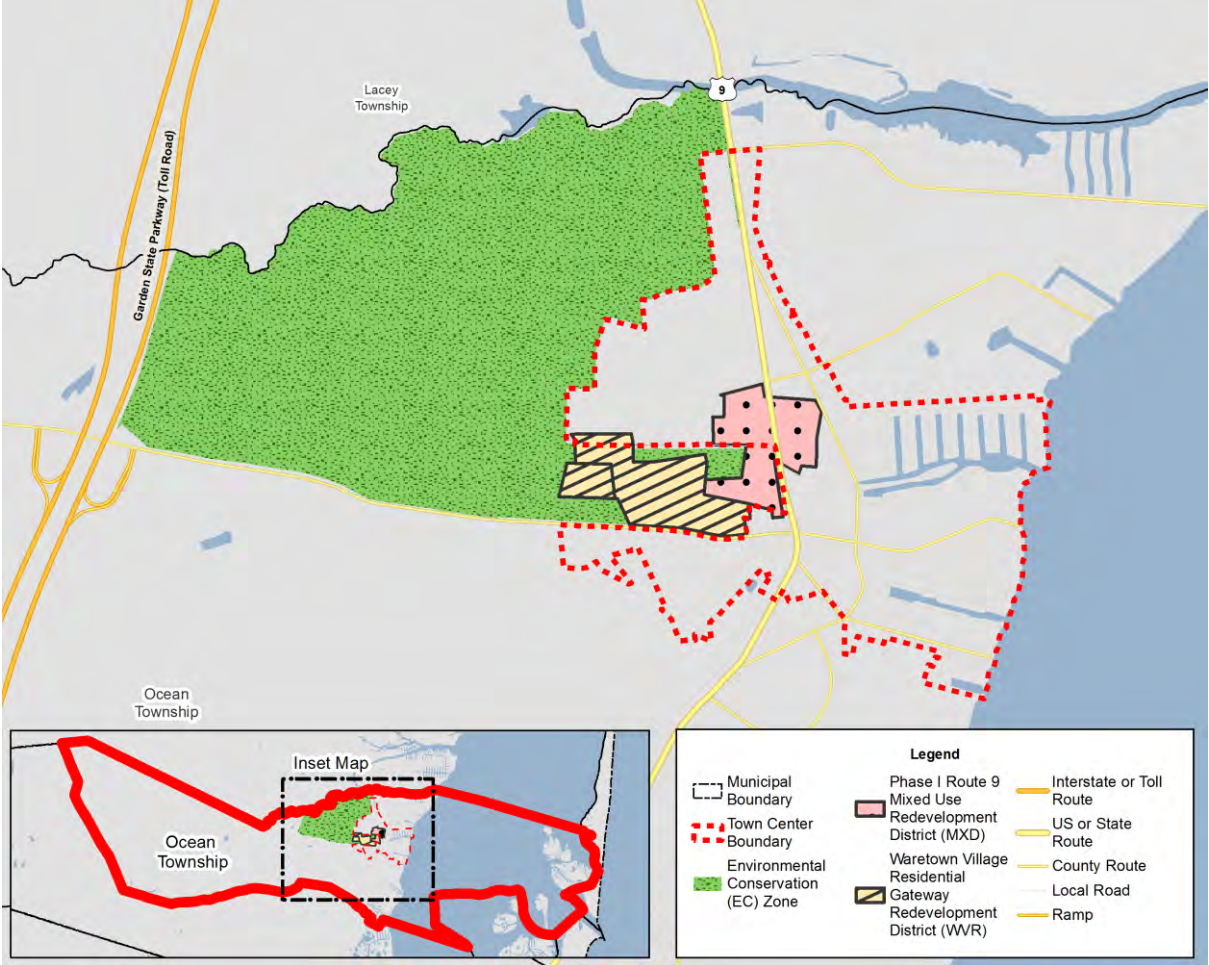
In 2007, the Economic Redevelopment Plan was amended to include the Town Center Conceptual Plan approved by the State Planning Commission.

In 2013, the Township's Economic Redevelopment Plan was further amended to outline more detailed design standards for the Waretown Town Center Redevelopment Area.

In addition to the Waretown Town Center, Ocean Township had undertaken various other redevelopment plans, including the:

- Waretown Village Residential Gateway District;
- Route 9 Corridor Phase 1; and
- Edgemont Park Subdivision

Figure 3: Waretown Town Center Location



Amended Land Use Plan Element, Circulation Plan Element, and Master Plan Reexamination Report, 2005

This Reexamination Report upholds the objectives outlined in the 1999 Master Plan Update. It also provides new objectives specific to the Waretown Town Center, the following of which are relevant to this SRPR:

- Create safe trail linkages between the destination nodes in the center, municipal facilities, elementary schools, and Barnegat Bay (Across Route 9);
- Provide, maintain, and expand utilities, community facilities, and essential services necessary to residents and the Town Center as a whole;
- Protect environmentally sensitive lands and direct growth towards areas of the Township with existing infrastructure.

This Reexamination Report also recommends various changes to the Township's Land Use Plan Element, Circulation Plan Element, and Goals and Objectives section of the Master Plan.

Housing Plan Element and Fair Share Plan, Cycles I, II, and III, 2005 & 2008

The 2005 Housing Plan Element included an inventory of Ocean Township's demographic, housing stock, and employment characteristics, as well as Ocean's affordable housing obligation and growth share projection. The Fair Share Plan included the

compliance plans for COAH Cycles I, II, and III, including the Township's fair share responsibilities based on three components: the rehabilitation component, the recalibrated Cycle I/Cycle II new construction component, and the growth share component.

The 2008 Housing Plan Element includes revisions that Ocean Township prepared in order to conform to COAH's new regulatory and statutory requirements. The plan serves as the Township's response to COAH's Cycle III regulations and outlines Ocean's new growth share obligation. The Plan includes the same base components as the 2005 plan, with demographics, housing stock, and employment characteristics updated based on new data. This plan is currently on file and being reviewed by COAH pending responses by COAH and recent court decisions overturning COAH's growth share methodology.

Land Use Element Amendment- Environmental Conservation and Bayfront Conservation Areas, 2006

This amendment created an Environmental Conservation (EC) district and expanded an existing Bayfront Conservation (BC) district in an effort to focus development from environmentally sensitive areas east of the Garden State Parkway within Ocean Township into the Town Center, which is more appropriate for development. Other benefits include the preservation of the environmental and open space amenities for all residents in the Center and surrounding areas and to create a green belt around the Center to delineate its boundaries.

Municipal Stormwater Management Plan, 2008

This plan documents Ocean Township’s strategy for addressing stormwater-related impacts, including groundwater recharge, stormwater quantity, and stormwater quality impacts. It also includes stormwater design and performance standards for new major development in areas in Ocean Township both inside and outside of the Pinelands Area.

The goals of this plan include:

- Reducing flood damage, including damage to life and property;
- Minimizing, to the extent practical, any increase in stormwater runoff from any new development;
- Reducing soil erosion from any development or construction project;
- Assuring the adequacy of existing and proposed culverts and bridges, and other in-stream structures;
- Maintaining groundwater recharge;
- Preventing, to the greatest extent feasible, an increase in nonpoint pollution;
- Maintaining the integrity of stream channels for their biological functions, as well as for drainage;
- Minimizing pollutants in stormwater runoff from new and existing development to restore, enhance, and maintain the chemical, physical, and biological integrity of the waters of the state, to protect public health, to safeguard fish and aquatic life and scenic and ecological

values, and to enhance the domestic, municipal, recreational, industrial, and other uses of water; and

- Protecting public safety through the proper design and operation of stormwater basins.

To achieve these goals, the Plan does the following:

- Outlines specific stormwater design and performance standards for new development;
- Proposes stormwater management controls to address impacts from existing development;
- Outlines preventative and corrective maintenance strategies to ensure long-term effectiveness of stormwater management facilities;
- Outlines safety standards for stormwater infrastructure to be implemented to protect public safety.

Community Forestry Management Plan, 2008-2012

The mission statement of this Plan is as follows:

To insure the health, safety, and sustainability of Ocean Township’s forest and shade trees for the economic, aesthetic, and environmental benefits provided to Township residents and visitors.

The Plan’s goals include the following:

- To increase the administrative capacity, awareness, knowledge, appreciation, and support for community trees and forests.

- To continue to plant trees to replace those lost and to increase species diversity and success of new plantings.
- To increase public safety and aesthetics by scheduling maintenance and thorough the reduction of hazardous trees.
- To train and educate elected officials, volunteer members of the new Shade Tree Advisory Committee, and parks department employees in community forestry technical and administrative topics.

Floodplain Management Plan, 2012

In 2011 the Township adopted ordinances authorizing the preparation of a Floodplain Management Plan and the creation of a Floodplain Management Plan Committee, consisting of officials responsible for implementing the plan, a local resident for the bayfront hazard area and a professional planner. Plan drafting began in 2012, and it was adopted in April 2012.

The Plan’s objective is to produce a program of activities that can best tackle the Township’s vulnerability to hazards and meet other community needs. The Plan’s goals include:

- Reducing loss from flood damage through codes and standards.
- Educating decision makers and the public about stormwater and floodplain management.
- Coordinating and prioritizing maintenance of the stormwater management system.

The plan also seeks to:

- Ensure that a comprehensive review of possible activities and mitigation measures is conducted so that the most appropriate solutions are used to address the hazard.
- Ensure that the recommended activities meet the goals and objectives of the Township.
- Educate residents about the hazards, loss-reduction measures, and the natural and beneficial functions of floodplains.
- Build public and political support for projects that prevent new problems, reduce losses, and protect the natural and beneficial functions of floodplains.

Emergency Operating Plan

This Plan, approved in 2010, sets forth the general policies and procedures to be carried out by municipal and volunteer entities (such as the Fire Department and EMS) in order to provide the citizens of the Township with an effective integrated emergency response plan designed to minimize the loss of life and property during an emergency. The manual is comprised of the Basic Plan and the following list of annexes providing response plans for such emergency situations as: alerting, warning, and communications; damage assessment; emergency operating centers; emergency public information; evacuation; fire and rescue; hazardous materials; law enforcement; public health; public works; radiological protection; resource management; shelter, reception, and care; social services; and terrorism and weapons of mass destruction.

The purpose of the Emergency Operating Plan is to protect life and property in emergencies by coordinating response activities of municipal and volunteer entities to ensure their optimum use. It provides for actions to be taken to mitigate, prepare for, respond to, and recover from the effects of an emergency. The plan is an “all-hazards” approach to emergency management and covers natural disasters, technological disasters, and national security crises.

The Township utilized the Emergency Operating Plan in its post-Sandy recovery efforts, but it did not cover all recovery and mitigation decisions that had to be made, as it is lacking a mitigation component. The Plan is updated every four years, and is due to be updated in March of 2014. Ocean Township is currently updating this Plan to incorporate updates and revisions based on key lessons learned from Sandy and related post-storm response efforts. Updates will be sent to Ocean County by mid-March 2014 for approval.

Ocean County

Ocean County Comprehensive Master Plan, 2011

The Ocean County Planning Board adopted the Comprehensive Master Plan on December 21, 2011. It is a policy statement about the future development of the County. The objectives of this plan are intended to address issues of regional concern and to provide a regional perspective on land use and other issues facing Ocean County. The plan seeks to provide some coordination

between local planning and state plans and regulations, and it also describes various services and programs that the County provides to its citizens. The plan was created to provide a platform for planners to base their decisions regarding capital improvements, land use, and location and intensity of new development.

For all municipalities in the County, the Comprehensive Master Plan outlines population and demographics, transportation and mobility, housing, land use, agriculture, open space, water resources, wastewater management, solid and hazardous waste, air quality. The Plan makes a number of recommendations on these topics that are relevant to Ocean Township’s recovery from the effects of Superstorm Sandy, and reducing vulnerabilities to future storms. These are outlined below:

- Encourage the New Jersey Department of Transportation to modernize and upgrade state highways throughout Ocean County, including US Route 9, NJ Route 35, NJ Route 37, NJ Route 70, NJ Route 72, NJ Route 88, and NJ Route 166.
 - Modernizing and upgrading Ocean County’s highways will improve mobility and facilitate the evacuation of Ocean Township in times of crisis, including during future storms. This is particularly true for US Route 9, which provides a north-south connection through eastern Ocean Township, and intersects with numerous state highways and other roadways that provide connections to the west.

- Encourage the retention of established residential neighborhoods and the rehabilitation of the county’s older housing stock. Facilitate participation in home rehabilitation and historical preservation grant programs, where applicable.
 - Home rehabilitation may help to improve the structural integrity of existing housing stock. This, in turn, provides extra security and protection during extreme weather events, such as hurricanes and storms.
- Encourage low-impact design techniques to minimize the disturbance of natural areas and maximize the recharge of stormwater on-site.
 - Maximizing the recharge of stormwater on-site may help to decrease the incidence of flooding.
- Support the tourism amenities and needs of shore towns and continue to facilitate the protection and replenishment of county’s beaches and shoreline areas.
 - Protection and replenishment of the county’s beaches and shorelines areas, including those along Barnegat Bay in the eastern part of Ocean Township, will help the county to cope with future hurricanes and storms and mitigate their impacts.
- Continue to support the Ocean County Agriculture Development Board (OCADB) in its mission to protect and enhance the county’s agricultural resources.
 - Preservation of farmland helps to reduce vulnerabilities to storms by protecting and promoting agricultural land uses. Such land uses typically have a very low amount of impervious cover, and consequently support the infiltration of stormwater.
- Maintain an ongoing evaluation of the recreational needs of Ocean County residents, and assist in identifying new park and open space areas, as necessary.
 - Expansion of park and open space areas, particularly in the eastern part of Ocean Township, will help to preserve and protect natural and other areas with low impervious surface cover. This supports the infiltration of stormwater. Additionally, it eliminates the potential that such areas will be converted to residential uses. This helps to restrict population development in areas that may be vulnerable to hurricanes and other storms. It also protects the local and regional economy by guiding non-residential development (such as commercial and industrial uses) away from areas that may be susceptible to disturbance and interruptions caused by extreme weather events.
- Continue to work with all federal, state, local, and non-profit partners to acquire open space and maximize financial resources available for preservation.

- As has been previously noted, expansion of open space areas promotes resiliency to future hurricanes and storms.
- Continue to assist the State of New Jersey in the implementation of the Governor’s Ten-Point Plan for Barnegat Bay.
 - Key parts of the Governor’s Ten-Point Plan that will help to protect Ocean Township and promote resiliency to extreme weather events include: funding stormwater mitigation projects and acquiring land in the watershed.
- Encourage land use planning strategies such as low-impact design to preserve open space and maximize the natural infiltration of stormwater.
 - Preservation of open space and maximization of stormwater infiltration helps to minimize flooding and promotes resiliency to future hurricanes and storms.
- Explore and assess best management practices used by other areas in the country to address stormwater management.
 - Effectively addressing stormwater management helps to minimize flooding and promotes resiliency to future hurricanes and storms.
- Continue to assess structural and nonstructural options for stormwater management to increase infiltration, remove debris, and reduce nutrient and pollution loads

- Increasing infiltration will help to reduce flooding. Additionally, removing debris will help to increase the efficiency of existing stormwater management facilities.
- Encourage compliance with new legislation that requires the New Jersey Department of Transportation to address stormwater management issues on state highways, including US Route 9, NJ Route 35, NJ Route 37, NJ Route 70, NJ Route 72, NJ Route 88, and NJ Route 166.
 - Addressing stormwater management issues along highways will help to minimize their impacts and increase their safety. This is particularly important as highways generate stormwater runoff, and may serve as evacuation routes during emergencies.

Ocean County Multi-Jurisdictional All-Hazard Mitigation Plan, 2013

The Ocean County Multi-Jurisdictional All-Hazard Mitigation Plan was developed for the purpose of:

- Providing a blueprint for saving lives and reducing property damage from the effects of future natural and man-made disasters in Ocean County;
- Qualifying the County for pre-disaster and post-disaster grant funding;
- Complying with state and federal legislative requirements related to local hazard mitigation planning;
- Demonstrating a firm local commitment to hazard mitigation principles; and

- Improving community resiliency following a disaster event.

At the time of the preparation of this Strategic Recovery Planning Report, this Ocean County plan has not been formally adopted. The assessment of this plan has been completed for the draft plan, which was submitted by the county’s consultant on December 5, 2013. It is anticipated that Ocean County and each of its 33 municipalities will adopt the plan.

The Multi-Jurisdictional All Hazard Mitigation Plan was developed using a multi-jurisdictional approach to include all municipalities within Ocean County. All jurisdictions needed to and did participate in the multi-jurisdictional planning process in order to have their own plan be eligible for FEMA funding after a disaster. Representatives from Ocean Township (including its clerk, director of community development, emergency management coordinator, and municipal engineer) were involved throughout the plan development process.

This Plan is comprehensive in scope and, in addition to examining the county’s geography and natural environment, economic assets, population, land use, and built environment characteristics, includes a detailed risk assessment. Among the risks contemplated by the Multi-Jurisdictional All-Hazard Mitigation Plan are: natural hazards such as coastal erosion, drought, earthquakes, extreme temperature, flooding, storms (i.e., hurricanes, tropical storms, and nor’easters), tornadoes and windstorms, wildfires, and winter storms (i.e., heavy snowstorms

and blizzards, and sleet and ice storms); human-made hazards such as hazardous materials, nuclear incidents, transportation accidents, urban fire and explosion, and utility interruption; and climate change hazards associated with sea level rise.

The Multi-Jurisdictional All-Hazard Mitigation Plan outlines a mitigation strategy that is centered on the following goals and objectives:

- Encourage sustainable development to protect people, property, community resources, and the environment from natural and human-made disasters.
 - Meet and exceed minimum standards of the National Flood Insurance Program.
 - Manage building code, land use code, ordinance, and other planning mechanisms to prevent and mitigate the impact of disasters on people and property.
 - Improve information available for mitigation planning.
 - Coordinate and increase applications for federal and state grant programs.
 - Integrate and leverage other planning mechanisms from neighboring jurisdictions, local, county, and regional organizations, and state partnerships in order to implement the plan.
 - Improve shelter management.
- Build and rebuild structures and infrastructure to protect people and to reduce impacts of future disasters.

- Increase the number of residential properties protected from hazards.
- Increase the number of community resources and amount of infrastructure protected from hazards.
- Improve the ability of critical facilities and infrastructure to safely operate during storms and utility interruptions.
- Improve evacuation capability.
- Protect and restore the natural environment to support disaster resiliency.
 - Improve the health of natural systems to safely and naturally accommodate flooding and wildfire.
 - Improve the health of natural systems used to protect residential properties and other community resources.
 - Plan for increased open space in the most vulnerable areas.
 - Promote appropriate urban-wild land interface for wildfire mitigation.
- Promote education, awareness, and outreach before, during, and after disasters.
 - Improve and expand information and opportunities for input available by television, radio, websites, social media, newsletters, and meetings.
 - Increase participation in mitigation programs, including the Community Rating System, StormReady, and FireWise programs.

- Tailor timely messages for audiences, including children, parents, community groups, universities, seniors, and other groups.
- Improve alert and warning systems.

As part of the planning process, each municipality in Ocean County identified its risks, and a mitigation strategy was developed to address those risks. The Hazard Mitigation Plan includes detailed action worksheets for each municipality, including assessing the risk, describing required actions, cost estimates, and implementation. The mitigation actions identified for the Township of Ocean include the following actions:

- Continue to participate in the NFIP;
- Continue participation in CRS program and consider upgrading to the next class level;
- Continue to enforce building codes;
- Develop and implement Shelter Management Plans;
- Acquire repetitive loss properties through the Blue Acres Program;
- Relocation of streetlight at Bryant Road;
- Elevate 203 homes;
- Install riprap along the shoreline;
- Maintain Forest Fire website; continue to post updates and share information through site;
- Continue the Community Emergency Response Team (CERT) program;

- Continue the Township’s police outreach programs in schools;
- Continue the Junior Police Academy Program; and
- Continue the ‘We Care’ Program (Ocean County’s program to look out for residents with special needs during emergencies)

The mitigation strategy and municipal actions that have been outlined in the Multi-Jurisdictional All-Hazard Mitigation Plan are generally supportive of and promote Ocean Township’s recovery from the effects of Superstorm Sandy, and the reduction of vulnerabilities to future storms.

Comprehensive Farmland Management Plan, 2008

The overall goal of the Comprehensive Farmland Management Plan is to support the promotion and retention of Ocean County’s agricultural industry through farmland preservation. This is primarily done through a variety of techniques, including purchasing of development easements, donation of development easements, fee-simple acquisition of farmland, and other techniques.

According to this Plan, Ocean Township has 16 acres of farmland-assessed property. No portion of Ocean Township is located within an Agricultural Development Area, which are identified as areas where agricultural uses are preferred. This Plan specifies that the county’s future farmland preservation efforts will focus on its designated Agricultural Development Areas. It

follows that Ocean Township will not be a focus of the future farmland preservation program that is envisioned by the Comprehensive Farmland Management Plan.

It is important to note that the retention and expansion of agriculture in Ocean Township (as well as in Ocean County as a whole) is generally supportive of reducing vulnerabilities to storms, as agricultural lands typically have a very low amount of impervious cover and support stormwater infiltration.

Regional Plans

Ocean Township lies in a region of the State that contains 2 regulated areas that require special consideration when development is suggested. Both the Coastal Area Facilities Review Act (CAFRA) zone and the Pinelands National Reserve have a significant effect on the regulation of development and land use in the Township. These specialty regulation areas are designed to limit the negative effects that development has on environmentally sensitive habitats.

Pinelands Comprehensive Management Plan

The Pinelands Comprehensive Management Plan (CMP) is intended to serve two functions: as a general guide for local authorities in preparing master plans and land use ordinances for certification by the Pinelands Commission, and as a planning and regulatory mechanism that can be adopted and enforced by the Commission if a county or municipality fails to secure certification.

The regulations and standards contained in this plan are designed to promote orderly development of the Pinelands so as to preserve and protect the significant and unique natural, ecological, agricultural, archaeological, historical, scenic, cultural, and recreational resources of the Pinelands.

According to the CMP, municipalities that have land within the Pinelands Area must bring their master plan and land use ordinances into conformance with the minimum standards set forth in the CMP.

Under the guidance of the Pinelands Comprehensive Management Plan, the Pinelands National Reserve is carefully regulated to support and preserve the health of the ecosystem, while permitting compatible development. The Pinelands Commission has applied many smart growth and planning concepts such as watershed management, Transfer of Development Rights (TDR) including the Pinelands Development Credit Program (PDC), and timed growth and conservation planning.

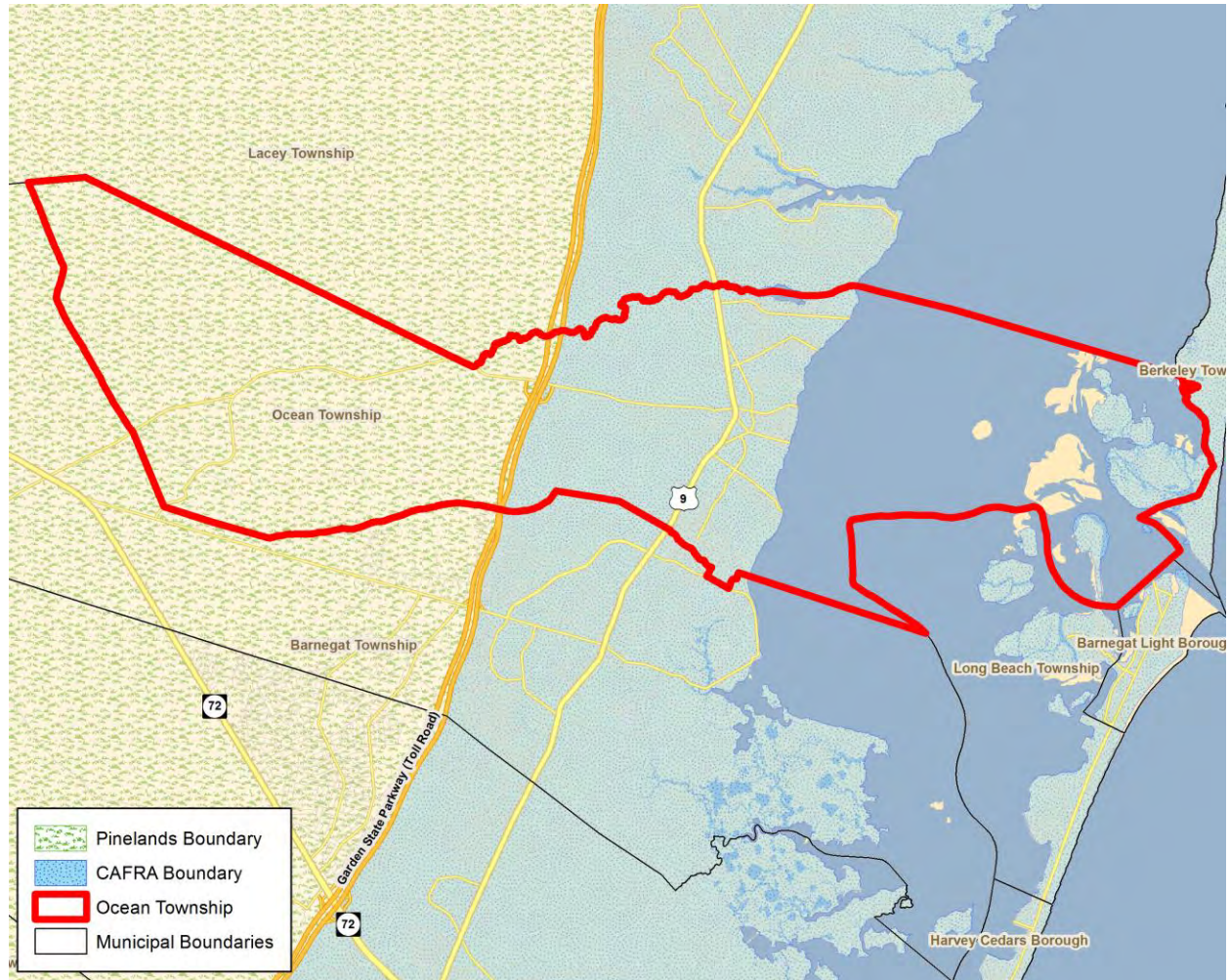
Approximately 8,204 acres in Ocean Township are within the Pinelands National Reserve. This includes all of the Township's land to the west of the Garden State Parkway (see Figure 4). The remainder of the Township's land (the land east of the Parkway, extending to Barnegat Bay and including some small barrier islands) falls within the CAFRA regulatory jurisdiction.

Coastal Area Facility Review Act (CAFRA)

The CAFRA zone applies to development projects near coastal waters from Middlesex County down to Cape May and up again to Salem County. Generally, the closer the project is to the water, the more likely it will be regulated. The CAFRA zone for Ocean Township generally applies to a portion of Township east of the Parkway (see Figure 4). Approximately 5,573 acres of the Township is under the jurisdiction of CAFRA.

The CAFRA divides the area into zones where development is regulated by varying degrees. The CAFRA law regulates almost all development activities involved in residential, commercial, or industrial development, including construction, relocation, enlargement of buildings, excavation, grading, shore protection structures, and site preparation.

Figure 4: Pinelands and CAFRA Boundaries in Ocean Township



Evaluation of Superstorm Sandy's Impacts on Ocean Township

Superstorm Sandy brought high winds, heavy rains, and a record storm surge which resulted in:

- Flooding of entire neighborhoods and the bay shore area;
- Wind damage to the roofs of the Township building and the community center;
- Town-wide power outages due to downed trees;
- The JCP&L electric substation by St. Stephen's Church on Route 9 went offline; and
- Loss of cell phone power for many residents. Township personnel relied on radios for communication for three straight days. At times radios from the west of the Parkway did not reach the east, causing communication issues.

The storm also deposited vegetative, construction, and demolition debris throughout the Township requiring immediate removal which posed an immediate threat to lives, public health and safety, and improved property, and cost the Township \$591,529.79.

Figure 5: A Downed Tree and Traffic Light



Source: Ocean Township, October 29, 2012.

Figure 6: A Downed Tree and Power Line



Source: Ocean Township, October 29, 2012.

Figure 7: A Downed Tree and Power Line



Source: Ocean Township, October 29, 2012.

Figure 8: Debris from Superstorm Sandy at Bryant Road and Demmy Avenue



Source: Ocean Township, October 29, 2012.

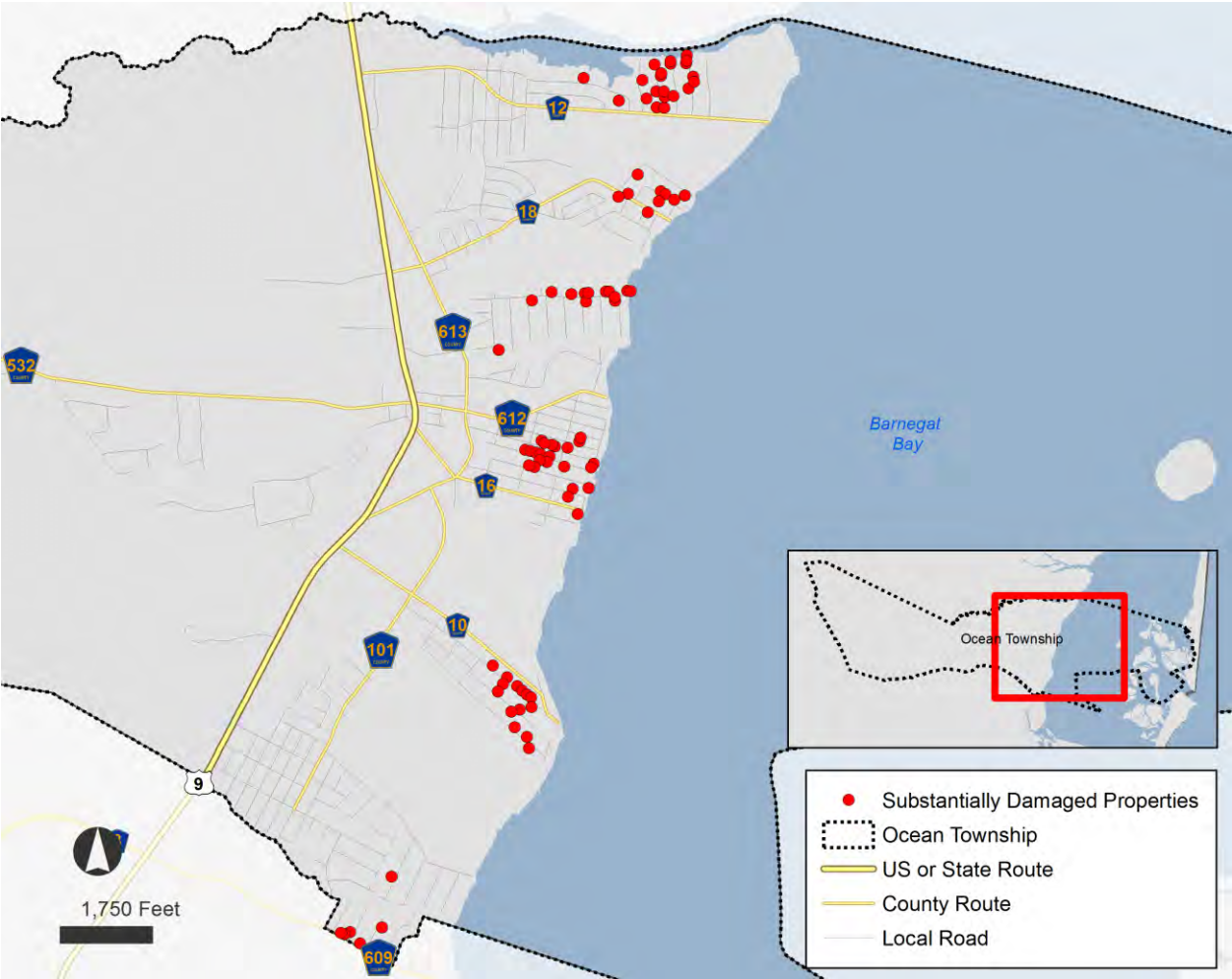
Damage to Properties

The State of New Jersey has analyzed the storm damage to heavily impacted communities, as determined by HUD, and has released the CDBG Disaster Recovery Action Plan. The data has been generated using the 2011 American Community Survey 5-Year Survey Data and FEMA Individual Assistance Data (effective March 12, 2013).

As a result of Superstorm Sandy, one census tract in Ocean Township (census tract 34029733000) sustained “severe” or “major” damage to housing units. This does not include minor damage sustained, which was common. The median household income in this census tract is \$73,917. This census tract has 3,305 households, and 10% of those households faced severe or major damage.

In addition, the Township provided a list of 87 properties with “substantial damage,” which is defined as damage of any origin sustained by a structure whereby the total costs of restoring the structure to its before damaged condition would equal or exceed 50% of the structure market value. Most of these properties in Ocean Township are located to the east of US Route 9 along the Bayfront (see Figure 9). The high distribution of damaged properties in the east of Township may be attributed to the location of many higher-density properties in a low-lying area close to Barnegat Bay.

Figure 9: Substantially Damaged Properties in Ocean Township



Damage to Parks

High winds and a record high storm surge from Superstorm Sandy flooded four of Ocean Township’s parks located on the shore of Barnegat Bay.

At the eastern end of Bryant Road at Barnegat Bay, the area faced damage to its wooden T-dock fishing pier, bulkhead, boardwalk, and gazebo. The entire 90 foot boardwalk and 16 feet of concrete access sidewalk were destroyed from the storm surge.

Figure 10: Destroyed Dock at Bryant Park



Source: Ocean Township, October 29, 2012

Figure 11: Damages at Bryant Park



Source: Ocean Township, November 1, 2012

The bulkhead that protects Tuscarora Park was overtopped by the storm surge. The bulkhead was not damaged, but the area faced the following damages due to erosion:

- Loss of 25,000 square yards of grass-covered, four inch thick topsoil;
- Loss of 277 cubic yards of back fill from behind the northeast corner of the bulkhead, and 123 cubic yards from the middle-west section;
- Loss of 300 linear feet of a 12 foot wide and four inch thick gravel access road; and
- Loss of 300 linear feet of a six foot wide and four inch thick gravel trail along the bulkhead.

Figure 12: Flooding at the Tuscarora Park Area



Source: Ocean Township, October 29, 2012

Figure 13: Flooding at the Tuscarora Park Area



Source: Ocean Township, October 29, 2012

Figure 14: Flooding at the Bay-End of Tuscarora Avenue



Source: Ocean Township, October 29, 2012

The storm also washed out the drainage system at the end of Dollmore Avenue, including filling with sand the 50 foot long 12 inch HDPE outlet pipe that runs from the catch basin on the corner with Sheridan Street to the Bay. Runoff from the heavy rains overwhelmed the blocked pipe resulting in the following damages:

- Washout and loss of one Type A basin;
- Washout and loss of 50 feet of the 12 inch HDPE culvert;
- Washout/erosion of 30 cubic yards of fill; and
- Washout of 55 square yards of 4 inch shoulder material.

Damage to Water Meters

At various sites across Ocean Township, the water system's meters were submersed in saltwater as a result of flooding. This corroded the affected meters' internal electrical connections to the transmitting devices, preventing certain important signals from being read. The following additional damages were reported with regards to water meters in the Township:

- 496 meters were damaged;
- 14 MXUs (meter readout devices) were damaged;
- 9 meter bottoms were damaged; and
- 384 pit pads were damaged.

All of these damaged items are attached to flood-damaged homes that were still not occupied as of July 2013.

Damage to Sanitary Sewer Pump Stations

Five pump stations throughout Ocean Township went offline from Superstorm Sandy damage, including:

- At the intersection of Bay Parkway at Dock Avenue,
- At the intersection of Lighthouse Drive at Anchor Drive,
- At the intersection of Marine Road and Lagoon View Road,
- At 262 Bayshore Drive, and
- At 225 Seneca Boulevard.

Community Vulnerabilities Exacerbated by Superstorm Sandy

Superstorm Sandy exacerbated the vulnerability of homeowners and business owners located in low-lying areas in close proximity to the flooded waterways that border and run through Ocean Township. The loss of power exposed residents to the dangers of cold fall nights. Furthermore, the damage to the pump stations threatened the health of residents by failing to prevent the backflow of raw sewage into flooded Township streets.

Other vulnerabilities that Ocean Township faces include:

- The land to the east of Route 9 is mostly built out, and the Township faced limited options for relocating debris. In the event of another storm, the Township would have minimal land to dump debris;
- The building that houses the zoning and construction departments has no generator;
- The Township Hall's generator is 30 years old; and
- The Township's community center has no generator and is in a flood zone.

Furthermore, the storm has also exacerbated the Township's vulnerability to Barnegat Bay. Land on the Bayshore of Ocean Township has been taken away by the bay over the past 30 years, and this erosion was further exacerbated by Superstorm Sandy. At the end of Bay Parkway along Barnegat Bay, the road has been partially eroded. This poses emergency problems for the single house located all the way at the end of the street. If a fire truck or

other emergency vehicle needed to reach the end of Bay Parkway, it would never be able to turn around because of the erosion, and would have to back up before reaching the next available street to turn around.

Community Opportunities Created by Superstorm Sandy

The impacts of Superstorm Sandy have shed light on the areas in which Ocean Township may improve its resiliency in future storm events by:

- Promoting public awareness of hazard mitigation and resiliency issues;
- Focusing public agencies on community vulnerabilities to hazards such as flooding;
- Encouraging regional solutions to flood- and storm-related impacts;
- Ensuring that future capital projects are designed and constructed to incorporate features that are resilient to storm- and flood-related impacts.

Current Status of Post-Sandy Recovery Efforts

Municipal Efforts

In the days and weeks following Superstorm Sandy, Ocean Township took the following emergency protective measures:

- Evacuated stranded residents, barricaded flooded roads and hazards, and patrolled evacuated neighborhoods to prevent looting;
- Prevented further damage to roads and public properties by purchasing stone fill to fill in washed out sections of roads and to maintain access to neighborhoods;
- Connected portable generators for temporary power at the police station to maintain communication and at critical intersections;
- Prevented failure of the bulkhead at Crystal Point Park by moving washed out sand from one side of the bulkhead back to the correct side;
- Connected portable generators to allow utilities to function;
- Inspected all flooded and damaged buildings for structural stability, electrical and plumbing status, and health and safety compliance in order to determine if they were safe to reoccupy. This action was performed under shared services agreements with Barnegat Township.

The Township has estimated that the cost for these joint projects was \$368,333.63.

Other general recovery efforts that Ocean Township undertook immediately following Superstorm Sandy include the following:

- Relaying most information to the public via the Township website, which it updated regularly;
- Sending residents to a joint temporary shelter at Barnegat High School;
- Briefings in 12 hour increments between The DPW and Police Department about the status of recovery work and other important updates, with a central location out of the emergency operations center; and
- Bringing in state code officials that assisted in the permit review process and in deeming houses habitable.

In addition, Ocean Township adopted Ordinance 2013-13, amending Chapter 18 “Zoning” of the Township Code. This ordinance changed definitions of “building height” for properties located in a Flood Hazard Area (FHA), “building area,” “decks,” and “impervious coverage,” and added the definition of “balcony.” This ordinance also amended building restrictions for tool and utility sheds, decks, and exterior stairs and unroofed porches.

Community Development Block Grant (CDBG) Disaster Recovery Programs

Ocean Township has also received recovery aid from various federal funding programs. The NJ Department of Community Affairs has put together an online database of CDBG programs that have aided in Superstorm Sandy recovery across New Jersey, updated as of March 20, 2014. Ocean Township's residents have been awarded \$22,366,612 from the following housing programs:

Homeowner Resettlement Program (HRP): \$180 million in federal funds have been allocated to support a Homeowner Resettlement Program designed to encourage homeowners to remain in the nine most impacted counties (Atlantic, Bergen, Cape May, Essex, Hudson, Middlesex, Monmouth, Ocean, and Union) that were severely impacted by Superstorm Sandy. The funds may be used for any non-construction purpose that assists the Homeowner to remain in, or return to, the county in which they lived prior to Superstorm Sandy.

In Ocean Township, 46 low- to moderate-income housing units and 69 urgent need units were awarded grant monies through the HRP, totaling 115 housing units for the Township. With a grant amount of \$10,000 per household, \$1,150,000 has been awarded to Ocean Township, all of which has been disbursed as of March 20, 2014.

Homeowner Reconstruction, Rehabilitation, Elevation, and Mitigation (RREM): \$600 million in federal funds have been allocated to help eligible primary homeowners repair or rebuild

their Superstorm Sandy impacted homes. The RREM program will assist homeowners in rehabilitation, reconstruction, elevation, and mitigation so that they can do the necessary work on their homes to make them livable and to comply with requirements for structures located in flood plains. RREM provides grants to eligible Homeowners up to \$150,000. The RREM program is intended to “fill the gap” between the cost of repairs and other funds the owner has received to repair the structure.

In Ocean Township, 30 low-to-moderate income housing units and 11 urgent need units were awarded funding through the RREM program, totaling 41 housing units for the Township. With an average award of \$100,000 per application, \$4,100,000 has been awarded to Ocean Township. As of March 20, 2014, none of this money has been disbursed yet.

Small Rental Properties/Landlord Rental Repair Program (LRRP): This program provides up to \$50,000 per unit in grant funding assistance to eligible owners of rental property from 1 to 25 units. The LRRP program will provide funds to help rental property owners restore their properties through rehabilitation, reconstruction, elevation, and mitigation to rental property damaged by Superstorm Sandy. The LRRP program is intended to help existing owners restore their properties and receive reimbursement for eligible building expenses incurred by owners prior to the LRRP implementation but not paid for by other programs.

In Ocean Township, 3 units have been awarded funding through the LRRP, totaling \$90,000 for the Township. As of March 20, 2014, none of this money has been disbursed yet.

Fund for Restoration of Large Multi-Family Housing (LMF): This program provides funding to qualified developers to leverage 9% and 4% low income housing tax credits, tax-exempt bonds, and stand-alone financing to support the development of rental housing in affordable or mixed-income projects. Development may include new construction, conversion of vacant commercial/industrial buildings, or substantial rehabilitation of uninhabitable dwellings. The allocation for this activity is \$179,520,000 statewide. Ocean Township has been awarded \$17,026,612 in LMF money, though none of it has been disbursed as of March 20, 2014.

Small Business Administration Disaster Loans

In the months following Superstorm Sandy, the Small Business Administration (SBA) has been issuing loans to homeowners and businesses in New Jersey to aid in their recovery and reconstruction efforts. NJ.com has compiled data from the SBA and made it available on their website. As of February 2013, Ocean had received 29 home loans totaling \$2,249,800 and 2 economic injury disaster loans in the amount of \$84,900.

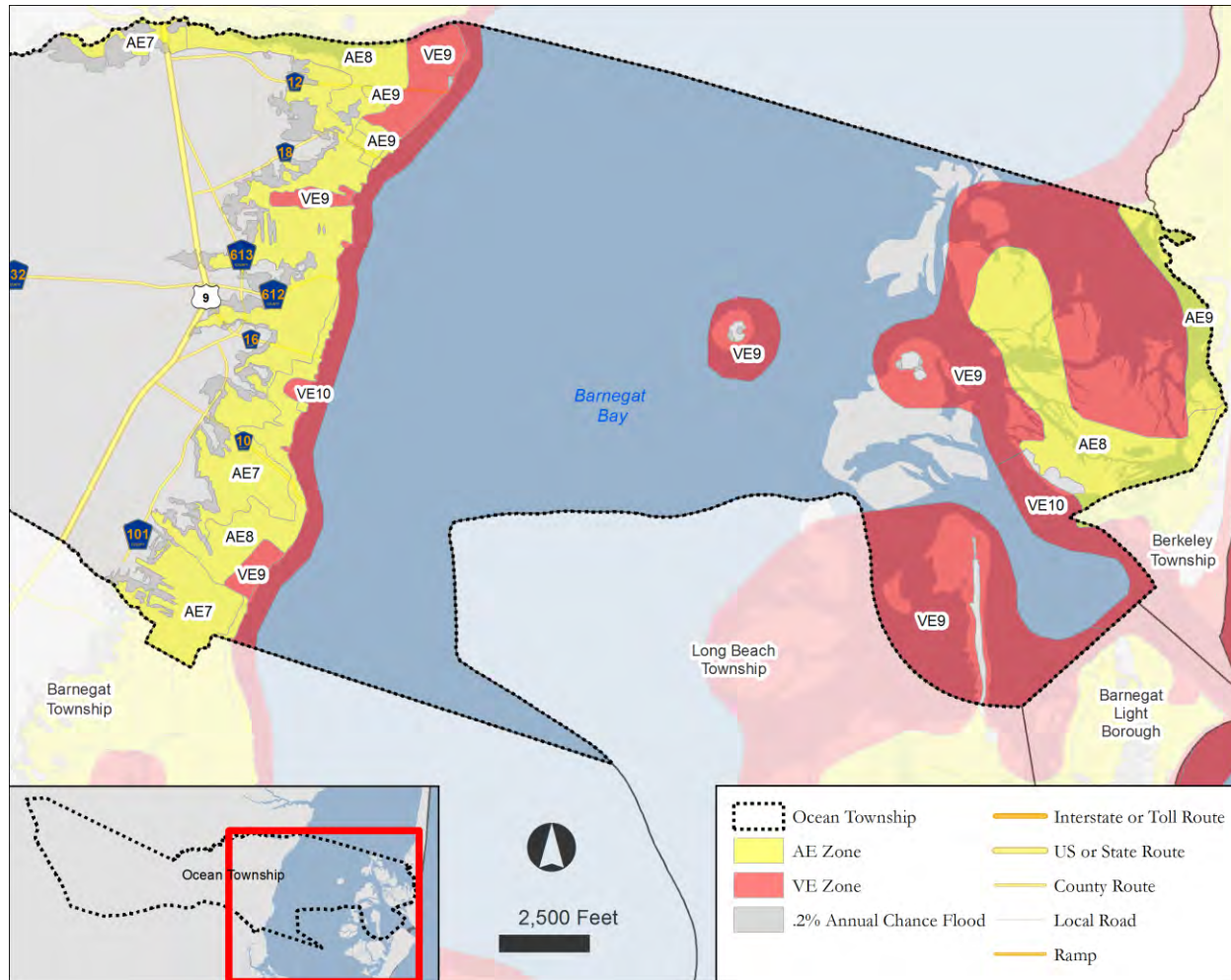
FEMA’s Hazard Mitigation Grant Program (HMGP) Elevation Program

This is a \$100 million reimbursement grant program set up to assist homeowners elevate their homes after Superstorm Sandy. The HMGP elevation program provides up to \$30,000 of reimbursement for eligible homeowners to elevate their primary single-family residences. The program is being paid for by FEMA funds. The application period for homeowners closed on September 15, 2013. The purpose of this project is to reduce the risk of damage to properties and their contents in the event of major flooding. It may also provide a significant reduction in flood insurance premiums compared to structures that are not elevated.

Residential Elevation of 203 Homes

Ocean applied for funding to elevate 203 homes. 135 of the homes are located in the Coastal “AE” Flood Zone, while 67 are located within the “VE” Velocity zone on the Preliminary Flood Insurance Rate Maps (FIRMs) that were established by FEMA and adopted by the State of New Jersey after Superstorm Sandy. The Coastal Floodplain Boundaries Preliminary Work Map with flood elevations is depicted in Figure 15.

Figure 15: Preliminary Flood Insurance Rate Map (FIRMs) Elevations in Ocean Township



The goal of this elevation project is to protect lives and property from flood inundation and hazards, to reduce the need for emergency services during flood events, and to reduce or eliminate repetitive flooding of these homes thereby reducing claims under the National Flood Insurance Program. This project will mitigate the repetitive flooding of the structures by elevating the house above flood areas.

The proposed mitigation measures will cost \$150,000 per residential structure pursuant to federal prevailing wage standards. The Township requested \$22,837,500.00 (75 percent of the total project cost of \$30,450,000.00) for the 203 houses. Individual homeowners would be expected to provide the remaining 25 percent of the total cost.

Park Improvements

Ocean Township applied for a FEMA grant for improvements to Tuscarora Park and Dollmore Avenue areas. The application consists of replacing the following amenities at Tuscarora Park:

- 2,500 square yards of four-inch thick topsoil;
- 277 cubic yards of back fill from behind the bulkhead;
- Replacing 400 cubic yards of the four-inch thick gravel access road; and
- Replacing 200 square yards of the four-inch thick gravel trail along the bulkhead.

This application also consists of the following work at Dollmore Avenue:

- Replacing one Type A basin;
- Replacing 50 feet of the damaged 12 inch HDPE culvert;
- Excavating and replacing 30 cubic yards of fill that was eroded; and
- Replacing 55 square yards of 4 inch shoulder material

The cost estimate of this joint project is \$38,472.22.

Another FEMA application involved improvements to the Bryant Park area. The wooden T-dock, bulkhead, boardwalk, and gazebo are to be repaired to their pre-disaster condition. The estimated total cost of this project is \$192,937.24.

Water Meter Improvements

The Township also applied to replace and repair the damaged water meters and parts, including all 496 damaged meters, 14 MXUs (meter readout units), 384 damaged pit pads, and 9 meter bottoms. This work, along with necessary time, labor, and equipment, has an estimated total cost of \$102,572.04.

Emergency Generator Replacement Project

The Township requested funding from the New Jersey Environmental Infrastructure Financing Program to finance the purchase and installation of new emergency generators and the relocation of an existing generator. The two new generators are for existing sanitary sewer pump stations that were damaged or failed after Superstorm Sandy hit Ocean Township. These new generators will be trailer mounted and towable. One towable

emergency generator will be used and stored at the Dock Avenue Pump Station site. The second new generator will be stored at the Municipal Complex, but used for the remaining sanitary sewer station as it is needed. Construction for these emergency generators is expected to start in December of 2014 and end in April of 2015.

Participation in FEMA’s Community Rating System

The CRS is a voluntary incentive program that recognizes and encourages community floodplain management activities that exceed the minimum National Flood Insurance Program (NFIP) requirements. The NFIP administers the CRS which scores towns on their effectiveness in dealing with the mitigation of flood hazard events. As a result of earning CRS points, flood insurance premium rates are discounted to reflect the reduced flood risk resulting from the community actions meeting the three goals of the CRS:

- Reduce flood damage to insurable property,
- Strengthen and support the insurance aspects of the NFIP, and
- Encourage a comprehensive approach to floodplain management.

Ocean Township’s CRS participation status was at a Class 10 level in 2012. As of May 1, 2013, the Township’s participation has increased to a Class 6. At the Class 6 level, Ocean Township’s residents living inside the Special Flood Hazard Area (SFHA)

receive a 20% discount on flood insurance premiums, and those living outside the SFHA receive a 10% discount. The rapid increase in Ocean Township’s CRS participation level since 2012 is among the best of New Jersey municipalities, and speaks to the Township’s commitment to resiliency and response to future storms.

Community Involvement

FEMA conducted a public information session for residents of both Ocean and Barnegat Township on February 23, 2013 at Barnegat High School. Issues discussed and explained to the public involved some of the various assistance programs discussed in this SRPR, such as the National Flood Insurance Program, the Hazard Mitigation Grant Program, and the Small Business Administration financing programs. At this meeting, residents of both Townships had the opportunity to discuss any concerns or issues regarding their individual storm recovery work.

Additional community involvement actions that this SRPR considers include: a steering committee with participating Township personnel to discuss priority recovery, response, and resiliency actions, and a noticed public meeting for Ocean Township residents to discuss public input for this SRPR.

Ocean County Long Term Recovery Group

The Ocean County Long Term Recovery Group (OCLTRG) seeks to provide a coordinated recovery effort to the victims of disasters affecting Ocean County by identifying and assisting

households affected by the disaster who do not have adequate personal resources for basic needs and recovery. The group's priorities include the following:

- Individuals and families who need assistance to maintain or obtain safe, sanitary, and secure housing, and who:
 - Are not served or are underserved by other existing aid programs, including people who are ineligible for FEMA.
 - Are experiencing economic hardship in pursuing a plan for recovery.
 - Are isolated or have difficulty accessing services.
 - Have begun the recovery process but have encountered a setback and need assistance with their continued recovery.
 - Need assistance in order to prevent deterioration in their continued recovery.
- Landlords of owner-occupied residential rental property of four units or less when such assistance will provide safe, sanitary, and secure housing that will be affordable and permanent for the owner-occupant and his or her residential tenants.
- Landlords of non-owner occupied residential property of three units or less when such assistance will provide safe, sanitary, and secure housing that will be affordable and permanent for residential tenants.

There is no publicly available data regarding OCLTRG's recovery aid in Ocean Township, but aid from this group remains available for Ocean's residents.

Rebuilding Approaches That Will be More Resistant to Damage from Future Storms

The recovery efforts previously mentioned all serve as rebuilding approaches that Ocean Township is taking to be more resilient in the future. They serve to protect residents from the dangers of potential storm events by providing a solution to damaged services. The Township also may consider the following rebuilding approaches in its recovery efforts:

- Rebuilding and renovating homes and structures in accordance with flood hazard and construction codes.
- Elevating emergency generators of pump stations and key community facilities above the base flood elevation.
- Educating residents and builders about flood hazards and flood-resistant provisions in codes.
- Protecting natural areas that currently buffer developed areas from storm damage and storm surge.

Recommended Municipal Actions to Promote Recovery from Superstorm Sandy and to Reduce Vulnerabilities to Future Storms

Ocean Township has discussed several capital and programmatic improvements in order to storm harden the Township's infrastructure and to improve the response during a catastrophic event. These actions have been categorized into the immediate/short-term range (within the next 12 months) and mid- to long-term range (within the next 36 months). However, the various actions presented could be changed between the short- and long-term as opportunities arise and funding becomes available. For example, the actions identified as long-term priorities could be completed within 12 months if funding becomes available.

Immediate/Short-Term Range

Ocean Township has several immediate needs. In particular, the Township should focus on the following capital improvements:

- Stabilizing the bay shoreline by installing riprap;
- Installing new generators at Township Hall, the Department of Public Works complex, the building that houses the Construction and Zoning Departments, and the first aid building;
- Creating a Township Debris Management Plan including such components as allocating debris removal sites, collection strategies, and debris reduction methods; and

- Providing more radios for emergency communication.

The Township should also make updates to its Master Plan. The last time the Master Plan was updated was in 2005. It is essential for Ocean Township to amend the goals, objectives, and key elements of the comprehensive Master Plan to address post-Sandy strategies and policies including, but not limited to, hazard mitigation and community resiliency. This effort will include the preparation of up-to-date mapping of current land uses, new FEMA floodplain and wetland mapping, critical community facilities, and important natural resources areas.

Ocean would also like to install a town-wide Supervisory Control and Data Acquisition (SCADA) system throughout the Township in conjunction with its owned and operated facilities (including at pump stations, Township Hall, the Police Department, fire houses, etc.) to communicate critical alarms to a centralized location or operational personnel. Use of a SCADA system can provide the Township with accurate information on water and wastewater collection, pump control, pump station performance, as well as provide alarm notifications of system failure, emergency levels, and any other events as they occur. This will help protect the environmental quality of the Township by preventing sewer spills into local waterways. The SCADA also will monitor fire, security, power failures, and generator operations for the Township.

The Township also needs to automate and update its system for processing zoning and construction permits. The construction

office currently uses laptops in this process, which has not proven to be the best tool for streamlining the office's work. An upgraded permit program in which inspectors receive and manage permits using state of the art technology such as electronic tablets would significantly increase the Township's efficiency in this task and in recovering from future storm events.

Mid- to Long-Term Range

At the mid- to long-term range, the Township should review its zoning in its waterfront development districts located in redevelopment areas. This should involve determining if the existing zoning is appropriate, or if it should be revised or updated to promote sustainable development and resiliency to future Sandy-type storms.

The Township plans to prepare a Capital Improvement Plan that will identify needed municipal investments in public facilities, fleets, and equipment to build community resiliency in plants and equipment.

Ocean Township also should update its Floodplain Management Plan

Ocean Township would also like to develop a GIS database and user interface to catalog and inventory all infrastructure owned by the Township, including roadways, its stormwater collection system, and its sanitary sewer collection system. This effort would include up-to-date GPS mapping of the utility infrastructure for both systems, inventory and classification of the road network to

build a Township-wide capital improvement plan, and digitizing the tax maps.

The aforementioned GIS database and user interface would also be developed to include essential residential and commercial property information. This could include, but not be limited to, zoning permit application data, building permit application data, number of occupants, age of occupants, dog and cat license information, and fire arm permit information. Linking the GIS into the automated zoning and construction permit system will provide real time data to officials and inspectors in the field. This system will be more cost effective and will increase the Township's operating efficiencies.

In addition, the Township seeks to compile low-elevation aerials to produce high-quality aerial mapping with 6" contour levels within identified special flood hazard areas. This mapping would allow the Township the ability to complement the FEMA flood maps with the best available topographic information and to better delineate the FEMA flood elevations for buildings.

The combination of the GIS database/user interface with the compilation of low-elevation aerials/mapping will improve community resiliency by providing a geographic foundation to highlight at-risk areas that need to be addressed. The identification of these areas will complement Ocean Township's current participation in the revision of the Ocean County Multi-Jurisdictional Natural Hazard Mitigation Plan. It can also provide

the basis for updating the Township’s Emergency Operating Plan.

The Township also would like to continue to increase its participation in FEMA’s Community Rating System (CRS) program and improve its rating, if grant monies are available. Along with increased participation and an improved rating, Ocean Township seeks to promote education and awareness among residents about the Township’s CRS involvement and what that means for homeowners within the Township.

As part of these planning efforts, the Township will also evaluate the relevancy of green infrastructure techniques and engineering controls that could further enhance resiliency within the Township.

Summary of Actions and Priorities

The recommended actions for Ocean Township serve as a comprehensive approach to both recovering from Superstorm Sandy and reducing vulnerabilities to future storms.

Immediate/Short-term needs include:

- Stabilizing the bay shoreline by installing riprap;
- Installing new generators at Township Hall, the Department of Public Works complex, the Construction and Zoning building, and the first aid building;
- Allocating a place for Township debris removal;
- Providing more radios for emergency communication;
- Updating the Comprehensive Master Plan;
- Installing a town-wide SCADA system; and
- Automating and upgrading the zoning and construction permit program.

Mid- to Long-term needs include:

- Reviewing and updating zoning in the waterfront development districts as it relates to resiliency;
- Preparing a Capital Improvement Plan identifying needed capital investments in public facilities to improve local resiliency;
- Updating the Floodplain Management Plan;
- Developing a GIS database/inventory of Township-owned infrastructure;

- Compiling low-elevation aerial mapping of identified special flood hazard areas;
- Continuing to increase participation in FEMA’s CRS program, including improving the Township’s rating;
- Promoting education and awareness among residents about the Township’s CRS involvement; and
- Evaluating the relevancy of green infrastructure techniques and engineering controls that could further enhance resiliency within the Township.

Based on the foregoing priorities, the Township will be seeking additional funding from the NJ Department of Community Affairs as part of the Post Sandy Planning Assistance Grant Program (PSPAGP) for the following activities eligible for funding under the program:

- Updating the Comprehensive Master Plan;
- Automating and updating the zoning and construction permit program;
- Reviewing and updating zoning in the waterfront development districts as it relates to resiliency;
- Preparing a Capital Improvement Plan identifying needed capital investments in public facilities to improve local resiliency as described above;
- Updating the Floodplain Management Plan; and
- Developing a GIS database and low elevation aerial mapping to support future planning efforts.

All of the foregoing will help the Township improve resiliency by improving the Township’s knowledge base, establishing clear procedures and protocols for addressing future emergencies and facilitating restoration, and creating a comprehensive planning framework that will enhance the resiliency and sustainability of the Township and minimize the impacts of future storm events.

Filler



F. — 2015 Floodplain Management Plan



FLOODPLAIN MANAGEMENT PLAN

Township of Ocean
Ocean County, New Jersey

FLOODPLAIN MANAGEMENT PLAN

APRIL 2015

Prepared for:
Township of Ocean
Ocean County, New Jersey

Prepared by:



11 Tindall Road
Middletown, NJ 07748

Martin P. Truscott, PP, AICP, LEED- GA
NJ Professional Planner No.: 2443

Patrick Jeffery, PE, PP, CME
NJ Professional Planner No.: 33LI00621900

*The original of this document was signed
and sealed in accordance with New Jersey Law*

Acknowledgements

Mayor and Committee

Christina Wetter, Mayor
Dennis F. Tredy, Deputy Mayor
Joseph Lachawiec, Committeeman
Diane Ambrosio, Township Clerk

Planning Board

William Sneddon, Chairman
Daniel Collamer, Vice Chair
Ralph Avellino
Nick Bonamassa
James Eckert
Aaron Shapiro
Ben Loparo
Dennis F. Tredy
Christina Wetter
John Petrosilli, Alternate #1
Donald Lippincott, Jr., Alternate #2

Stephen E. Yost, Esq., Planning Board Attorney
James Oris, PE, CME, Planning Board Engineer
Scott D. Taylor, PP, AICP, LLA, LEED-AP, Planning Board Landscape Architect
Laurie Clune, Planning Board Secretary
Sandra Pirozzi, Alternate Secretary

David Breeden, Township Administrator
Diane Ambrosio, Township Clerk
Gregory McGuckin, Township Attorney

T&M Project Team

Martin P. Truscott, PP, AICP, LEED-GA
Patrick Jeffery, PP, PE, CME
Christine Bell, PP, AICP, CFM

Executive Summary

This plan is intended to identify and assess flood hazards within Ocean Township, establish goals and objectives for floodplain management, and to present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. This Floodplain Management Plan was funded using Phase II- Post Sandy Planning Assistance Grant Funding from the New Jersey Department of Community Affairs and will be incorporated as an element of the Township's Master Plan.

This plan has been organized according to the guidelines of the 2013 National Flood Insurance Program Community Rating System Coordinator's Manual to maximize the amount of points available for credit in the Community Rating System Program and follows the 10-step planning process outlined in the manual. The planning process was conducted through a committee consisting of public members as well as Township employees and officials. The committee met frequently throughout the planning process to discuss each step of the plan and provide input on suggested activities and actions.

To assess the problems and flood hazards impacting Ocean Township, a review was done of all relevant planning studies, documents, and relevant zoning ordinances. Outside stakeholder agencies were contacted to see if they had any input on the planning process. Historical flooding events, repetitive loss properties and known flood hazards were reviewed to determine problem areas within the Township.

Possible activities to mitigate the impacts of flooding in the community were discussed. The committee determined a list of goals for the Ocean Township Floodplain Management Plan and determined a prioritized list of action items from the list of possible activities, using the goals as guidance.

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I. INTRODUCTION

PURPOSE AND SCOPE

This plan has been prepared as Ocean Township's Floodplain Management Plan (FMP) and will be incorporated as an element of the Township's Master Plan. The FMP identifies and assesses flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean Township, and presents a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The FMP also evaluates the need and potential options for wetland restoration and maintenance and/or other engineering control measures to mitigate potential storm surge in those areas of the Township that may be vulnerable. The FMP also includes recommendations for the Township's current Floodplain Development Protection Ordinance.

This Floodplain Management Plan is designed to maximize points available under the Community Rating System Program.

FLOODPLAIN MANAGEMENT PLANNING

Floodplain management is defined by FEMA as the operation of a community program of preventive and corrective measures to reduce the risk of current and future flooding, resulting in a more resilient community. While FEMA has minimum floodplain management standards for communities participating in the National Flood Insurance Program (NFIP), adopting higher standards will lead to safer, stronger, more resilient communities.

COMMUNITY RATING SYSTEM

The Community Rating System (CRS) is a voluntary incentive program of the National Flood Insurance Program (NFIP) that provides participating communities with discounted flood insurance premium rates for undertaking community floodplain management activities that exceed the minimum NFIP requirements. Flood insurance premium rates are discounted in increments of 5%, reflecting the reduced flood risk resulting from community actions in four categories: public information, mapping and regulations, flood damage reduction, and flood preparedness. The three goals of the Community Rating System Program are:

1. Reduce flood damage to insurable property;
2. Strengthen and support the insurance aspects of the NFIP; and
3. Encourage a comprehensive approach to floodplain management.

ORGANIZATION OF THE PLAN

This plan has been organized according to the guidelines of the 2013 National Flood Insurance Program Community Rating System Coordinator's Manual to maximize the amount of points available for credit in the Community Rating System Program. This Floodplain Management Plan follows the 10- step planning process outlined in the manual:

- Step 1: Organize
- Step 2: Involve the public
- Step 3: Coordinate
- Step 4: Assess the hazard
- Step 5: Assess the problem
- Step 6: Set goals
- Step 7: Review possible activities
- Step 8: Draft an action plan
- Step 9: Adopt the plan
- Step 10: Implement, evaluate, revise



II. OCEAN TOWNSHIP PROFILE

Ocean Township is located in central Ocean County along the western shore of the Barnegat Bay. It is approximately 21 square miles and is bordered to the north by Lacey Township, to the south and west by Barnegat Township and to the east by Barnegat Bay. The southern portion of Island Beach State Park and the Township of Barnegat Light are located across the bay from Ocean Township and are separated by the Barnegat Inlet. Ocean Township is a predominately rural-suburban residential community.

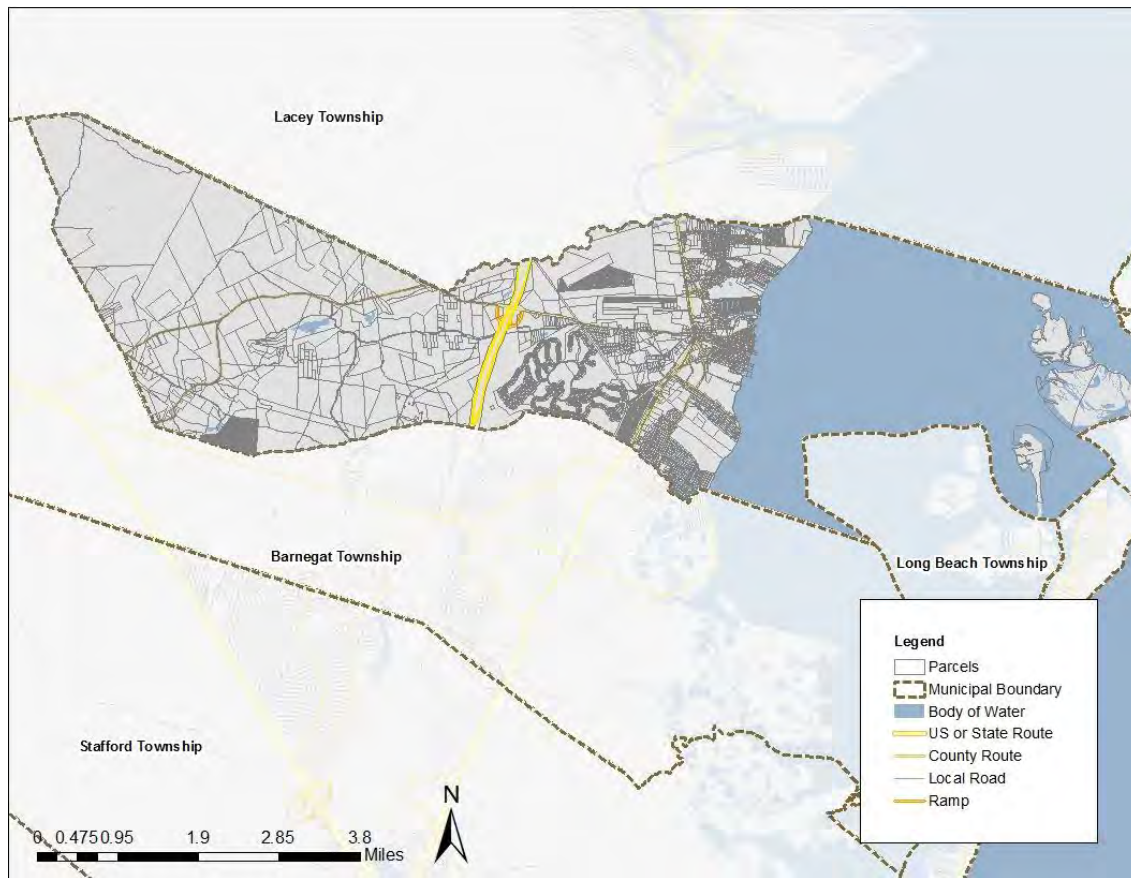


Figure 1. Township Map

The Garden State Parkway runs north and south through Ocean Township, dividing the Township. Land to the west of the Parkway falls within the Pinelands, and land to the east of the Parkway is regulated by CAFRA. US Highway Route 9 is located east of the Garden State Parkway and also runs north and south through the Township. Most of Ocean Township’s commercial and residential development has occurred along the Route 9 corridor, with land to the west of the Garden State Parkway in the Pinelands region having minimal development.

The Township is located in the Outer Coastal Plain on unconsolidated sediments laid down since the Cretaceous period and extending to the continental shelf. There are a number of streams running through the Township; including Oyster Creek on the northern Township border, Waretown Creek cutting through the middle of Ocean Township, and Lochiel Creek on the southern border of the Township. All three of these streams are generally tidally influenced in the developed portions of Ocean Township.

POPULATION TRENDS

The population of Ocean Township has continued to grow at a tremendous pace since 1930, with an average rate of 30% each decade. The period of largest population growth for Ocean Township was between 1950 and 1980. This is most likely due to the construction of the Garden State Parkway, which allowed travelers faster, more direct access to Ocean Township from New York City and Northern New Jersey. According to the U.S. Census Bureau's American Community Survey, the 2013 population estimate for Ocean Township was 8,444. At the 2010 census the median age in Ocean Township was 49.6. There were 3,483 total households, averaging 2.39 people each.

III. PROJECT ORGANIZATION & PUBLIC MEETINGS

T & M Associates assisted the Township of Ocean in preparing this Floodplain Management Plan. The planning process was conducted under the supervision of a New Jersey licensed professional planner.

The planning process was conducted through a Steering Committee consisting of both Township staff and representatives of the public. The Committee was formed by Township Committee Resolution 2015-91 and met on a bi-weekly basis from March to April 2015 to discuss the existing hazards and problems related to flooding in the Township, review potential goals and hazard mitigation activities, and make recommendations to revise existing Township Ordinances. Outlines of all steering committee meetings can be found in Appendix A. The following are members of the Committee:

- Louis Fisher- Construction Official
- Diane B. Ambrosio- Municipal Clerk
- Laurie Cune- Planning/ Zoning
- Renee Dronebarger- Code Enforcement
- Lt. George Thomas or designee- Police/ OEM
- Adele Shaw or designee- Historical Society
- William Sneddon- Planning Board
- John Petroselli- Zoning Board
- Kevin Harnett- Resident
- Chris West- Resident
- Matt Ambrosio- DPW/Parks & Recreation
- Patrick Jeffery- T&M Associates

In addition to the Steering Committee meetings, a separate public information meeting was held during the initial stages of planning on March 23, 2015. This meeting was publicly advertised and open to all members of the public. The public was informed of the proposed Floodplain Management Plan and was given the opportunity to provide input and recommendations.

A second open public meeting was held on April 20, 2015. The proposed Floodplain Management Plan was presented to the Board and the public was encouraged to provide input on the recommended plan.

Additional information on these meetings can be found in Appendix B.

IV. FLOOD HAZARD ASSESSMENT

EXISTING DOCUMENTS

It is important to coordinate floodplain management goals with other planning and community development goals in Ocean Township. As part of the planning process, the following documents were reviewed:

- 1982 Master Plan
- 1999 Master Plan Update
- 2005 Master Plan
- 2005 Waretown Town Center Goals and Objectives
- 2006 Land Use Plan Element Amendment- Environmental Conservation and Bayfront Conservation Areas
- 2010 Emergency Operating Plan
- 2012 Floodplain Management Plan
- 2014 Strategic Recovery Planning Report

Information from the following documents was identified as important to the floodplain management planning process:

1982 Master Plan

The following goals of the 1982 Master Plan are relevant to this Floodplain Management Plan:

- Provide for cluster subdivision design to conserve open space and natural amenities in residential areas and to reduce road and utility cost.
- Develop a system of secondary streets in built-up and urbanizing areas which improve access to individual areas and reduce use of Route 9 for internal trips.
- Improve local streets and drainage where poor conditions and problems exist.
- Provide for the expansion of public sewer and water systems to serve all built-up areas and future development generally east of Route 9.
- Restrict unsewered development in all areas with less than five (5) foot depth to seasonal high water table.
- Establish a system of conservation areas which are designed to limit or restrict development in wetlands, along streams, and in undeveloped bay front locations; promote appropriate recreational uses in these conservation areas.

1999 Master Plan Update

The following goals of the 1999 Master Plan Update are relevant to this Floodplain Management Plan:

- Encourage the use of best management policies for all development to ensure the least negative impact on the overall quality of residential life and the environment in the Township.
- Review and continually update, as needed, the various codes and development standards and maintain an aggressive code enforcement policy to ensure the highest quality of life within the Township.
- Review and continually update the permitted uses within each zone to ensure that only those uses compatible with the land capacity to support them are permitted.
- Ensure that any conversion of seasonal residential units to year-round residential uses is accomplished in a manner consistent with all applicable codes and standards.
- Encourage development of new residential housing units in areas that are served with adequate infrastructure including water, sewer, stormwater management, and streets, so as to minimize any negative environmental impacts.
- Maximize the economic benefit of resource-based development with the lowest possible negative environmental impact.

2005 Master Plan Recommendations

The following goals of the 2005 Master Plan Reexamination Report are relevant to this Floodplain Management Plan:

- Reduce residential development that has a negative financial impact on the Township.
- Encourage, through land development standards, the protection of open space.
- Continue to balance all forms of development through the use of smart growth principles and sustainability planning.

2005 Waretown Town Center Goals and Objectives

The goal of the 2005 Master Plan Reexamination was to provide the planning framework and foundation for the implementation of the Township's proposed Waretown Town Center, which was included in the Township's application for Plan Endorsement from the New Jersey State Planning Commission. The following goals specific to the Waretown Town Center were added to the master plan with the 2005

Master Plan Reexamination Report and are relevant to this Floodplain Management Plan:

- Protect environmentally sensitive lands and direct growth towards areas of Township with existing infrastructure.

2006 Land Use Plan Element Amendment- Environmental Conservation and Bayfront Conservation Areas

This amendment created an Environmental Conservation (EC) district and expanded an existing Bayfront Conservation (BC) district in an effort to focus development from environmentally sensitive areas east of the Garden State Parkway within Ocean Township into the Town Center, which is more appropriate for development. Other benefits include the preservation of the environmental and open space amenities for all residents in the Center and surrounding areas and to create a green belt around the Center to delineate its boundaries.

2010 Emergency Operating Plan

This Plan, approved in 2010, sets forth the general policies and procedures to be carried out by municipal and volunteer entities (such as the Fire Department and EMS) in order to provide the citizens of the Township with an effective integrated emergency response plan designed to minimize the loss of life and property during an emergency. The manual is comprised of the Basic Plan and the following list of annexes providing response plans for such emergency situations as: alerting, warning, and communications; damage assessment; emergency operating centers; emergency public information; evacuation; fire and rescue; hazardous materials; law enforcement; public health; public works; radiological protection; resource management; shelter, reception, and care; social services; and terrorism and weapons of mass destruction.

The purpose of the Emergency Operating Plan is to protect life and property in emergencies by coordinating response activities of municipal and volunteer entities to ensure their optimum use. It provides for actions to be taken to mitigate, prepare for, respond to, and recover from the effects of an emergency. The plan is an “all-hazards” approach to emergency management and covers natural disasters, technological disasters, and national security crises.

2012 Floodplain Management Plan

In 2011 the Township adopted ordinances authorizing the preparation of a Floodplain Management Plan and the creation of a Floodplain Management Plan Committee, consisting of officials responsible for implementing the plan, a local resident for the bayfront hazard area and a professional planner. Plan drafting began in 2012, and it was adopted in April 2012. The Plan's goals include:

- Reducing loss from flood damage through codes and standards.
- Educating decision makers and the public about stormwater and floodplain management.
- Coordinating and prioritizing maintenance of the stormwater management system.

The plan also seeks to:

- Ensure that a comprehensive review of possible activities and mitigation measures is conducted so that the most appropriate solutions are used to address the hazard.
- Ensure that the recommended activities meet the goals and objectives of the Township.
- Educate residents about the hazards, loss-reduction measures, and the natural and beneficial functions of floodplains.
- Build public and political support for projects that prevent new problems, reduce losses, and protect the natural and beneficial functions of floodplains.

This existing floodplain management plan will help to guide the floodplain management plan update.

Strategic Recovery Planning Report

As a response to Hurricane Sandy, Ocean Township adopted a Strategic Recovery Planning Report in 2014. The purpose of the Strategic Recovery Planning Report is to outline a recommended set of actions to guide the township in promoting recovery from the impacts of Hurricane Sandy and resiliency to future storms. The SRPR identified the community vulnerabilities exacerbated by Sandy and opportunities created by Sandy.

Vulnerabilities identified included the vulnerability of homeowners and business owners located in low-lying areas in close proximity to the flooded waterways that border and run through Ocean Township. The loss of power exposed residents to the

dangers of cold fall nights. Furthermore, the damage to the pump stations threatened the health of residents by failing to prevent the backflow of raw sewage into flooded Township streets. Additionally, the land to the east of Route 9 is mostly built out, and the Township faced limited options for relocating debris. In the event of another storm, the Township would have minimal land to dump debris; the building that houses the zoning and construction departments has no generator; the Township Hall's generator is 30 years old; and the Township's community center has no generator and is in a flood zone. Furthermore, the storm has also exacerbated the Township's vulnerability to Barnegat Bay. These identified vulnerabilities will be important to take into consideration during the floodplain management planning process.

2014 Ocean County Multi-Jurisdictional Natural Hazard Mitigation Plan

The 2014 Multi-Jurisdictional All Hazard Mitigation Plan is intended to provide a blueprint for saving lives and reducing property damage from the effects of natural and man-made disasters in Ocean County, as well as to improve community resiliency following disastrous events. The Multi-Jurisdictional All Hazard Mitigation Plan is also intended to fulfill state and federal legislative requirements related to local hazard mitigation planning, and facilitate access to pre- and post-disaster grant funding.

The Multi-Jurisdictional All Hazard Mitigation Plan is comprehensive in scope, and outlines a mitigation strategy that is centered on the following countywide goals and objectives:

- Encourage sustainable development to protect people, property, community resource and the environment from natural and human-made disasters.
 - Meet and exceed minimum standards of the National Flood Insurance Program.
 - Manage building code, land use code, ordinance and other planning mechanisms to prevent and mitigate the impact of disasters on people and property.
 - Improve information available for mitigation planning.
 - Coordinate and increase applications for federal and state grant programs.
 - Integrate and leverage other planning mechanisms from: neighboring jurisdictions; local, county and regional organizations; and, state partnerships to implement the plan.
 - Improve shelter management.
- Build and rebuild structures and infrastructure to protect people, and to reduce impacts of future disasters.

- Increase the number of residential properties protected from hazards.
- Increase the number of community resources and amount of infrastructure protected from hazards.
- Improve the ability of critical facilities and infrastructure to safely operate during storms and utility interruptions.
- Improve evacuation capability.
- Protect and restore the natural environment to support disaster resiliency.
 - Improve the health of natural systems to safely and naturally accommodate flooding and wildfire.
 - Improve the health of natural systems used to protect residential properties and other community resources.
 - Plan for increased open space in the most vulnerable areas.
 - Promote appropriate urban-wild land interface for wildfire mitigation.
- Promote education, awareness and outreach before, during and after disaster.
 - Improve and expand information and opportunities for input available by television, radio, websites, social media, newsletters, and meetings.
 - Increase participation in mitigation programs, including the Community Rating System, StormReady, and FireWise programs.
 - Tailor timely messages for audiences, including children, parents, community groups, universities, seniors and other groups.
 - Improve alert and warning systems.

To support the implementation of the 2014 Multi-Jurisdictional All Hazard Mitigation Plan in Ocean Township, the plan recommends that the Township use it (i.e., the 2014 Multi-Jurisdictional All Hazard Mitigation Plan) to implement the mitigation strategies and actions as outlined in the Plan.

COORDINATION WITH OUTSIDE AGENCIES

Notices were sent to the following groups, commissions, municipalities, and agencies soliciting data or information related to flooding, as well as any specific actions the agency or organization has undertaken that may affect flooding. Agencies and organizations who were contacted are as follows:

- The Township of Barnegat
- The Township of Lacey
- Barnegat Light
- Island Beach State Park

- Ocean County Department of Parks and Recreation
- Ocean County Sheriff Department Office of Emergency Management
- Ocean County Planning Department
- Township of Ocean Police Department
- Waretown First Aid Squad
- Waretown Volunteer Fire Co #1
- Township of Ocean Environmental Commission
- Ocean County Soil Conservation District
- North Jersey Transportation Planning Authority
- Natural Resources Conservation Service
- NJ Coastal Management Program
- US Army Corp of Engineers
- American Red Cross
- Jacques Cousteau National Estuarine Research Reserve
- Shore Builders Association of Central Jersey
- Comcast Cable
- New Jersey American Water
- New Jersey Department of Environmental Protection, State Floodplain Manager
- Barnegat Bay Partnership
- Save Barnegat Bay
- Atlantic City Electric
- New Jersey Natural Gas

A spreadsheet of all agencies contacted along with their response and a sample of the letter sent to each can be found in Appendix C. Many agencies responded and discussed information that could be beneficial to the Township's Plan. An example of this work is the various mapping provided by the Jacques Cousteau Reserve and the Rutgers University Center for Remote Sensing and Spatial Analysis (CRSSA).

FLOODING HISTORY

Description of Known Flood Hazards

The Flood Insurance Rate Map (FIRM) for the Township of Ocean is currently in the process of being updated. The Effective FIRM maps dated September 25, 2009 can be found in Appendix D. The Advisory Base Flood Maps, which were adopted shortly after Superstorm Sandy, can be found in Appendix E. The new Preliminary FIRM maps issued on January 31, 2014 indicates that the entire coastline along the Barnegat Bay as

well as the portion of the Township located along Oyster Creek is located within the Special Flood Hazard Area. None of Ocean Township’s critical facilities are located within a floodplain on the Preliminary FIRM. The Preliminary FIRM map for the Township is identified in Figure 2 below and in Appendix F.

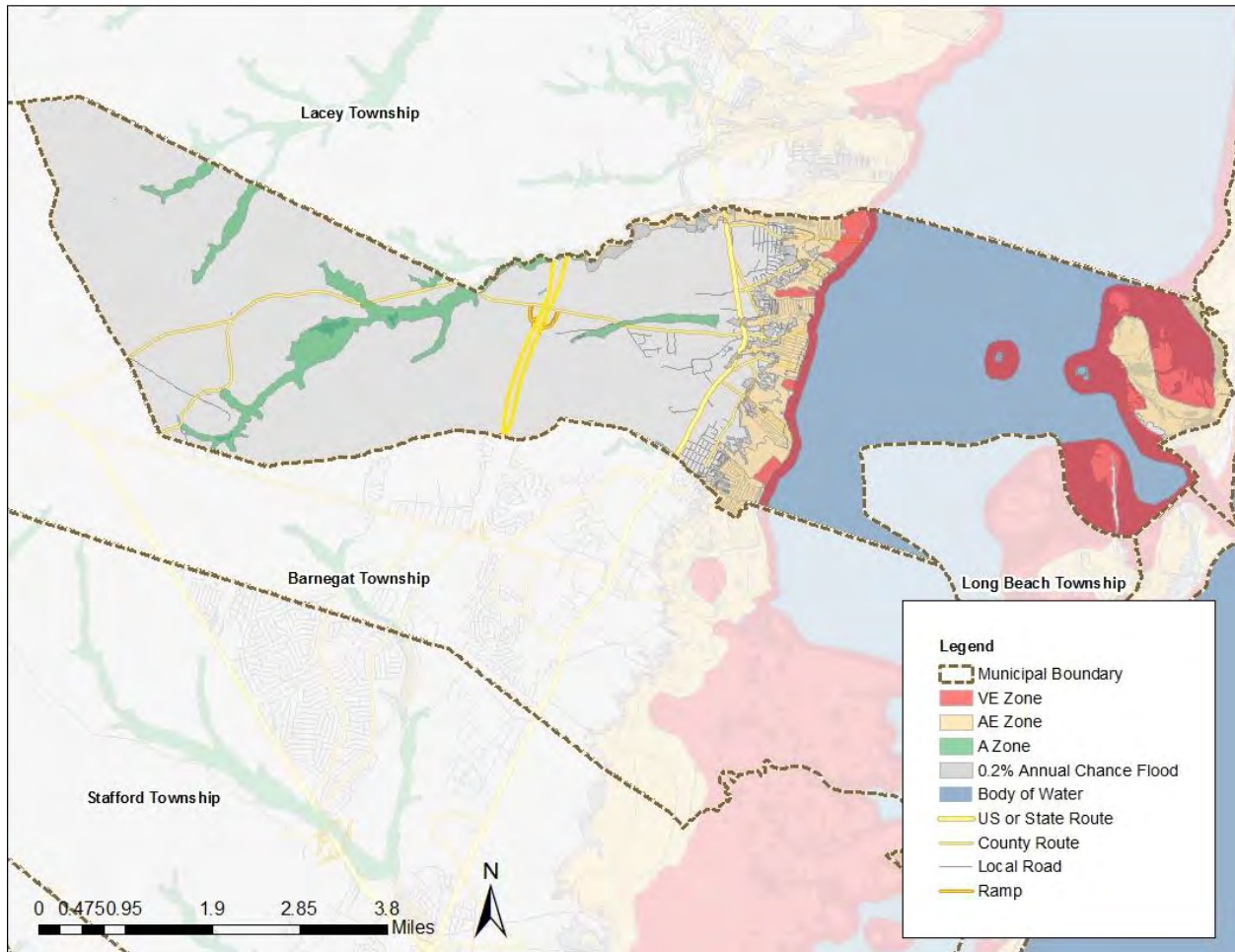


Figure 2. Preliminary FIRM

Flooding in Ocean Township generally takes place east of the Garden State Parkway, along the Barnegat Bay and Oyster Creek, with impacts most felt in the densely populated Bayfront neighborhoods. Land along the Barnegat Bay is vulnerable to erosion, which is often exacerbated by storm events.

Superstorm Sandy made landfall along the coast of New Jersey on October 29, 2012, causing major flooding and destruction. This event has become the storm of record (the highest flood recorded) for much of New Jersey and New York. Sandy surge elevations

were recorded by FEMA. Where available, Superstorm Sandy Surge Elevations were mapped throughout Ocean Township and surrounding communities. These maps can be found in Appendix G. In many parts of the Township, Sandy surge elevations are slightly lower than the Preliminary FIRM area in which they are located. If residents build to their required BFE, they should prevent some future flood occurrences.

Historical Flooding Events

Ocean Township is susceptible to flooding from the Barnegat Bay and has flooded repeatedly throughout time. Some of the major storm events that have affected the Township and the greater Ocean County area, causing flooding and damage in the Township of Ocean are:

- September 14 – 15, 1944: A category 2 hurricane passed within 47 miles of the coast of New Jersey in September 1944, producing wind velocities over 100 mph and a maximum tidal elevation of 7.4 feet at the gage in Sandy Hook.
- Hurricane Donna: On September 12, 1960 Hurricane Donna was classified as a Category 2 hurricane when it reached Ocean County. Wind speeds of up to 110 mph were recorded as was a maximum tidal elevation of 8.6 feet at Sandy Hook.
- The Ash Wednesday Storm: A nor'easter struck the coast of New Jersey lasting 3 days and 5 tidal cycles from March 6- 8, 1962 and causing massive amounts of destruction including 10 deaths in the state of New Jersey.
- Hurricane Belle: On August 9, 1976, Hurricane Belle impacted New Jersey as a Category 1 hurricane with wind speeds of up to 90 mph. In Asbury Park, 2.56 inches of rain was recorded as having fallen in a 24-hour period.
- March 1984: This nor'easter coincided with astronomically high tides and caused flooding, erosion, and damage to roads and boardwalks.
- Hurricane Gloria: On September 27, 1985, Hurricane Gloria came onshore in Long Island, NY as a Category 2 hurricane. The storm caused extensive power outages through New Jersey and forced people to be evacuated from their homes. However, coastal flooding was minimized as the peak storm surge arrived during low tide.
- The Perfect Storm: The Perfect Storm, also known as the Halloween Storm, was a nor'easter that caused coastal flooding on October 31, 1991.
- The Storm that Stole Christmas: A nor'easter struck the coast of New Jersey on December 11, 1992 and continued to impact the area through eleven (11) tidal cycles, causing extensive beach erosion and 3 to 5 ft. storm surge.

- Tropical Storm Floyd: Tropical Storm Floyd impacted New Jersey on July 16, 1999. Heavy rains coincided with high tide to exacerbate flooding. However, the greatest impacts were felt away from coastal areas in Bergen and Somerset Counties.
- Tropical Storm Irene: Tropical Storm Irene produced heavy rains from August 27-28, 2011, causing tidal flooding and beach erosion, making it the costliest storm in New Jersey after Hurricane Floyd prior to Superstorm Sandy.
- Superstorm Sandy: Superstorm Sandy made landfall in Brigantine on October 29, 2012, becoming the costliest natural disaster in the State of New Jersey and second only to Hurricane Katrina nationwide. The coastal areas of Monmouth and Ocean Counties were among the hardest hit with record breaking high tides and wave action. Many homes throughout the coastal communities were destroyed or impacted by severe flooding. All communities within Ocean County faced power outages, some lasting up to two (2) weeks.

Storms with Repetitive Loss

Using repetitive loss data provided by FEMA, seven areas in throughout Ocean Township were identified as being particularly prone to flood events. A repetitive loss property is classified as one which has experienced two or more claims of more than \$1,000 that have been paid by the National Flood Insurance Program (NFIP) within any 10 year period since 1978. To protect the privacy of homeowners, individual repetitive loss properties were not mapped, but rather a 200 foot buffer was created around each repetitive loss property and any parcel falling in that buffer was categorized as in an area generally affected by flooding. The Repetitive Loss Areas map can be found in Appendix H. The general areas are as follows:

- 1) The western edge of the Sands Point neighborhood along Oyster Creek;
- 2) The eastern edge of the Sands Point neighborhood along Oyster Creek;
- 3) The Holiday Harbor neighborhood along the Barnegat Bay;
- 4) The eastern edge point Hornblower Drive, along the Barnegat Bay;
- 5) The Bay Haven and Bryant Beach neighborhoods;
- 6) The Barnegat Beach neighborhood; and
- 7) The western portion of the Pebble Beach neighborhood.

The highest concentration of repetitive loss properties are located in the Sands Point neighborhood, Bay Haven and Bryant Beach neighborhood, and the Barnegat Beach neighborhood of the Township, which consists of many lagoons along the Barnegat

Bay. Numerous homes in this area were substantially damaged during Superstorm Sandy.

The average number of losses per repetitive loss property in Ocean Township is three (3). The average pay-out per loss for a repetitive loss property in the Township is \$30,119.69, with an average total pay-out per property of \$73,503.73 for all losses. The two storms prior to Superstorm Sandy which produced the majority of repetitive losses in Ocean Township were The Perfect Storm, or Halloween Storm, of October 31, 1991 and the winter storm of December 11, 1992. Both of these storms were nor'easters lasting through multiple tidal cycles. Flood events that have resulted in repetitive losses since 1978 include:

- Nor'easter: A nor'easter on March 29, 1984 caused over \$3 million in damage throughout the state. In Ocean Township, one (1) repetitive loss property filed a claim for this event.
- November 4, 1985: One (1) repetitive loss property in Ocean Township filed a claim for this flood event.
- July 13, 1991: One (1) repetitive loss property in Ocean Township filed a claim for this flood event.
- The Perfect Storm (The Halloween Storm): The Perfect Storm, also known as the Halloween Nor'easter, was a nor'easter that caused extensive damage along the east coast from North Carolina to Maine. It began on October 28th and lasted until November 1, 1991. On October 30, 1991, four (4) flood claims for repetitive loss properties were made in Ocean Township and nine (9) were made on October 31, 1991; totaling thirteen (13) claims for this event.
- "The Storm that Stole Christmas": The nor'easter of December 1992 caused massive coastal flooding and erosion. Hurricane force winds, a lunar eclipse, a full moon, and four inches of rain in 24 hours all contributed to the flooding. The strongest portion of the storm remained over New Jersey for several days, resulting in elevated surge levels through a number of tidal cycles. In Ocean Township, sixteen (16) flood insurance claims were made on repetitive loss properties on December 11, 1992, second only in number to Superstorm Sandy in 2012.
- Blizzard: A federal emergency declaration was declared for a blizzard from March 13, 1993 to March 17, 1993 in the State of New Jersey. Ocean Township had one (1) flood insurance claim for a repetitive loss property due to this event on March 13, 1993.
- On each of the following dates, one (1) flood insurance claim was made for a repetitive loss property in Ocean Township:

- July 23, 1993
- March 13, 1994
- May 10, 1998
- February 22, 2003
- June 30, 2005
- October 14, 2005
- October 21- 25, 2005: A total of four (4) flood insurance claims from repetitive loss properties were made over the course of these four (4) days in Ocean Township. One (1) claim was filed on October 21st, one (1) claim on October 23rd, and two (2) claims on October 25, 2005.
- September 2006: Due to a number of tropical storms and hurricanes forming in the Atlantic Ocean, one (1) flood insurance claim from a repetitive loss property was made in Ocean Township on September 2, 2006 and three (3) flood insurance claims from repetitive loss properties were made on September 15, 2006.
- May 12, 2008: One (1) flood insurance claim from a repetitive loss property was made for this event.
- Nor'easter: A nor'easter in mid- March caused severe storms and flooding in New Jersey. On March 13, 2010, five (5) flood insurance claims for repetitive loss properties were filed in Ocean Township, followed by one (1) on March 14, 2010; for a total of six (6) claims over two days in the Township.
- Tropical Storm Irene: Tropical Storm Irene caused flooding throughout the state of New Jersey. In the Ocean Township, a total of four (4) flood insurance claims were submitted for repetitive loss properties on August 28, 2011.
- Superstorm Sandy: Superstorm Sandy is the costliest storm to hit the state of New Jersey. It caused extensive damage and severe flooding throughout the state. Coastal Ocean County was one of the areas hardest hit by the storm with power outages in some areas lasting up to two weeks. A total of twenty-six (26) flood insurance claims were filed on repetitive loss properties during Superstorm Sandy in Ocean Township. On October 29, 2012, twenty-five (25) claims were filed, followed by one (1) claim on October 30th.
- August 13, 2013: One (1) repetitive loss property in Ocean Township filed a claim for this flood event.
- August 12, 2014: One (1) repetitive loss property in Ocean Township filed a claim for this flood event.

DESCRIPTION OF FUTURE EVENTS FOR OTHER HAZARDS

In addition to flooding, Ocean Township is susceptible to a number of other hazards. While the intent of this plan is to focus on flood hazards, it is important to identify and

recognize other hazards that impact the Township. Information on other hazards was taken from the 2014 Ocean County Multi-Jurisdictional All-Hazards Mitigation Plan.

Coastal Erosion

Coastal erosion occurs when more sediment is lost than is gained at a particular location. Coastal erosion can result from natural or man-made causes, including sea level rise, flooding, strong wave action or large storms, some types of shore protection structures, some land uses, and other alterations to the natural environment. Coastal erosion can occur gradually, as shorelines recede over a period of time or can be caused by a rapid recession of shoreline due to another hazard event. Erosion increases the vulnerability of near-shore structures to damage from storms and flooding events.

Ocean Township is susceptible to erosion along the Barnegat Bay. The impacts of coastal erosion can be lessened by implementing living shoreline techniques and undertaking a variety of shoreline protection measures.

Climate Change

Ocean Township will be affected by increasing sea levels along the Barnegat Bay. The effects of sea level rise will be more pronounced in low-lying, marshy areas of the Township and will exacerbate problems with flooding. Additionally, severe storm events are predicted to become more frequent as the climate warms. The impacts of climate change in the future will depend on the rate which sea level rises and human actions and response to the threats caused by climate change.

Drought

A drought is a period of low or no precipitation in a given area. The severity of the drought depends on the length of time, geographic reach, regional water supply demands, and the impact of other hazards, such as extreme heat. There is a low probability of severe drought conditions occurring in Ocean, due to Township's relatively low elevation and abundant groundwater supply; although short term, less severe droughts may be more likely. If extended drought conditions do occur in Ocean Township, the Township may be subject to restricted water usage and other regulations. Recent periods of drought in New Jersey include:

- October 1997
- 1998- 1999
- October 2001- 2002
- August- September 2008
- August to October 2010

Earthquake

The probability of a significant, damaging earthquake in Ocean Township is low. While low magnitude earthquakes do occur throughout New Jersey on a fairly regular basis, most earthquakes impacting Ocean Township will have only minor effects. The greatest probability of an earthquake occurrence in New Jersey exists in the northern portion of the State near the Ramapo Fault.

Extreme Temperature

Ocean Township is highly susceptible to both extreme heat and extreme cold events. The Ocean County Multi-Jurisdictional All-Hazards Mitigation Plan defines extreme heats as occurring when temperatures hover 10 degrees or more above the average high temperature for a region for several weeks. The plan defines extreme cold temperatures as well below the average level for an area during the winter and often coinciding with winter storm events. Long periods of extreme temperatures can overstress power supply systems, resulting in brown-outs or black outs and leaving residents without heat or air conditioning. Generally, the impact on humans of extreme temperature events is minimal, with the exception of the very young and elderly populations, who are more susceptible to the health impacts of extreme temperatures. If the population of Ocean Township continues to age, the vulnerability to extreme temperature events will increase. Improved weather forecasting, community warnings, and community preparedness can help to reduce the risks of extreme temperature events, as well as other hazard events such as flooding, to vulnerable populations.

Extreme Cold

Extreme cold events often accompany a winter storm or occur soon after. Prolonged exposure to the cold can cause frostbite or hypothermia. Recent periods of extreme cold in Ocean Township include:

- Jan 14- 29, 2003
- Jan 9-11, 2004
- Jan 16- 18, 2009
- Jan 23, 2014
- Jan 4, 7, & 22, 2014

Extreme Heat

Ocean Township is more likely to experience extreme heat than extreme cold events. Extreme heat events occur during the summertime when the weather in Ocean is

substantially hotter and/or more humid than the Township average for that time of year. Recent periods of extreme heat include:

- July 4- 11, 1999
- August 1-3, 2006
- June 7-10, 2008
- July 5-7, 2010
- July 21- 24, 2011
- July 17- 18, 2012
- July 18-19, 2013

The extent of extremely hot temperatures are typically measured through the Heat Index, which calculates the temperature that is felt when the effects or relative humidity are added to the base air temperature, highlighting dangerous extreme heat conditions.

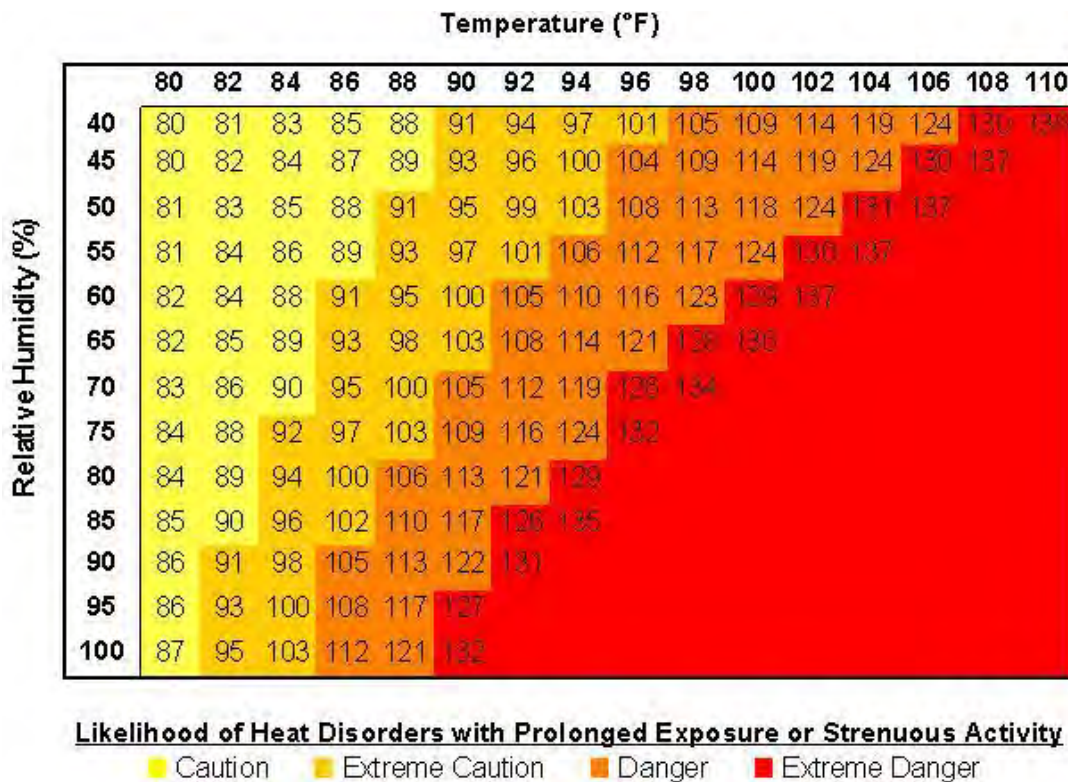


Figure 3. NOAA National Weather Service Heat Index

Extreme Wind

Extreme wind can occur alone or with other natural hazards, often occurring during thunderstorms. The impacts of extreme winds can be critical and can include flying debris and downed trees and power lines. The probability of future extreme wind events is high, with an average of 5- 10 extreme wind events occurring each year in the Central New Jersey region. Recent extreme wind events near Ocean County, New Jersey include:

- Thunderstorm on September 9, 1998
- Thunderstorm on August 7, 2000
- Thunderstorm on August 2, 2002
- Thunderstorm on July 22, 2003
- January 18, 2006
- Thunderstorm on August 17, 2007
- February 13, 2008
- March 5, 2008
- March 13, 2010
- Hurricane Irene, August 27- 28, 2011
- Superstorm Sandy, October 29, 2012

Hurricanes, Tropical Storms, & Nor'easters

Hurricanes, tropical storms, and nor'easters are events consisting of a number of damaging hazards including heavy precipitation, high winds, wave action, storm surge, coastal flooding, and coastal erosion. All of New Jersey, including the Township of Ocean Township, falls within the Hurricane Susceptible Region, and there is a 24- 36% chance of experiencing a tropical storm or hurricane event between June and November of any given year in Ocean County. Ocean County lies within a design Zone II, meaning that shelters and critical facilities should be designed to withstand a 3 second wind gust of up to 160 mph. Nor'easters generally occur during the winter months and are named after the wind direction of the storm. They tend to last for more than one tidal cycle, often generating flooding events. Severe storms that have impacted the Township of Rumson with flood damages were discussed in the Historical Flooding Events section of this document.

Lightning

Ocean Township is susceptible to lightning events, but not as much as other areas of the United States, particularly the Southeast. The probability of future lightning events in

Ocean Township is certain, however, lightning often occurs with other natural hazards, such as thunderstorms.

Storm Surge

All coastal areas are at high risk for storm surge. The severity of storm surge is generally related to the severity of the storm making landfall, as well as the tidal and lunar cycles.

Tornado

The probability of a tornado in Ocean Township is low. If a tornado is to occur, it is mostly likely to do so between March and August, forming in the late afternoon or early evening at the trailing edge of a thunderstorm.

Wave Action

All immediate coastal and shoreline areas along the Atlantic Ocean and Barnegat Bay are at risk from wave action. Waves are generally caused by wind and storm events, even those which remain offshore, and generally the more severe the storm, the more destructive waves become. Future occurrences of wave action will affect the areas of Ocean Township located along the Barnegat Bay in the coastal flood hazard zone.

Wildfire

Wildfires typically occur in unoccupied, rural, or forested areas and happen during the fall and spring when it is hot and dry. In New Jersey, 99% of wildfires are caused by human activity. The probability of wildfires occurring in the Pinelands is extremely high, as the Pinelands are categorized as Fuel Model B, which indicates a high hazard fuel. Ocean Township contains 8,501 acres of land within the Pinelands, or 64.4% of the Township's total land area. Therefore, the probability of wildfires occurring in the western portion of Ocean Township is high. Wildfires have occurred in the Pinelands of Ocean County on the following:

- Sept. 7-10, 1938
- April 15, 1977
- April 30, 2001
- May 1, 2001
- March 10, 2002
- February 19, 2011

Winter Storms

Although Ocean Township is located south of the typical boundary between freezing and non-freezing precipitation during the wintertime, there is a high probability of occurrence of winter storms in Ocean Township, with Coastal Ocean County averaging approximately 15 inches of snowfall annually. Winter storms generally occur from November through mid- April, with the peak season being December through March. Winter storms can consist of blizzards, heavy snow, sleet, and/or ice storms.

Winter storms can result in downed trees, damaged vegetation, transportation accidents, road closings, stranded travelers, power outages, and a depletion of heating supplies. They can cause major disruptions to transportation, commerce, and electrical power. Recent winter storm events that have impacted Ocean Township include:

- January 6-8, 1996
- February 16-17, 2003
- January 22, 2005
- February 17, 2007
- December 26, 2010
- November 7-8, 2012

SPECIAL FLOOD RELATED HAZARDS

There are many special localized situations in which flooding or flood-related problems do not fit the national norm for riverine and coastal floodplain management. These special flood-related hazards include:

Uncertain Flow Paths

Alluvial fans, moveable bed streams, channel migration, and other floodplains where the channel shifts during a flood are classified as uncertain flow paths. This hazards is not an issue in Ocean Township

Closed Basin Lakes

Lakes that have a small or no outlet that may stay above flood stage for weeks, months, or years are called closed basin lakes. This hazard is not relevant to Ocean Township.

Ice Jams

Ice jams, also known as ice dams, typically occur in late winter or early spring when a frozen river begins to thaw. Blocks of ice break free and can accumulate at bends in the

river, mouths of tributaries, or near structures such as bridge piers. The ice can restrict the flow of a river and cause flooding upstream. A flash flood type event can also occur downstream if the ice jam suddenly breaks free. Although the Barnegat Bay has been known to freeze in winter months, the threat of flooding from ice jams in the Ocean Township is low due to the width, depth and tidal nature of the rivers. However, there is a high likelihood of damage to structures such as bulkheads, docks and piles from floating ice.

Land Subsidence

Along the East Coast, land is sinking towards sea-level in a process known as subsidence. This will accelerate the impacts of sea level rise, causing actual water levels to be much higher than some predicted estimates.

Mudflow hazards

Mudflow hazards are identified as a river, flow, or inundation of liquid mud down a hillside, usually as a result of a dual condition of loss of brush over and the subsequent accumulation of water on the ground, preceded by a period of unusually heavy or sustained rain. This is not considered to be a threat in Ocean Township.

Coastal Erosion

This hazard was discussed in the previous section. It has a large impact on Ocean Township.

Tsunamis

Tsunamis are large ocean waves typically caused by an earthquake, landslide, or underwater volcano. Although Tsunamis are far more likely on the west coast, there are three DART (Deep-ocean Assessment and Reporting of Tsunamis) monitoring stations off the coast of New Jersey, near the Hudson Canyon.

V. PROBLEM ASSESSMENT

FEMA is currently in the process of updating the Flood Insurance Rate Map (FIRM) for Ocean Township. The Preliminary FIRM indicates that the perimeter of the Township along the Barnegat Bay and Oyster Creek is located within the Special Flood Hazard Area. There are no critical facilities located within the Special Flood Hazard Area in Ocean Township. A total of 1,537 residential properties and 40 commercial properties are located within the SFHA. Table 1 below indicates the total structures, properties and land area located within both the 100-year and 500-year floodplains. The table also shows the percentage of each category that is located within the 100-year floodplain to get a better understanding of how much of the Township is vulnerable to flooding.

Table 1. Floodplain Property Data

Item	Township Total	100-Year Floodplain	500-Year Floodplain ¹	100-Year + 500-Year Floodplain	Percent Located within the 100-Year Floodplain
Properties	10,197	2328	329	2657	22.83%
Land Area (acres) ²	12,975.44	2,404.24	258.53	2,662.77	18.53%

1. This does not include the area within the 100-year floodplain.
 2. Land area only includes land parcel areas. Waterways and roads are not included in this area.

Flooding generally occurs in Ocean Township as coastal flooding due to the Township’s location on the Barnegat Bay and along the Township’s borders, including Oyster Creek, Waretown Creek, Warrens Creek, and Lochiel Creek. Coastal flooding generally occurs along the Bayfront and in the backwater, intertidal areas along the creeks. Flooding can also be caused by the stormwater management system being overwhelmed by excessive rainfall, being undersized, or clogged. While none of Ocean Township’s critical facilities are located within the floodplain, it is important to be aware of their location in regards to flood hazard areas. A map showing the Township’s critical facilities and the Special Flood Hazard Areas can be found in Appendix I. The map also indicates which roads have potential for flooding during a 100- year flood event.

HAZARD IMPACT

Township residents and first responders are particularly vulnerable to the impacts of flooding in Ocean Township. Residents who live within the SFHA should be encouraged to take all necessary precautions to ensure their homes are safe from flood

hazards. Additionally, those residents who do not live within the SFHA, but live in areas which are known to flood should take similar precautions as their neighbors living within the SFHA. In addition to the possible damage to buildings and other infrastructure, there is the possibility of injury or even death to residents or responders who could get trapped in a flooded building or swept away in fast moving floodwaters. The Township and its residents must also be aware of the potential impacts to public health from flooding. Mold will quickly develop in many structures and cause respiratory issues for those attempting to rebuild. Debris from damaged and demolished structures could also contain hazardous materials such as mold, lead or asbestos. Early warning and evacuation, as well as making the necessary preparations to protect facilities from flooding, can protect the health and safety of residents and emergency workers and facilitate a rapid response and recovery from future flood events.

Many of the hazards to which Ocean Township is vulnerable generally occur concurrently with flooding. Areas that are susceptible to flooding will only increase in their vulnerability as impacts due to sea level rise become greater in the future. Homes which are not raised above the base flood elevation are particularly vulnerable to flood related hazards, as are areas prone to flooding but not located within the SFHA. Ocean Township should work with FEMA to ensure that all flood maps illustrate an accurate portrayal of flood risk within the community.

Repetitive Loss Areas were mapped throughout Ocean Township, as illustrated in Appendix H, with repetitive loss properties averaging three (3) losses per property. The highest concentration of repetitive loss properties are within the lagoon communities along the Barnegat Bay. A number of homes in these areas were substantially damaged during Superstorm Sandy.

Category 1, 2, & 3 SLOSH models for Ocean Township were run by the Jacques Cousteau National Estuarine Research Reserve (JCNERR) to estimate storm surge heights and wind resulting from historical, hypothetical, or predicted hurricanes. SLOSH is a computer model developed by the National Weather Service (NWS) and stands for Sea, Lake, and Overland Surge from Hurricanes. It is important to note that the SLOSH model does not include rainfall amounts, river flow, or wind-driven waves and accuracy is generally within 20% (NOAA).

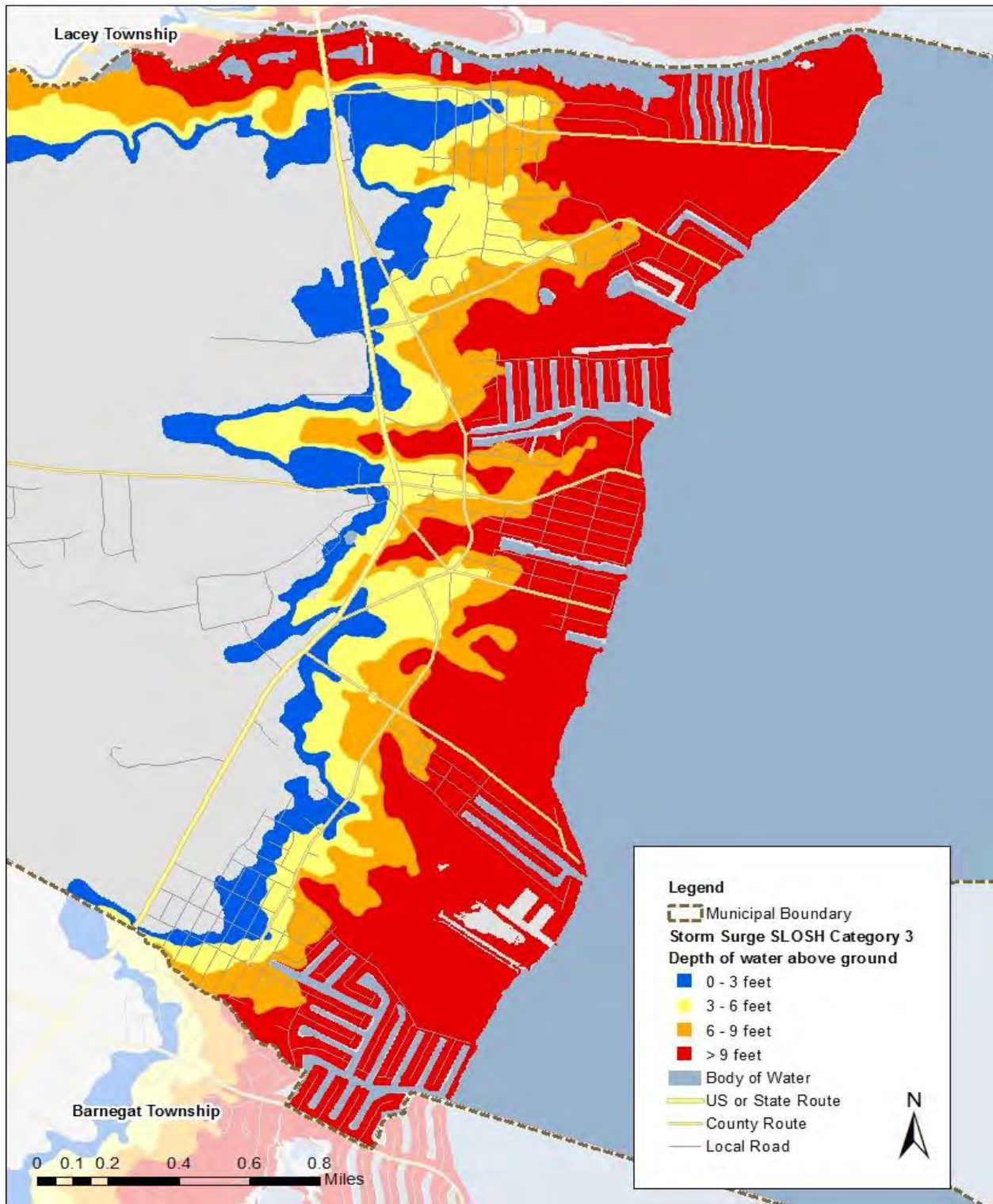


Figure 4. Category 3 SLOSH Model Map

As depicted in the maps found in Appendix J, during a Category 1 storm event storm surge would be above ground level along the Barnegat Bay and into the lagoon communities. During a Category 2 storm event, storm surge would further inundate the Township along the banks of the Barnegat Bay, with storm surge reaching over 9 feet in some waterfront areas. As shown above in Figure 4, a category 3 storm event would produce storm surge along all of the Township's shoreline, within inundation reaching Route 9 in most of the Township. Additionally, the entirety of the Bayfront and most of the lagoon neighborhoods would have surge levels over 9 feet in height.

The impacts of Sea Level Rise on Ocean Township were also analyzed by JCNERR. With a one foot increase in sea level rise, some small areas within the Bayfront lagoons would be underwater. Much of the tidal marsh will remain, however in these areas there would be slight uninhibited marsh retreat, as well as the loss of some land area from the sedge islands located off Island Beach State Park within the Township's boundaries. With two feet of sea level rise, water will further encroach on lagoons bordering the Barnegat Bay. Much of the tidal marsh will remain however there will be some areas of uninhibited marsh retreat in the more upland areas of the lagoon communities. Additionally, in a small portion of the sedge islands located off Island Beach State Park within the Township's boundaries, marsh will convert to open water. Three feet of sea level rise will further encroach on the land area bordering the Barnegat Bay. The impacts of sea level rise on the Barnegat Bayshore will be more severe neighboring municipalities than in Ocean Township. Much of the tidal marsh will continue to remain; however areas of uninhibited marsh retreat in the more upland areas of the lagoon communities will continue to expand westward. Additionally, in large portions of the sedge islands will convert from marshland to open water. Maps indicating Sea Level Rise and Marsh Retreat can be found in Appendix K & L respectively.

Ocean is a predominately residential community, and as such, much of the areas that will be affected by storm surge and/or sea level rise are residential areas. The eastern portion of the Township, near the Bayfront, contains some of the highest densities of single family homes throughout the community. This is also the area that is and will continue to be most impacted by storm and flooding events.

Due to the high build-out in the eastern portion of the Township and the Pinelands regulations in the west, there are not many viable options for major changes to zoning and development regulations. However, the Township should consider adopting stricter regulations to limit the impacts of flooding and protect those residents building in flood zones.

HISTORICAL DAMAGE

Superstorm Sandy caused the most damage of any storm in recent history. During Superstorm Sandy, Ocean Township experienced major impacts from wind, storm surge, and flooding. Entire neighborhoods along the bayfront were flooded. The storm exposed many of the Township's vulnerabilities, including that the land to the east of Route 9 is largely built-out and is the most flood prone area of the Township.

One census tract in Ocean Township contained homes which sustained severe or major damage as a result of Superstorm Sandy, with 10% of the homes in that tract sustaining severe or major damage. A total of 87 properties within the Township sustained substantial damage during the storm. A structure is considered substantially damaged when the total costs of restoring the structure to its before damaged condition would equal or exceed 50% of the structure market value. Most of these properties were located to the east of Route 9 along the Bayfront.

Residents of Ocean Township faced power outages for 14 days due to downed trees following Superstorm Sandy. The JCP&L electric substation on Route 9 by St. Stephen's Church went offline. In addition, many residents lost cell phone power, and Township personnel relied on radios for communication for three days following the storm. Entire neighborhoods in the Bayfront area faced damage from flooding, and the Township building and community center sustained roof damage due to heavy winds.

Superstorm Sandy also affected the Township's sewage pump stations, causing five pump stations to go offline due to damage from Superstorm Sandy. The pump stations that went offline were located at: the intersection of Bay Parkway and Dock Avenue, the intersection of Lighthouse Drive at Anchor Drive, the intersection of Marine Road and Lagoon View Road, 262 Bayshore Drive, and 225 Seneca Boulevard.

ECONOMIC IMPACTS

Due to the residential character of the Township, the majority of flood damage within Ocean has been, and will continue to be, to single family homes. The cost of flood damage to residential property is generally covered by insurance pay-outs and owner out of pocket expenses. The average flood insurance pay-out for a repetitive loss property within Ocean Township is \$30,119.69. If property owners can no longer pay their taxes or decide to abandon their property, there could be a potential impact on the tax base of the Township due to flooding events.

Impacts of flooding on businesses within Ocean Township would be realized mostly in the form of lost profits for times when they are not able to operate. Most of the businesses within the Township that are located within the flood zone are marinas and other marine related businesses. They may experience flood damage in addition to lost revenue. During Sandy many of these businesses were flooded. However, most have reopened their doors since.

The largest economic impact of flooding to the Township is the cost of debris removal, municipal facility repair, and personnel costs during the event. The impact of costs to the community would depend on the severity and longevity of the event as well as reductions in the tax base due to property loss or migration.

NATURAL FEATURES

Ocean Township is located entirely within the Pinelands and CAFRA regulatory areas, with lands to the west of the Parkway located in the Pinelands and lands to the east located in CAFRA. Much of the land to the west of the Parkway in the Pinelands region has been preserved and strict development regulations limit development in areas that have not been officially preserved. The Forked River Mountains are also located in the western portion of the Township. There are a number of County Natural Lands Trust Fund owned preserved lands throughout Ocean Township, with the largest holdings in the western portion of the Township. Wells Mills County Park is a 910 acres park located within the Township as well. The map below, and found in Appendix M, shows areas of natural features throughout the Township.

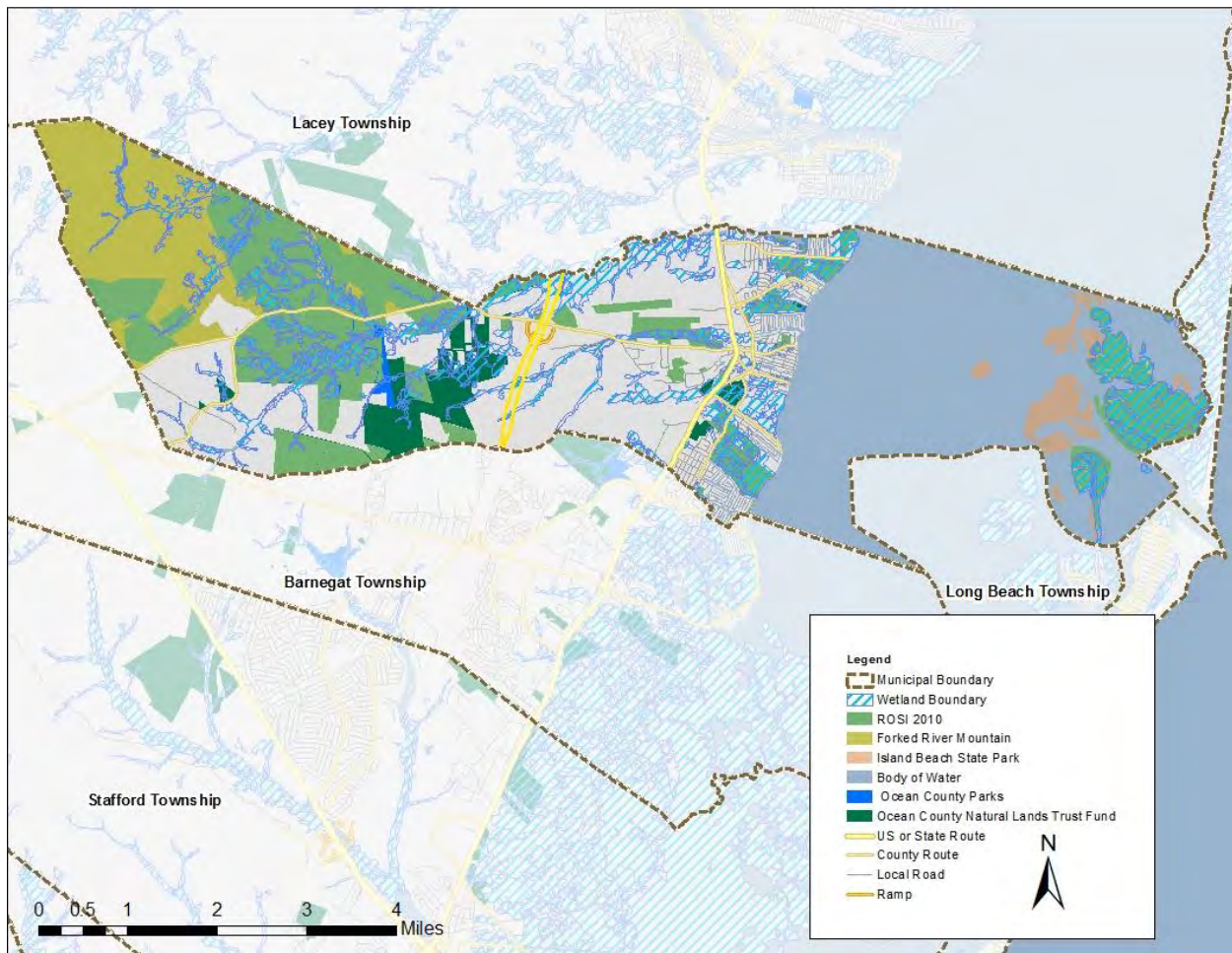


Figure 5. Natural Features

Much of the development within Ocean Township is located on the eastern side of the Parkway, along the Barnegat Bayfront. However, there are significant areas of natural space in the Bayfront Conservation districts. Additionally, Island Beach State Park is across the Barnegat Bay and acts like a natural buffer, protecting Ocean Township from storm surge and reducing the direct impacts of storm events.

Within the Bayfront Conservation Areas and along the bayside of Island Beach State Park there are many areas of natural wetlands, located in Ocean Township. These wetlands can help to help to store water and reduce the impacts of flooding on the surrounding areas.

FUTURE FLOODING IMPACTS

As previously indicated, there is little future development potential in Ocean Township due to the Pinelands regulations to the west and the built out nature of many of the

eastern lagoon communities. The Township should continue to enforce existing development standards, making changes where necessary to allow residents to rebuild to higher resiliency standards. The Township should continue to maintain and pursue open space acquisitions and encourage the use of living shoreline and green infrastructure techniques. This is critical to maintaining permeable surfaces and limiting stormwater runoff.

However, as sea level rises and marshes retreat, Ocean Township will become more vulnerable to impacts from flooding. The overall impacts of flooding on the community will be contingent on how effectively the Township mitigates current vulnerabilities and plans for future conditions. It is imperative that the Township utilize this Floodplain Management Plan as a valuable tool to plan for the future.

VI. GOALS

Over the course of the various Floodplain Management Plan Steering Committee meetings, the Committee discussed the goals that the Township would like to achieve with the Floodplain Management Plan to increase resiliency and mitigate future storm events. The following is a list of the goals agreed upon by the Committee:

1. Reduce loss from flood damage through codes and standards;
2. Educate decision makers and the public about stormwater management and floodplain management;
3. Coordinate and prioritize maintenance of the stormwater management system;
4. Protect existing properties by encouraging property owners to build higher than the base flood elevation;
5. Protect health and safety;
6. Improve the quality of life in Ocean Township;
7. Ensure that public funds are used in the most efficient manner.

VII. POSSIBLE FLOODPLAIN MANAGEMENT ACTIVITIES

As part of the planning process, all existing and potential floodplain management activities and measures to mitigate property damage and impacts to community infrastructure were reviewed. The benefits, costs and general feasibility of each action were considered prior to making a recommendation to proceed with the action. Many of the proposed activities coincide with actions recommended in the 2014 Ocean County Multi-Jurisdictional All Hazards Mitigation Plan and 2015 Master Plan Reexamination Report. All activities and measures have been grouped into the following six mitigation strategies: Preventative Measures, Property Protection, Natural Resource Protection, Emergency Services, Structural Projects and Public Information. The findings are as follows.

PREVENTATIVE MEASURES

Planning and Zoning

The Township of Ocean Township can develop Geographic Information Systems (GIS) to increase the community's resiliency and enable them to better prepare for, respond to and recover from disasters. The components of the GIS should support facilities and public works infrastructure, land information, and floodplain management-related data layers and applications. This will be done as part of Round 2 Post-Sandy Planning Assistance Grant program.

Open Space Preservation

There are significant open space holdings within the SFHA, including holdings owned by the U.S. Government as part of the Barnegat National Wildlife Refuge. There are other large tracts owned by the New Jersey Department of Environmental Protection and the Ocean County Natural Land Trust for natural land preservation. The Township should continue to support acquisitions made by the State, County, and land trusts for open space preservation. Residents looking to pursue buyouts through the Blue Acres or NRCS programs should be encouraged to do so.

Floodplain Regulations

A Stormwater Management Ordinance is in place in accordance with the Stormwater permit requirements and Pinelands requirements. Additionally, state regulation for coastal areas (CAFRA) freshwater wetlands, coastal wetlands, waterfront development

and dam safety as well as Flood Hazard regulations (formerly Stream Encroachment) are all in place. Ocean Township has a Stormwater Management Plan as required by the Township's general discharge permit.

Ocean Township will adopt a Floodplain Management Ordinance as an outcome of this plan. Additionally, zoning regulations affecting the residential districts within the Special Flood Hazard Area will be looked at as part of the Phase 2 Post-Sandy Planning Assistance Grant. The 2014 Ocean County Multi-Jurisdictional All Hazards Mitigation plan recommends that Ocean Township accept the FEMA Advisory BFE floodplain maps to support pro-active floodplain management to assist property owners in rebuilding at or above regulatory standards when the new floodplain maps become effective. Ocean Township has adopted the Advisory BFEs.

Erosion Setbacks

The Township of Ocean Township could adopt an erosion setback ordinance based on erosion rates along the Barnegat Bay. An erosion setback ordinance would reduce the need for erosion control structures along the shoreline, minimize property damage due to erosion, and maintain the natural shoreline dynamics. In order to maintain effective setback requirements, good scientific data must be used. Additionally, erosion rates change over time and would require a periodic reevaluation of the setback lines along the riverfronts.

Planning and Zoning

Most of the Township area within the SFHA is built out or zoned for conservation. Zoning amendments have been suggested as part of the Phase 2- Post Sandy Planning Grants to allow for rebuilding to the new BFEs in the older, built out, waterfront communities without the need for variances. Additionally, waivers for permits were extended to October 30, 2013 post- Sandy. The 2014 Ocean County Multi-Jurisdictional All Hazards Mitigation plan recommends that Ocean Township continue participation in the CRS program and consider upgrading to the next class level.

Stormwater Management

Ocean Township could adopt a recharge requirement for other than major developments.

Drainage System Maintenance

The public works department maintains the Townships storm sewers, ditches and outfalls in accordance with the stormwater pollution prevention plan.

Building Codes

Ocean Township has a Flood Damage Prevention Ordinance in place in accordance with the FEMA requirements. The 2014 Ocean County Multi-Jurisdictional All Hazards Mitigation plan recommends Ocean Township continue to enforce building codes to require building, renovations, and re-building meets or exceeds the Uniform Construction Code thus protecting homes from risk related to hazards including flooding, fire, wind, earthquake, and winter storm.

PROPERTY PROTECTION

Acquisition

Within Ocean Township, the main areas of flooding concern and therefore potential for acquisition are along the Bayfront. However, wholesale acquisition of properties within flood prone areas is not practical. Residents looking to pursue buyouts through the Blue Acres or NRCS programs should be encouraged to do so. If homes are to be acquired for floodplain protection, they should be done strategically, as selectively removing or relocating houses located throughout the Bayfront areas may isolate the remaining properties and would not reduce the need for municipal services. The 2014 Ocean County Multi-Jurisdictional All Hazards Mitigation plan recommends that one repetitive loss Bayfront home on Bryant Road be acquired and then the structures on the property removed from the floodplain permanently.

Relocation

The 2014 Ocean County Multi-Jurisdictional All Hazards Mitigation plan recommends relocating a streetlight at Bryant Road that is located near the bayfront on a repetitive loss property to maintain light for responders during flood related hazards.

Building Elevation

The Township of Ocean Township should require that newly constructed or substantial damaged buildings in SFHAs must comply with the most up-to-date base flood elevations.

The 2014 Ocean County Multi-Jurisdictional All Hazards Mitigation plan actions for Ocean Township include elevation projects for 203 homes to elevate and build to higher

standards that will mitigate impact of flood related hazards while maintaining residents in the community.

Retrofitting

The Township should make information available about different floodproofing techniques in the construction office and encourage the floodproofing of non-residential buildings within the floodzone that do not meet the new BFEs. Dry floodproofing is most applicable to commercial structures which already have a substantial structural design. Most flood prone houses within Ocean Township are of a frame design with open crawl space making flood proofing a difficult operation. Wet flood proofing is currently recommended where a non-residential building is below the base flood elevation.

The Township should also make sure elevation certificates are accurate and complete for all structures within the SFHA area as well as require elevation certifications prior to starting construction and after completion of work.

Flood Insurance

Ocean Township participates in the National Flood Insurance Program. Homeowners are encouraged to maintain flood insurance to protect against loss of structure and contents in case of flooding. The Township of Ocean Township can reduce the flood insurance rates for property owners by increasing their participating in the Community Rating System program. This plan is intended to gain points towards that program.

NATURAL RESOURCE PROTECTION

Wetlands Protection

There are many areas throughout the Township that contain wetlands. The wetlands are classified as deciduous wetlands, disturbed wetlands, herbaceous wetlands, managed wetlands, phragmites dominant wetlands and salt marshes. These wetlands provide the Township a vital asset during storms and floods. Not only do wetlands provide a natural buffer between buildings and the rivers, but they also slow the speed of surging floodwaters and provide an area for retention and recharge. State regulations through the NJDEP freshwater and coastal wetland permit programs are currently in place to limit development in these areas. The Township should continue to support and enforce these programs. The Township should also consider further

investigation of living shorelines to augment these areas and provide additional shoreline stabilization.

Erosion and Sediment Control

The Standards for Soil Erosion and Sediment Control in New Jersey are regulated by the New Jersey Department of Agriculture and locally enforced through the Ocean County Soil Conservation District. The Township should continue to support and enforce these standards for all applicable development.

Natural Area Preservation

Much of the land in Ocean Township along the bay is publically owned for conservation.

Natural Area Restoration

The Township could also implement living shoreline or other restoration projects for specific areas within the floodplain as needed.

Coastal Barrier Protection

There are a couple of small public and private bay beaches along the bayfront. There are no dunes associated with those beaches and most are less than 30 feet wide. Ocean Township extends to the mouth of Barnegat Bay and there are some islands that have small beach heads associated with them. These are uninhabited and controlled by the state of New Jersey as open space within the Island Beach State Park system.

Best Management Practices

Best Management Practices are techniques that have been developed to address the adverse impacts that result from unmanaged land development. These methods serve to control not only the storm water quantity but also the quality and groundwater recharge in order to mitigate the adverse effects on the hydraulic system and to replicate the natural run off patterns. Best management practices are mandated through the Township's Stormwater management Ordinance. These are in place.

EMERGENCY SERVICES

Hazards Warning

Ocean Township already alerts its residents to hazards through a Reverse 911 calling system. The Police and Fire Departments notify residents of emergencies via loudspeakers and an Emergency Broadcast System is utilized in Ocean County.

Hazards Response Operations

The 2014 Ocean County Multi-Jurisdictional All Hazards Mitigation plan recommends that Ocean Township undertake the following actions in regards to hazards response operations:

- Develop and implement Shelter Management Plans to mitigate the impact of hazards that require evacuation on residents.
- Continue CERT to improve outreach and community member capability for disaster mitigation, preparedness, response and recovery
- Continue “We Care” Program to look out for residents with special needs during emergencies. This program assists in getting the right information and assistance to community members who need additional assistance during a disaster and may not receive information effectively from other outlets.

Critical Facilities Protection

The municipal building, police department, fire and first aid and both Township schools are located outside of the 100 year floodplain.

Health and Safety Maintenance

The Police Department is primarily responsible, after flooding events, to patrol evacuated areas to prevent looting. Clearing streets and removing debris is performed through the Township Department of Public Works. Vaccinating of the residents would be handled by the Ocean County Health Department.

STRUCTURAL PROJECTS

Levees/ floodwalls

Levees and floodwalls are not considered a feasible method of protection because of the many inlets, lagoons, and backbay areas of the bay front. The 2014 Ocean County Multi-Jurisdictional All Hazards Mitigation plan recommends installing riprap along the shoreline to protect from erosion and flood related hazards.

Storm Drain Improvements

The Ocean Township Department of Public Works should be encouraged to be more proactive in cleaning, repairing, and upgrading storm sewer and other conveyance types such as ditches, as well as identify areas of ponding and other problem areas. Storm water structures should be upgraded if necessary and when possible.

PUBLIC INFORMATION

Map Information

Flood insurance rate maps are available for review in the Construction Office for residents who want to determine whether their property is in a flood zone. A log is kept of information provided to residents who come in to view maps or who call with questions. Mapping can be obtained from the FEMA website by inputting the address of the property of interest.

Outreach Projects

The Floodplain Management Plan Committee can set up a booth at local events. Additionally, information on flood hazards can be mailed out annually with tax bills. Depending on the information included on the pamphlets, this activity could be eligible for CRS credit. The 2014 Ocean County Multi-Jurisdictional All Hazards Mitigation plan recommends the following outreach actions for Ocean Township:

- Continue police outreach programs in schools to include children in outreach and improve families capability for disaster mitigation, preparedness, response, and recovery

- Continue Junior Police Academy Program to include youth in hazard related education and to support them in conducting effective, relevant outreach to community
- Continue “We Care” Program to look out for residents with special needs during emergencies. This program assists in getting the right information and assistance to community members who need additional assistance during a disaster and may not receive information effectively from other outlets.
- Maintain, improve, and expand education and awareness programs to provide effective and relevant information to community members

Real Estate Disclosure

Form is provided to local realtors approximately twice per year

Library

The Ocean County Library System should keep current FEMA publications on flooding. The Township should check the Waretown Branch to ensure all FEMA publications are up to date.

Technical Assistance

The construction office has several pamphlets and booklets concerning flood preparedness and the National Flood Insurance Program, flood venting, etc. It was discussed as a way to improve the dissemination of information that an additional information rack be placed at the Committee Room so the public would have enhanced access to the information available.

Environmental Education

To increase environmental awareness and knowledge of flood risks, the Township should coordinate with the Environmental Commission to raise awareness about environmental and flooding within the community.

VIII. ACTION PLAN

The previous chapter presented a wide range of possible floodplain management activities to address the goals established by the Floodplain Management Plan Steering Committee. This chapter presents an Action Plan that describes which activities should be implemented, who is responsible for implementing the activity, the deadline for completing the activity, the proposed budget and the funding source. The Committee realizes that there are many proposed activities, and that not all activities can be completed immediately based on available funds. The Township should initially focus on those projects that are economically feasible and will aid in the recovery and resiliency of the Township. The following priority levels were therefore established:

- High Priority – Activities in this category are critical to protecting the Township’s critical facilities and creating a more resilient community. The benefits of these activities far outweigh the costs. Funding for these projects is currently in place or there is the high likelihood for grant funds to be secured in the near future. It is recommended that the majority of these projects be completed prior to the next hurricane season.
- Medium Priority – Activities in this category are necessary to increase the Township’s resiliency and provide flood protection. Benefits outweigh the costs; however, funding has not yet been secured for those activities with physical improvements. The Township should continue to seek grants and other funding sources for these activities. It is recommended that these projects be completed in the next three years as funding becomes available.
- Low Priority – Activities in this category will mitigate hazard risks for the Township and are cost-effective. However, it is understood that these projects are not as critical as those identified as high or medium priority and that funding may be difficult to obtain for some of the larger construction projects.
- Ongoing – Activities in this category are required on a continuous or regular basis to be effective. These activities do not require special funds outside of the Township’s standard budget.

The following is the recommended Action Plan for the Township of Ocean:

PREVENTATIVE MEASURES

Action Item	Priority	Responsible Party	Target Deadline	Budget	Funding Source
Prepare a 5-year Capital Improvement Plan	High	Township Staff and T&M Associates	July 2015	\$30,000	NJDCA Grant (secured)
Create an automated and expedited system for zoning and construction permit administration	High	Township Staff and T&M Associates	July 2015	\$25,000	NJDCA Grant (secured)
Develop a Geographic Information System (GIS) Program	High	Township Staff and T&M Associates	July 2015	\$50,000	NJDCA Grant (secured)
Update Zoning Ordinances in the waterfront development districts as they relate to resiliency	High	Township Staff and T&M Associates	August 2015	\$12,500	Township General Funds
Continue to support open space preservation throughout the Township	Low	County, State, Federal, and nonprofit partners	Ongoing	Township Staff Time	TBD
Increase participation in the Community Rating System (CRS) Program	Medium	Township Staff	October 2015	Township Staff Time	Township General Funds
Enforce the Township Stormwater Management Plan & Ordinance	Ongoing	Planning, Zoning, Code Enforcement & Construction Departments	Ongoing	Township Staff Time	Township General Funds

PROPERTY PROTECTION

Action Item	Priority	Responsible Party	Target Deadline	Budget	Funding Source
Update the Township's Flood Damage Prevention Ordinance	High	Township Staff	August 2015	Township Staff Time	Township General Funds
Relocate a streetlight/utility pole at Bryant Road	High	Township Staff	December 2015	Township Staff Time	HMGP/Capital Funds
Acquire one repetitive loss bayfront home on Bryant Road and remove structures from the floodplain permanently.	High	Township staff	Ongoing	Township Staff Time	HMGP
Elevate 203 homes and build to higher standards	High	Township Staff	Ongoing	Township Staff Time	HMGP

NATURAL RESOURCE PROTECTION

Action Item	Priority	Responsible Party	Target Deadline	Budget	Funding Source
Continue to enforce NJDEP and soil erosion and sediment control standards for all development	Ongoing	Planning, Zoning, Code Enforcement & Construction Departments	Ongoing	Township Staff Time	Township General Funds

EMERGENCY SERVICES

Action Item	Priority	Responsible Party	Target Deadline	Budget	Funding Source
Develop and implement Shelter Management Plans to mitigate the impacts of hazards that require evacuation of residents	Medium	Township Staff	Ongoing	Township Staff Time	General Funds/Grant Opportunities
Continue CERT to improve outreach and community member capability for disaster mitigation, preparedness, response, and recovery	Medium	Township Staff	Ongoing	Township Staff Time	General Funds/Grant Opportunities
Continue “we care” program to look out for residents with special needs during emergencies. This program assists in getting the right information and assistance to community members who need additional assistance during a disaster and may not receive information effectively from other outlets.	Medium	Township Staff	Ongoing	Township Staff Time	General Funds/Grant Opportunities
Install emergency backup generators at Town Hall, The Department of Public Works, Construction and Zoning Office, and First-Aid	High	Township Staff/Contractor	December 2015	\$50,000	HMGP Grant
Install a SCADA system	High	Township Staff/Contractor	December 2016	TBD	Capital Budget/HMGP Grant
Allocate a place for debris removal	Medium	Township Staff/Contractor	December 2015	Township Staff Time	Township General Funds
Provide more radios for emergency communication	Medium	Township Staff/Contractor	Ongoing	TBD	Township General Funds/Grants Opportunities

STRUCTURAL PROJECTS

Action Item	Priority	Responsible Party	Target Deadline	Budget	Funding Source
Install riprap along the shoreline to protect from erosion and flood related hazards	Medium	Township Staff/Contractor	December 2017	\$250,000	Possible HMGP Grant
Storm drain and channel maintenance	Ongoing	Township Staff	Ongoing	Township Staff Time	Township General Funds

PUBLIC INFORMATION

Action Item	Priority	Responsible Party	Target Deadline	Budget	Funding Source
Implement the GIS program and make available to the public	High	Township Staff and T&M Associates	July 2015	Township Staff Time	Township General Funds
Continue police outreach programs in schools to include children in outreach and improve families capability for disaster mitigation, preparedness, response, and recovery	Low	Township Staff	Ongoing	Township Staff Time	Township General Funds
Continue Junior Police Academy Program to include youth in hazard related education and to support them in conducting effective, relevant outreach to community	Low	Township Staff	Ongoing	Township Staff Time	Township General Funds
Continue "We Care" Program to look out for residents with special needs during emergencies. This program assists in getting the right information and assistance to community members who need additional assistance during a disaster and may not receive information effectively from other outlets.	Low	Township Staff	Ongoing	Township Staff Time	Township General Funds
Maintain, improve, and expand education and awareness to provide effective and relevant information to community members	Low	Township Staff	Ongoing	Township Staff Time	Township General Funds

IX. PLAN IMPLEMENTATION & MAINTENANCE

This floodplain management plan is intended to be a dynamic document, adapting to changes in flood hazards and the needs of the Township of Ocean. The recommendations and actions identified in this plan should be implemented by the designated lead for each action item as funding and resources become available. Changes in future conditions and funding availability may determine the timeline for when some actions get implemented. As the plan is evaluated each year and updated every five, the goals and objectives of this plan should also be evaluated and revised as necessary.

The Township's CRS Coordinator will be responsible for monitoring the plan and ensuring that the floodplain management plan committee will meet at least once per year to aid with the yearly plan evaluation. The original members of the committee will remain, unless they wish to be replaced. Then a like representative will replace them. The committee will review the plan on annual basis to evaluate changes to hazard conditions, goals and objectives, and progress made towards objectives. The committee will identify any necessary changes or revision to the plan. The annual review will include:

- A review of the original plan;
- Identification of any flood, hurricane, or other disaster that has impacted Ocean since the last review;
- Review of action items from the original plan, including what has been accomplished;
- Discussion on why actions have not been completed;
- Where vulnerabilities have increased, identify why and what additional measures can be taken to decrease the vulnerability of that area to flood hazards;
- Recommendations for new projects or revised action items; and
- Survey of available resources to address action items.

This Floodplain Management Plan will be updated every five years and reviewed for CRS credit according to the CRS Coordinator's Manual in effect at the time. The 5-year update must include the following steps to retain CRS credit:

- The update must be conducted by a committee;
- A public meeting must be conducted to review and receive comments on the draft update;
- Review of new studies, reports, and technical information of the Township's needs, goals, and plans for the area;

- New floodplain or hazard mapping;
- Identification of additional repetitive loss properties or completed mitigation projects;
- Discuss any major flood or other disasters that have occurred since the plan was adopted;
- Any other changes in flooding conditions or development exposed to flooding or other hazards;
- Goals must be evaluated to determine if they are still appropriate;
- The action plan will be revised to account for projects that have been completed, dropped, or changed, and for changes in the hazard and problem assessments; and
- The update will be adopted by the Township's governing body.

Appendix A: Steering Committee Meeting Outlines

**Minutes – 4th Committee Meeting
Township of Ocean
Floodplain Management Plan Committee
Friday, April 10, 2015 (10:00 AM)
Municipal Complex Court Room**

Call to Order at 10:00 AM

Roll Call and Introductions

Diane Ambrosio
Renee Dronebarger
Adele Shaw
William Sneddon
John Petroselli
Patrick Jeffery
Christine Bell
Matt Ambrosio
Louis Fisher
George Thomas
Kevin Harnett

Discussion Items:

- Review of Draft FMP

The committee reviewed the draft FMP assembled by T&M Associates. Overall the plan was determined to be comprehensive and inclusive of the items discussed at the prior committee meetings and public meeting. The committee members were provided with a copy of the plan for review.

Committee Comments

The committee determined that they would independently review the FMP document and pending public comments at the second public meeting determine if a 5th committee meeting was required to implement the comments.

Adjourn

Meeting was adjourned at 10:35 AM

MINUTES PREPARED BY: Patrick Jeffery on April 13, 2015.

**Minutes – 3rd Committee Meeting
Township of Ocean
Floodplain Management Plan Committee
Friday, March 27, 2015 (10:00 AM)
Municipal Complex Court Room**

Call to Order at 10:05 AM

Roll Call and Introductions

Diane Ambrosio
Renee Dronebarger
Adele Shaw
William Sneddon
John Petroselli
Laurie Clune
Patrick Jeffery
Christine Bell
Matt Ambrosio
Louis Fisher
George Thomas
Kevin Harnett

Discussion Items:

- Discussion of Phase III Item(s)
 - Step 6: Set Goals
 - Goals should set the context for the subsequent review of floodplain management activities and drafting the action plan. They should incorporate or be consistent with other community goals for the affected areas. A multi-hazard mitigation plan should have goals that address all the major hazards that face the community.

The committee reviewed the goals established in the prior FMP, draft goals prepared by T&M Associates and sample goals provided in the CRS coordinators manual. The following goals were discussed:

- 1. Reduce losses from flood damage through codes and standards*
- 2. Coordinate and prioritize maintenance of the stormwater management system*
- 3. Educate decision makers and the public about stormwater management and floodplain management*
- 4. Protect health and safety of the public*
- 5. Protect existing properties by encouraging property owners to build higher than the base flood elevation.*
- 6. Improve the quality of life in Waretown*

Minutes – 3rd Committee Meeting
Township of Ocean
Floodplain Management Plan Committee
Friday, March 27, 2015 (10:00 AM)
Municipal Complex Court Room

7. *Ensure that public funds are used in the most efficient manner possible.*

- The points for this step are provided if the plan includes a statement of the goals of the community's floodplain management or hazard mitigation program. The goals must address all flood-related problems identified in Step 5.

The committee discussed the inclusion of the goals into the floodplain management plan.

- Step 7: Review Possible Activities

- At this step, the plan reviews different activities that could prevent or reduce the severity of the problems described in Step 5. This is a systematic review of a wide range of activities to ensure that all possible measures are explored, not just the traditional approaches of flood control, acquisition, and regulation of land use. The review, including the pros and cons of each activity, must be included in the plan document. Figure 510-4 lists some of the types of activities that could be reviewed under each of the six credited categories.

The committee reviewed the activities listed in the prior FMP as well as draft activities prepared by T&M Associates. The following were discussed:

Preventative Measures

Planning and Zoning

Open Space Preservation

Floodplain Regulations

Erosion Setbacks

Stormwater Management

Drainage System maintenance

Building Codes

Property Protection

Acquisition

Relocation

Building Elevation

Retrofitting

Flood Insurance

Natural Resource Protection

Wetlands

Natural Area Preservation

Coastal Barrier Protection

Emergency Services

Hazard Warnings

Minutes – 3rd Committee Meeting
Township of Ocean
Floodplain Management Plan Committee
Friday, March 27, 2015 (10:00 AM)
Municipal Complex Court Room

Hazard Response Operations
Critical Facilities Protection
Health and Safety Maintenance
Public Information
Mapping
Outreach
Real estate Disclosure
Technical Assistance
Environmental Education

- The range of activities should be evaluated for each area affected. While some of them may be quickly eliminated as inappropriate, most deserve careful consideration, especially to ensure full understanding of their costs and benefits.
The committee discussed the range of activities as well as their level of importance, cost and method of implementation. The notes were compiled on the draft activities document compiled by T&M Associates.

- Step 8: Draft an Action Plan
After the review of alternatives during Step 7, an action plan is drafted (Step 8) that selects and specifies those activities appropriate to the community's resources, hazards, and vulnerable properties. The community should strive for a balanced program, selecting measures from more than one category of floodplain management activity. In every case, the community should implement preventive activities both to keep its flood problems from getting worse and also to protect new construction from the effects of natural hazards. There is no requirement that a floodplain management plan identify expensive or massive structural flood control projects. The plan must include activities that the community can be assured will be implemented through its own resources. If outside funding support is needed for some projects, the funding sources should be identified and researched to ensure that the projects are eligible and the community has a chance of receiving the funds. Many of the activities could receive CRS credit once they are implemented. Note that 50% of the maximum credit for this planning step is a prerequisite for Class 4 or better communities.
The committee reviewed the action plan items prepared by T&M Associates assigning a priority level, determining a responsible party, a target implementation date, budget and funding source for each activity.

**Minutes – 3rd Committee Meeting
Township of Ocean
Floodplain Management Plan Committee
Friday, March 27, 2015 (10:00 AM)
Municipal Complex Court Room**

Overview of next committee meeting

Review Draft FMP (scheduled for April 10, 2015 at 10:00 AM)

Committee Comments

The committee discussed the 1st Public Meeting, noting that the meeting had strong attendance. Many of the public comments pertained to flood insurance rates and building codes. The comments reinforced the need for public education and outreach as discussed by the committee and as recommended in the draft FMP.

Adjourn

Meeting was adjourned at 10:50 AM

MINUTES PREPARED BY: Patrick Jeffery on March 30, 2015.

**Minutes – 2nd Committee Meeting
Township of Ocean
Floodplain Management Plan Committee
Friday, March 13, 2015 (10:00 AM)
Municipal Complex Court Room**

Call to Order at 10:00 AM

Roll Call and Introductions

Diane Ambrosio
Renee Dronebarger
Adele Shaw
William Sneddon
John Petroselli
Laurie Clune
Patrick Jeffery
Christine Bell
Matt Ambrosio
Louis Fisher
George Thomas
Kevin Harnett

Discussion Items:

- Discussion of Phase II Item(s)
 - Step 5: Assess the Problem
 - Overall Summary of Vulnerability to Hazards identified under Step 4 (Assess the Hazard), see meeting minutes (Meeting 1).

The committee reviewed and discussed hazards including Coastal Erosion, Drought, Climate Change, Earthquake, Hurricane, Extreme Temperature hot/cold, Wind, Tropical Storms, Nor'easters, Storm Surge, Tornado, Wildfires and Snow.
 - Description of the Impacts Identified in Step 4 (Assess the Hazard) have on the following:
 - Life safety and the need for warning and evacuating residents and visitors.

The committee discussed each of the events, any known occurrences in the past and how the community responded, including events requiring evacuation. Information was compiled for inclusion into the report. Wildfire and Hurricanes/Tropical Storms were discussed for their ability to affect evacuation routes.
 - Public health, including health hazards to individuals from flood waters and mold.

The committee discussed how hazard events affect public safety before and after a hazard event. It was discussed how education

Minutes – 2nd Committee Meeting
Township of Ocean
Floodplain Management Plan Committee
Friday, March 13, 2015 (10:00 AM)
Municipal Complex Court Room

of the public was paramount in minimizing the effects of these hazards.

- Critical facilities and infrastructure
The committee reviewed the critical facilities map. There are no major critical facilities within a flood hazard area.
- Community economy and major employers
The committee discussed the effects of a hazard, mainly a flooding event on the local community economy. The committee reviewed how Sandy affected local marinas and industry along the Bayfront including restaurants and industries which support the marinas.

- Number and types of affected buildings (Community Owned) within FHA, including status of insurance on each building. (see attached discussion summary for additional details).
The committee reviewed the data showing that there were approximately 10,197 properties within the Township of which 2,328 were within a FHA. There are 2,657 properties within the 100 year and 500 year floodplain. The floodplain manager for the Township was working on obtaining the NFIP claims data.

- Areas within the floodplain that provide natural functions (i.e. wetlands, riparian areas, sensitive areas, habitat for rare or endangered species).
The committee reviewed and discussed the natural functions mapping.

- Description of development, redevelopment and population trends.
The committee discussed the effects of increases in impervious coverage and the desire for people to live on or near the water. The Committee felt that Waretown was mostly developed, however; it was important to redevelop and grow utilizing stormwater management regulations that would not increase the severity of localized flooding events.

- Description of the impact of the future flooding conditions on people, property and natural floodplain functions.
The committee reviewed the various flood maps, including the SLOSH models prepared and compared them to the known flood limits from Sandy. The committee noted that implementation of best management practices regarding floodplain management was important to minimize future losses from potential larger/more intense future storm events.

Minutes – 2nd Committee Meeting
Township of Ocean
Floodplain Management Plan Committee
Friday, March 13, 2015 (10:00 AM)
Municipal Complex Court Room

Overview of next committee meeting

- Phase III – Mitigation Strategy: Step 6: Set Goals and Step:7 Review Possible Activities (scheduled for March 27, 2015 at 10:00 AM)

Committee Comments

Lt. Thomas indicated he would provided a listing of all business along the waterfront.

Adjourn

Meeting was adjourned at 10:55 AM

MINUTES PREPARED BY: Patrick Jeffery on March 16, 2015.

Minutes - 1st Committee Meeting
Township of Ocean
Floodplain Management Plan Committee
Friday, February 27, 2015 (1:00 PM)
Municipal Complex Court Room

Call to Order at 1:00 PM

Roll Call and Introductions

Diane Ambrosio
Renee Dronebarger
Adele Shaw
William Sneddon
John Petroselli
Laurie Clune
Patrick Jeffery
Christine Bell

Discussion Items:

- Flood Plain Management Plan/Community Rating System Overview
The committee reviewed the provided overview of the FPMP and CRS systems. The Committee reviewed the role of the CRS and how the FPMP impacts the community's rating and the benefits for a community to achieving the best possible rating. Benefits include a comprehensive FPMP which improves health, safety and the economic stability of the community as well as providing for reduced flood insurance premiums for residents.

- Review of Phase I Items:
 - Step 1: Organize
 - Review Committee Selection
The committee reviewed the listing of committee members as appointed by a Resolution Municipal Governing Body. The listing of members includes Township staff including representation from the Building Department, Public Works, Code Enforcement, Land Use/Planning, Emergency Management, Environmental Protection, Parks and Recreation, Administration, appointed professionals (Engineering and Planning), business owners, residents and other local stakeholders.
 - Select a Committee Chairperson
The committee determined that meetings will be chaired by Patrick Jeffery.
 - Step 2: Involve the Public
 - Review Committee Meeting Schedule
The schedule, as provided in the Meeting 1 handouts was approved.
 - Schedule 1st Public Meeting in an affected area

Minutes - 1st Committee Meeting
Township of Ocean
Floodplain Management Plan Committee
Friday, February 27, 2015 (1:00 PM)
Municipal Complex Court Room

The first public meeting will be on March 23, 2015 at the Waretown Community Center at 5:00 PM. The Township clerk will provide public notice of the meeting.

- Schedule 2nd Public Meeting to obtain public input on Plan
The committee will determine a second public meeting date as the draft of the plan is assembled.
- Step 3: Coordinate
 - Review existing FPMP
A copy of the current FPMP was provided to all committee members. A general overview was provided and committee members were instructed to review the plan and provide any comments at the next meeting.
 - Review existing Flood Control Ordinance
A copy of the current Flood Control Ordinance was provided to all committee members. A general overview was provided and committee members were instructed to review the ordinance and provide any comments at the next meeting.
 - Review existing and preliminary FIRM maps
The committee reviewed the most recent preliminary FIRM maps, discussing changes between the previous maps and currently proposed maps.
 - Discuss other sources of information/existing studies/reports
The committee reviewed the SLOSH mapping prepared by Rachael Sacatelli from the Rutgers University.
 - Discuss the community's needs, goals and plans for the area
The committee reviewed the current FPMP and discussed the ability to update the master plan as well as the FPMP based upon current land use practices as well as lessons learned from recent flooding events, such as Hurricane Sandy.
 - Review correspondence/coordination with agencies and organizations outside the community's governmental structure
The committee reviewed the listing of letters which were sent out to agencies and organizations outside the community's governmental structure. The committee made a suggestion that an additional letter be sent to JCP&L. A listing of letters sent out is provided in the Meeting 1 packet.
- Discussion of Phase II Item(s)
 - Step 4: Assess the Hazard
 - Assess the Flood Hazard
 - Review of Special Flood Hazard Area (SFHA) shown on the FIRM

Minutes - 1st Committee Meeting
Township of Ocean
Floodplain Management Plan Committee
Friday, February 27, 2015 (1:00 PM)
Municipal Complex Court Room

The committee reviewed the most recent preliminary FIRM Maps as well as GIS mapping showing the SFHA's with overlays such as the location of community structures/buildings and evacuation routes. Copies of the mapping are contained within the Meeting 1 packet.

- Review repetitive loss areas and data
The committee reviewed the repetitive loss data which was compiled into a mapping showing areas which had repetitive loss claims. The committee was asked to review the mapping and provide any comments which pertaining to the repetitive loss areas such as the age of the homes or other environmental factors which should have contributed to the repetitive claims.
- Discuss areas not mapped on the FIRM which have flooded in the past.
The committee reviewed the FIRM and determined that it was inclusive of areas known to flood.
- Identification of other flood studies
The committee reviewed the SLOSH mapping prepared by Rachael Sacatelli from the Rutgers University.
- Assessment of less-frequent flood hazards
 - Inventory of levees that could result in flooding if they were to fail
No levees were believed to be located within the Municipality.
 - Inventory of dams that could result in flooding if they were to fail
The committee noted two dams within Town. One located at Waretown Lake and the second located within the Wells Mills Preserve.
 - Identify flood hazards in Section 401 of the CRS Coordinators Manual as follows:
 1. Uncertain flow paths: alluvial fans, moveable bed streams, channel migration, and other floodplains where the channel shifts during a flood.
The committee reviewed flooding events and determined that there were no notable channel shifts during flood events. The community is impacted mostly by storm surges and tidal flooding. Many of the communities waterways are lagoons which are bulkheaded or contain other means of structural protection minimizing the ability for these structures to shift the footprint of a waterway during a flood. It was noted that bulkheads do overtop, however; this is typically a result of a surge resulting in a still water elevation encompassing a large area within the Municipality and did not result in a shift a natural stream channel.

Minutes - 1st Committee Meeting
Township of Ocean
Floodplain Management Plan Committee
Friday, February 27, 2015 (1:00 PM)
Municipal Complex Court Room

2. Closed basin lakes: lakes that have a small or no outlet that may stay above flood stage for weeks, months, or years.
None identified by committee members. Technical staff will review mapping to determine if any exist to be included in the FPMP.
 3. Ice jams: flooding caused when warm weather and rain break up a frozen river. The broken ice floats down river until it is blocked by an obstruction, such as a bridge or shallow area, creating a dam.
This was reviewed and noted to a rare occurrence, with no known knowledge of an event in recent history.
 4. Land subsidence: lowering of the land surface caused by withdrawal of subsurface water or minerals or by compaction of organic soils.
No known sources.
 5. Mudflow hazards: a river, flow, or inundation of liquid mud down a hillside, usually as a result of a dual condition of loss of brush cover and the subsequent accumulation of water on the ground, preceded by a period of unusually heavy or sustained rain.
The community has not experienced mudflow hazards to the best understanding of the committee members.
 6. Coastal erosion: areas subject to the wearing away of land masses caused primarily by waves on the oceans, Gulf of Mexico, and the Great Lakes.
The community contains a large number of areas which are subject to coastal erosion. These areas include bay frontage and lagoon frontages as well as flooding along the Oyster Creek, Lochiel Creek, Waretown Creek, Warrens Creek and sever other smaller unnamed waterways and marsh areas.
 7. Tsunamis: large ocean waves typically caused by an earthquake, landslide, or underwater volcano.
Although the community has not direct knowledge of tsunamis affecting the community, because of its location along the coast the community is susceptible to a Tsunamis although storm surges are a more common and recorded source for flooding.
- Identify the coastal A zone (wave heights of 1.5 to 3 feet during the 100-year storm)
The Coastal A Zone has been mapped and the committee reviewed the FIRM Maps and GIS Maps prepared by T&M Associates as provided in the Meeting 1 packet.
 - Map the areas affected
The areas discussed were mapped by the T&M Associates, copies of the mapping were provided in the Meeting 1 packet and reviewed by Committee members.

Minutes - 1st Committee Meeting
Township of Ocean
Floodplain Management Plan Committee
Friday, February 27, 2015 (1:00 PM)
Municipal Complex Court Room

- Summarize the Hazards in lay terms
The community discussed the hazards which include coastal flooding due to the Township's location on the Barnegat Bay as well as flooding from the noted creeks, streams and marsh areas within and surrounding the Municipality. The committee will review the Flood Plain Management Plan draft document to ensure it contains a lay description of the Hazards.
- Identify areas likely to be flooded and flood problems that are likely to worsen as a result of the following:
 - Changes to the floodplain development and demographics
The committee reviewed the SLOSH maps as well as the maps showing 1, 2 and 3 feet of seal level rise. As the Community becomes more developed the committee noted that more infrastructure and a larger percentage of the population will be located within a SFHA.
 - Development in the watershed
The committee discussed development within the watershed, including increasing impervious coverage. The committee noted that development was a cause of localized flooding and while it should be monitored, the sources of flooding causing the most hazard to the Township were from the Barneget Bay/Atlantic Ocean and local tidal streams, marshes and waterways which were tributary thereto.
 - Climate change or sea level rise
The committee reviewed the mapping showing the effects of sea level rise which would likely result in the loss of lands and placement of a larger percentage of the population and local infrastructure within a SFHA.
- Describe the magnitude, severity, history and probability of future events for other natural hazards including the following:
 - Earthquakes
The committee discussed the relatively low probability of earthquakes which pose a hazard to the township.
 - Wildfires
The committee noted that the Township, a large percentage of which is located in the Pinelands, has a high annual probability and susceptibility to wild fires. The committee noted recent fires within the past few years.
 - Tornados

Minutes - 1st Committee Meeting
Township of Ocean
Floodplain Management Plan Committee
Friday, February 27, 2015 (1:00 PM)
Municipal Complex Court Room

The community has a high annual probability, however potential for losses are generally limited with exception for extreme events.

In addition to the listed hazards the committee discussed Coastal Flooding, Tsunamis, Hurricanes and Tropical Storms, Winter Storms, High Wind Events and drought all of which were noted to be included in the Flood Plain Management Plan draft document.

Overview of next committee meeting

- Phase II – Step 5: Assess the Problem (scheduled for March 13, 2015 at 10:00 AM)

Committee Comments

No comments provided

Adjourn

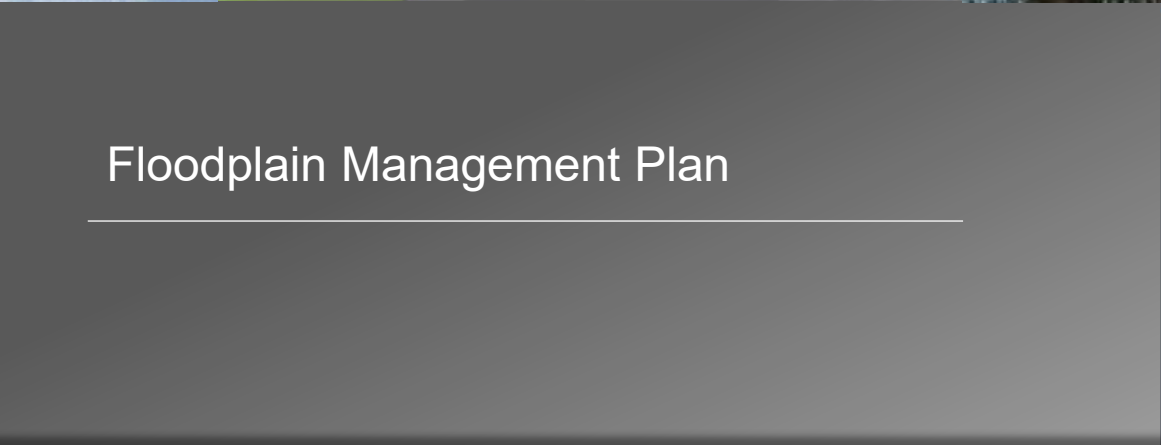
Meeting was adjourned at 2:15 PM

MINUTES PREPARED BY: Patrick Jeffery on March 6, 2015.

Appendix B: Public Meetings Information



**Township of Ocean
Floodplain Management Plan
2nd Public Meeting- April 20, 2015
Waretown Fire House
5:30 PM**



Floodplain Management Plan



Floodplain Management Plan Project Background



- Ocean Township was awarded a grant to update their Floodplain Management Plan (FMP) through the NJ Department of Community Affairs (DCA).
- The main objective of the FMP is to provide an overall strategy of programs, projects and measures that will reduce the impacts of hazards on the community and promote resiliency within flood hazard areas.
- The FMP provides the community with credits under the Community Rating System (CRS) which can lower flood insurance premiums within the community.
- One of the main goals of the FMP committee is to increase collaboration during the planning process to obtain input and comment from as many sources as possible.

Floodplain Management Plan Executive Summary



The Floodplain Management Plan is intended to:

- Identify and assess flood hazards within Ocean Township
- Establish goals and objectives for floodplain management
- To present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future.

Planning Process

Phase 1 – Planning Process

- Organize
- Involve the Public
- Coordinate

Phase 2 – Risk Assessment

- Assess the Hazard
- Assess the Problem

Phase 3 – Mitigation Strategy

- Set Goals
- Review Possible Activities
- Draft an Action Plan

Phase 4 – Plan Maintenance

- Adopt the Plan (scheduled May 2015)
- Implement, evaluate, revise

Phase 1 - Organize

Task 1 - Organize



Waretown's Floodplain Management Committee was formed by Township Committee Resolution 2015-91 and consists of the following members:

- Construction Official – Louis Fischer (*staff*)
- Municipal Clerk – Diane B. Ambrosio (*staff/resident*)
- Planning/Zoning – Laurie Clune (*staff/resident*)
- Code Enforcement – Renee Dronebarger (*staff*)
- Police/OEM – Lt. George Thomas or designee (*Staff*)
- Historical Society – Adele Shaw or designee (*Stakeholder*)
- Planning Board – William Sneddon (*Stakeholder/Resident*)
- Planning Board – Dan Collamer (*Stakeholder/Resident*)
- Zoning Board – John Petroselli (*Stakeholder/Resident*)
- Resident – Kevin Harnett (*Resident*)
- Resident – Chris West (*Resident*)
- DPW/Parks/Recreation – Matt Ambrosio (*Staff/Resident*)

Phase 1 - Organize

Task 2 – Involve the Public



- Committee contains both public and private stakeholders representing a range of interests and perspectives.
- Two public information meetings are scheduled (including this meeting)
 - March 23, 2015 (5:30 PM) Waretown Community Center
 - April 20th, 2015 (5:30 PM) Waretown Fire House
- FMP will be up for public comment and review at the before the Planning Board Meeting.
- Draft copy of the plan is posted on website. Update draft will be posted this week.
- Numerous outside agencies, groups, commissions, and adjacent municipalities were notified of the FMP and requested to provide input.

Phase 1 - Organize

Task 3 – Coordinate



Review of Existing Information

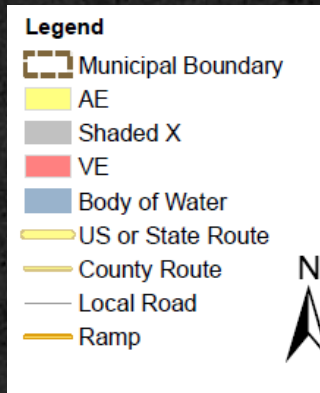
- Current FIRM Map
- Preliminary FIRM Map
- 1982 Master Plan
- 1999 Master Plan
- 2005 Master Plan
- 2005 Town Center Goals and Objectives
- 2006 Land Use Plan Element Amendment
- 2010 Emergency Operating Plan
- 2012 Floodplain Management Plan
- 2014 Strategic Recovery Planning Report
- Current Ocean Township Flood Control Ordinance
- Ocean County Hazard Mitigation Plan

Phase 2 – Risk Assessment

Task 4 – Assess the Hazard



ABFE Map



Phase 2 – Risk Assessment

Task 5 – Assess the Problem

Problem Assessment

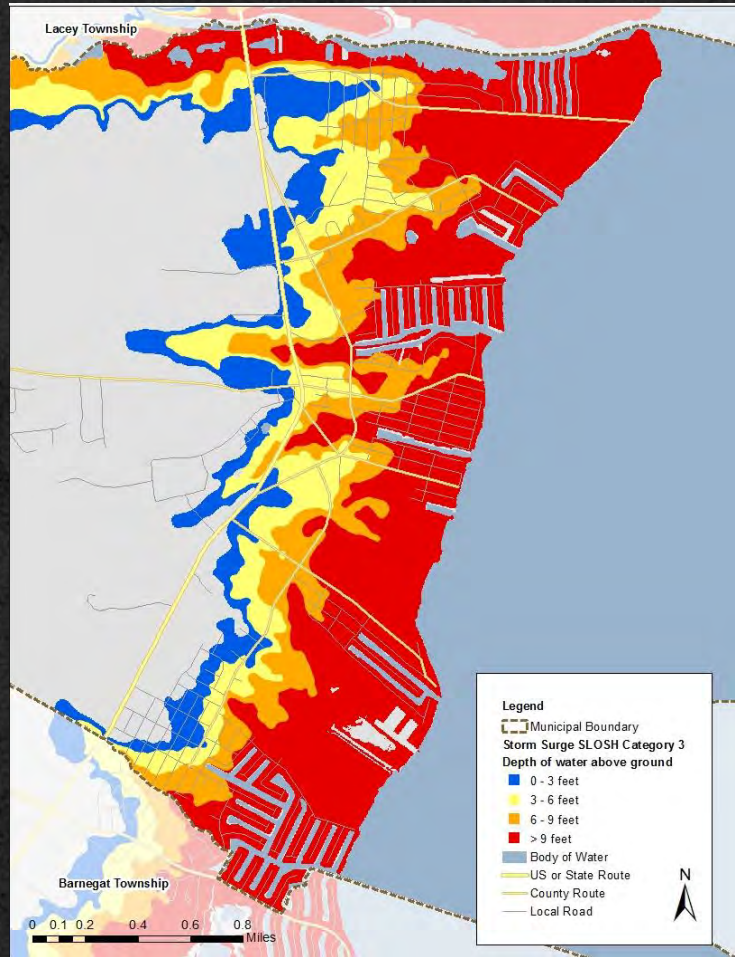
- ±10,200 properties total
- ±1,500 residential properties and 40 commercial properties within the SFHA
- Flooding generally occurs as a result of Coastal Flooding due to the Township's location on the Barnegat Bay.
- Localized flooding resulting from non-coastal events is also a consideration, although it has less potential to result in significant damage.
- Result of development, loss of natural flood storage, increase of impervious coverage.
- Critical facilities are outside of the floodplain

Hazard Impact

- Damage to property
- Damage to infrastructure
- Impact on emergency services
- Health Impacts (mold, lead, asbestos, etc...)
- Economic Impacts

Phase 2 – Risk Assessment

Task 5 – Assess the Problem



Storm Surge (SLOSH Category 3)

Phase 3 – Mitigation Strategy

Task 6 – Set Goals

Over the course of the various Floodplain Management Plan Steering Committee meetings, the Committee discussed the goals that the Township would like to achieve with the Floodplain Management Plan to increase resiliency and mitigate future storm events. The following is a list of the goals agreed upon by the Committee:

- Reduce loss from flood damage through codes and standards;
- Educate decision makers and the public about stormwater management and floodplain management;
- Coordinate and prioritize maintenance of the stormwater management system;
- Protect existing properties by encouraging property owners to build higher than the base flood elevation;
- Protect health and safety;
- Improve the quality of life in Ocean Township;
- Ensure that public funds are used in the most efficient manner.

Phase 3 – Mitigation Strategy

Task 7 – Activities

Preventative Measures

- Develop GIS to increase resiliency and enable for better preparation and planning
- Preserve Open Space
- Review/Update Stormwater Management Ordinance
- Review/Update Flood Control Ordinance
- Erosion Setback Ordinance (along Barnegat Bay)
- Zoning Amendments/Building Code Updates
- Maintain/Update Stormwater Infrastructure

Property Protection

- Acquisition (Blue Acres, NRCS programs)
- Relocation
- Adjusting Building Codes/Elevation Requirements
- Flood Insurance (encourage participation)

Natural Resource Protection

- Wetlands
- Erosion and Sediment Control
- Barnegat Bay

Emergency Services

- Hazard Warnings
- Hazard Response Operations
- Critical Facilities Protection/Relocation
- Health and Safety Maintenance

Structural Projects

- Stormwater Infrastructure Maintenance/Improvements

Public Information

- Mapping
- Outreach

Phase 3 – Mitigation Strategy

Task 8 – Action Plan

PREVENTATIVE MEASURES					
Action Item	Priority	Responsible Party	Deadline	Budget	Funding Source
Prepare a 5-year Capital Improvement Plan	High	Township Staff and T&M Associates	July 2015	\$30,000	NJDCA Grant (secured)
Create an automated and expedited system for zoning and construction permit administration	High	Township Staff and T&M Associates	July 2015	\$25,000	NJDCA Grant (secured)
Develop a Geographic Information System (GIS) Program	High	Township Staff and T&M Associates	July 2015	\$50,000	NJDCA Grant (secured)
Update Zoning Ordinances in the waterfront development districts as they relate to resiliency	High	Township Staff and T&M Associates	August 2015		Township General Funds
Continue to support open space preservation throughout the Township	Low	County, State, Federal, and nonprofit partners	Ongoing	Township Staff Time	TBD
Increase participation in the Community Rating System (CRS) Program	Medium	Township Staff	October 2015	Township Staff Time	Township General Funds
Enforce the Township <u>Stormwater Management Plan & Ordinance</u>	Ongoing	Planning, Zoning, Code Enforcement & Construction Departments	Ongoing	Township Staff Time	Township General Funds



Phase 4 – Plan Maintenance

Adopt Plan

- Please submit comments to pjeffery@tandmassociates by Friday, May 1, 2015.
- Ocean Township Planning Board meeting to adopt plan: May 7, 2015
- Update Plan will be posted to Township website prior to final Adoption.





**Township of Ocean
Floodplain Management Plan
1st Public Meeting – March 23, 2015
Ocean Township Community Center
5:30 PM**



Floodplain Management Plan



Floodplain Management Plan Project Background



- Ocean Township was awarded a grant to update their Floodplain Management Plan (FMP) through the NJ Department of Community Affairs (DCA).
- The main objective of the FMP is to provide an overall strategy of programs, projects and measures that will reduce the impacts of hazards on the community and promote resiliency within flood hazard areas.
- The FMP provides the community with credits under the Community Rating System (CRS) which can lower flood insurance premiums within the community.
- One of the main goals of the FMP committee is to increase collaboration during the planning process to obtain input and comment from as many sources as possible.

National Flood
Insurance Program
NFIP

- NFIP provides Federally backed flood insurance within a participating communities which enact and enforce floodplain regulations
- Through the Community Rating System, communities are rewarded for taking measures and enacting programs which reduce flood damage to existing buildings, manage development outside of flood hazard areas, protect new buildings beyond the minimum standards, etc



Community Rating System (CRS)

- Goals

- Reduce and avoid flood damage to insurable property.
- Strengthen and support the insurance aspects of the NFIP.
- Foster comprehensive floodplain management.

- Benefits of Participation

- Development of a stronger and more resilient community.
- Discounts on flood insurance for residents.



Community Rating System (CRS)

Table 110-1. CRS classes, credit points, and premium discounts.

CRS Class	Credit Points (cT)	Premium Reduction	
		In SFHA	Outside SFHA
1	4,500+	45%	10%
2	4,000–4,499	40%	10%
3	3,500–3,999	35%	10%
4	3,000–3,499	30%	10%
5	2,500–2,999	25%	10%
6	2,000–2,499	20%	10%
7	1,500–1,999	15%	5%
8	1,000–1,499	10%	5%
9	500–999	5%	5%
10	0–499	0	0

Ocean Township is currently a 6



Community Rating System (CRS)

Table 110-2. Credit points awarded for CRS activities.

Activity	Maximum Possible Points ¹	Maximum Points Earned ²	Average Points Earned ³	Percentage of Communities Credited ⁴
300 Public Information Activities				
310 Elevation Certificates	116	116	45	100%
320 Map Information Service	90	70	50	93%
330 Outreach Projects	350	175	72	89%
340 Hazard Disclosure	80	57	19	71%
350 Flood Protection Information	125	98	39	92%
360 Flood Protection Assistance	110	85	49	41%
370 Flood Insurance Promotion ⁵	110	0	0	0%
400 Mapping and Regulations				
410 Floodplain Mapping	802	585	64	50%
420 Open Space Preservation	2,020	1,548	463	70%
430 Higher Regulatory Standards	2,042	784	213	99%
440 Flood Data Maintenance	222	171	87	89%
450 Stormwater Management	755	540	107	84%
500 Flood Damage Reduction Activities				
510 Floodplain Mgmt. Planning	622	273	167	46%
520 Acquisition and Relocation	2,250	1,701	165	24%
530 Flood Protection	1,800	632	45	12%
540 Drainage System Maintenance	570	449	212	77%
600 Warning and Response				
610 Flood Warning and Response	395	353	129	37%
620 Levees ⁵	235	0	0	0%
630 Dams ⁶	160	0	0	0%

Community Rating System (CRS)

Table 510-1. Planning steps for mitigation and for the CRS.

Multi-hazard Mitigation Planning	CRS	Maximum
Phase I – Planning process		
§201.6(c)(1)	1. Organize	15
§201.6(b)(1)	2. Involve the public	120
§201.6(b)(2) & (3)	3. Coordinate	35
Phase II – Risk assessment		
§201.6(c)(2)(i)	4. Assess the hazard	35
§201.6(c)(2)(ii) & (iii)	5. Assess the problem	52
Phase III – Mitigation strategy		
§201.6(c)(3)(i)	6. Set goals	2
§201.6(c)(3)(ii)	7. Review possible activities	35
§201.6(c)(3)(iii)	8. Draft an action plan	60
Phase IV – Plan maintenance		
§201.6(c)(5)	9. Adopt the plan	2
§201.6(c)(4)	10. Implement, evaluate, revise	26
Total		382

Phase I

Step 1: Organize

Waretown's Floodplain Management Committee was formed by Township Committee Resolution 2015-91 and consists of the following members:

Construction Official – Louis Fischer (*staff*)

Municipal Clerk – Diane B. Ambrosio (*staff/resident*)

Planning/Zoning – Laurie Clune (*staff/resident*)

Code Enforcement – Renee Dronebarger (*staff*)

Police/OEM – Lt. George Thomas or designee (*Staff*)

Historical Society – Adele Shaw or designee (*Stakeholder*)

Planning Board – William Sneddon (*Stakeholder/Resident*)

Planning Board – Dan Collamer (*Stakeholder/Resident*)

Zoning Board – John Petroselli (*Stakeholder/Resident*)

Resident – Kevin Harnett (*Resident*)

Resident – Chris West (*Resident*)

DPW/Parks/Recreation – Matt Ambrosio (*Staff/Resident*)



Phase I

Step 2: Involve the Public

- Conduct the planning process through the FMP Committee
- Hold Public Meetings to gain public input on natural hazards, problems, possible solutions and eventually to review the FMP.

Phase I

Step 2: Coordinate

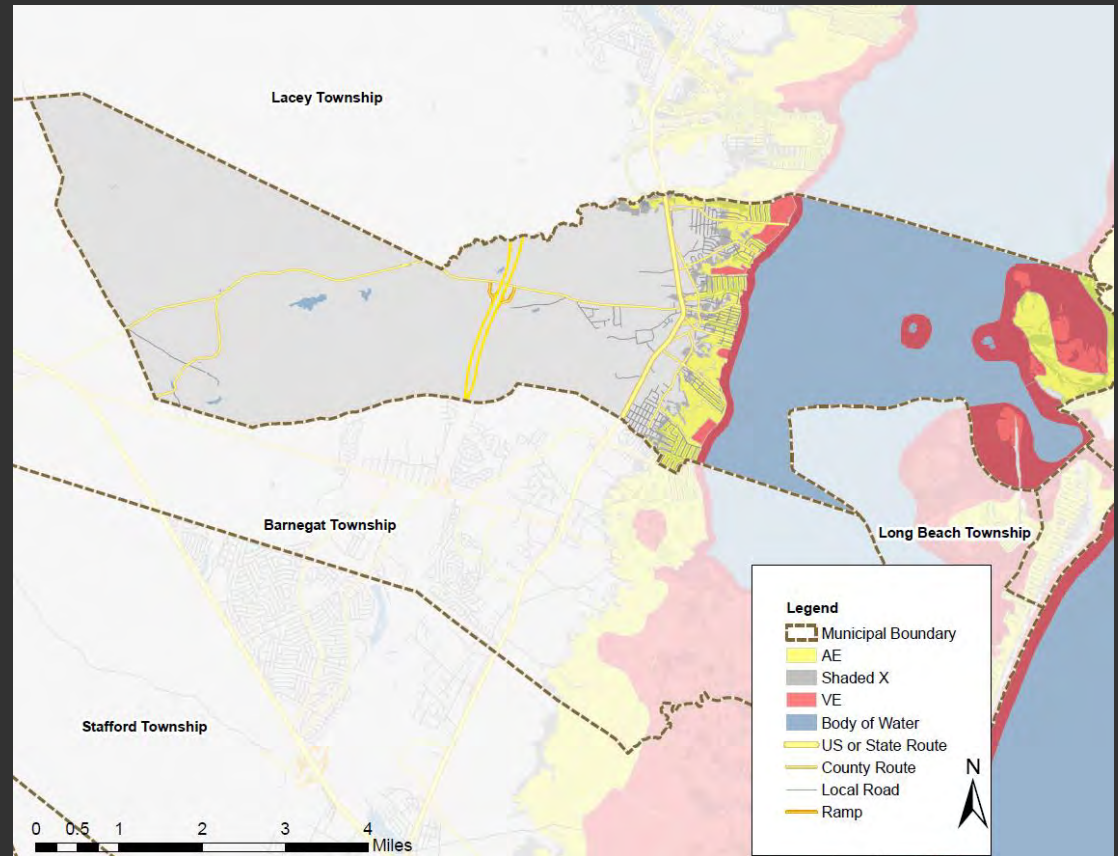
- Review of existing studies, reports and technical information:
 - Current Municipal FMP
 - Current Flood Control Ordinance
 - FEMA/Other Mapping
- Coordinate with agencies and organizations outside the community's governmental structure

Phase II

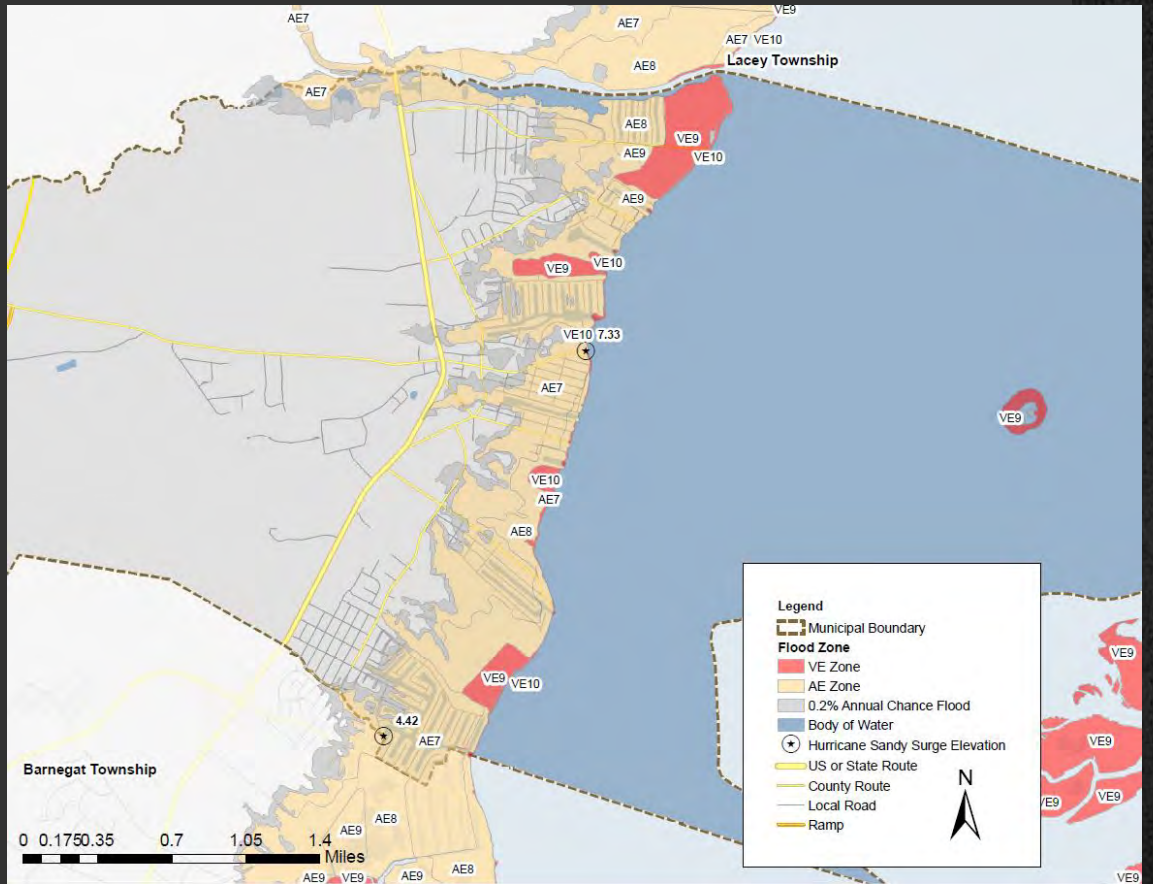
Step 4: Asses the Hazard

- Current Flood Hazards
- Review of Special Flood Hazard Areas
- Areas not Mapped on the FIRM which have flooded in the past
- Other Flood Studies (SLOSH)
- Dams/Levees that could result in flooding were they to fail
- Other Hazards:
 - Tsunamis
 - Ice jams
 - Earthquakes
 - Wildfires
 - Tornados/Wind Storms
 - Development within the watershed
 - Climate Change/Sea Level Rise

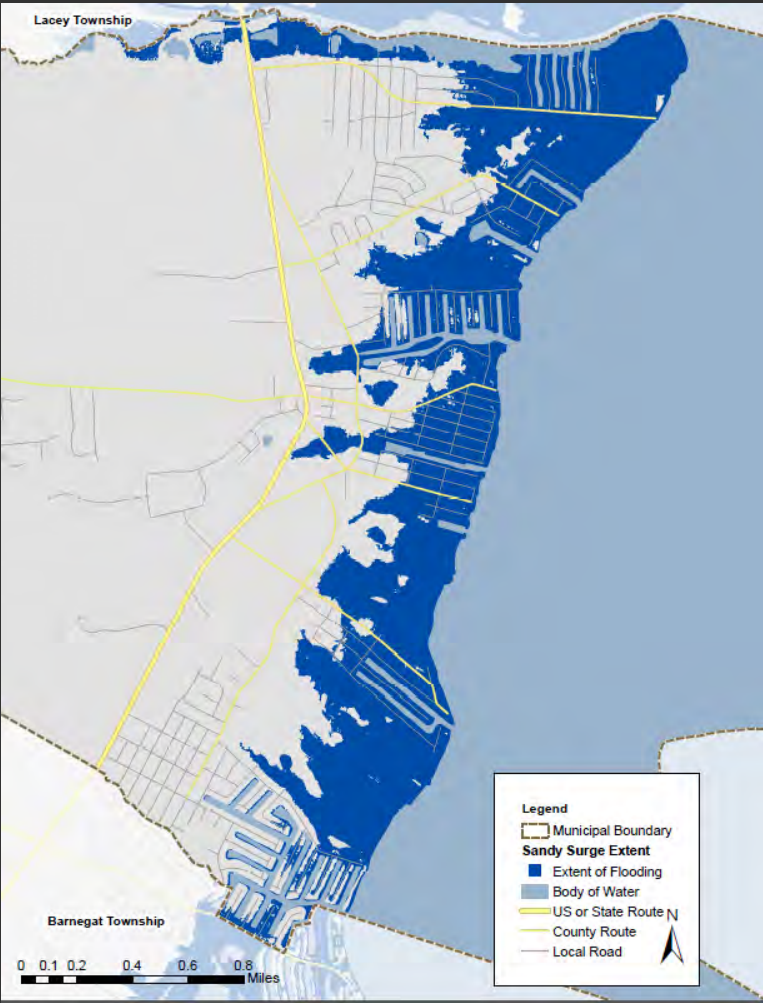
FEMA ABFE Data



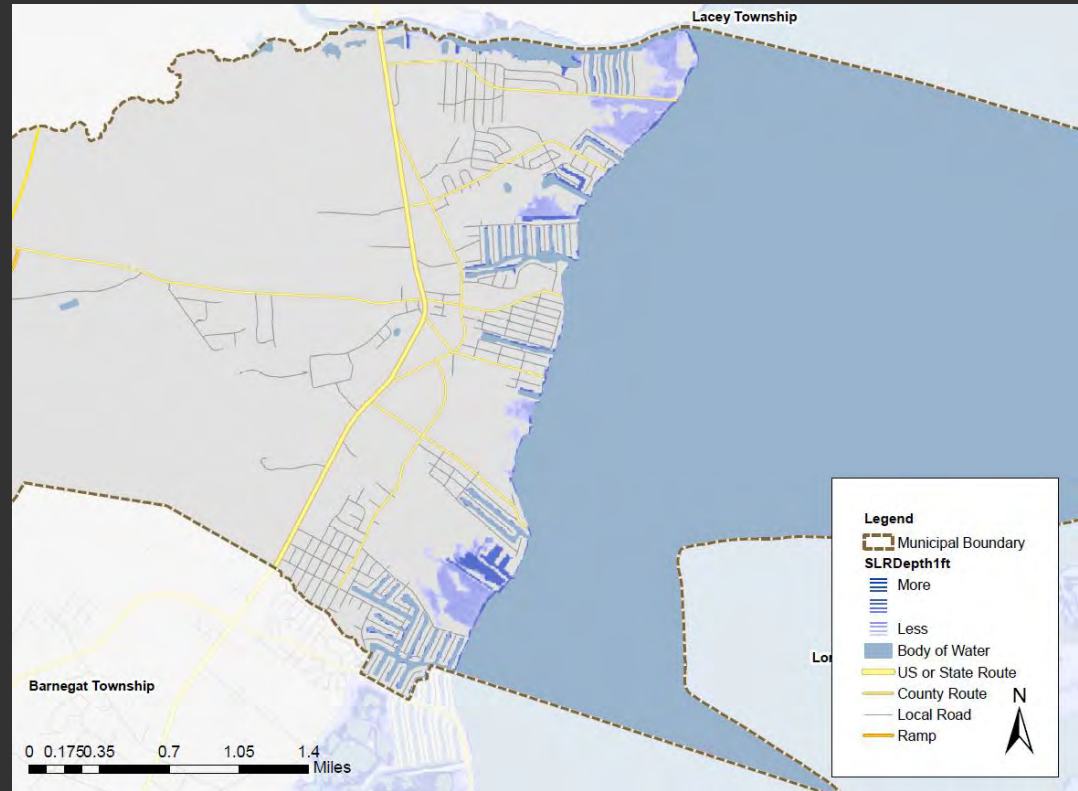
SANDY Surge Elevations



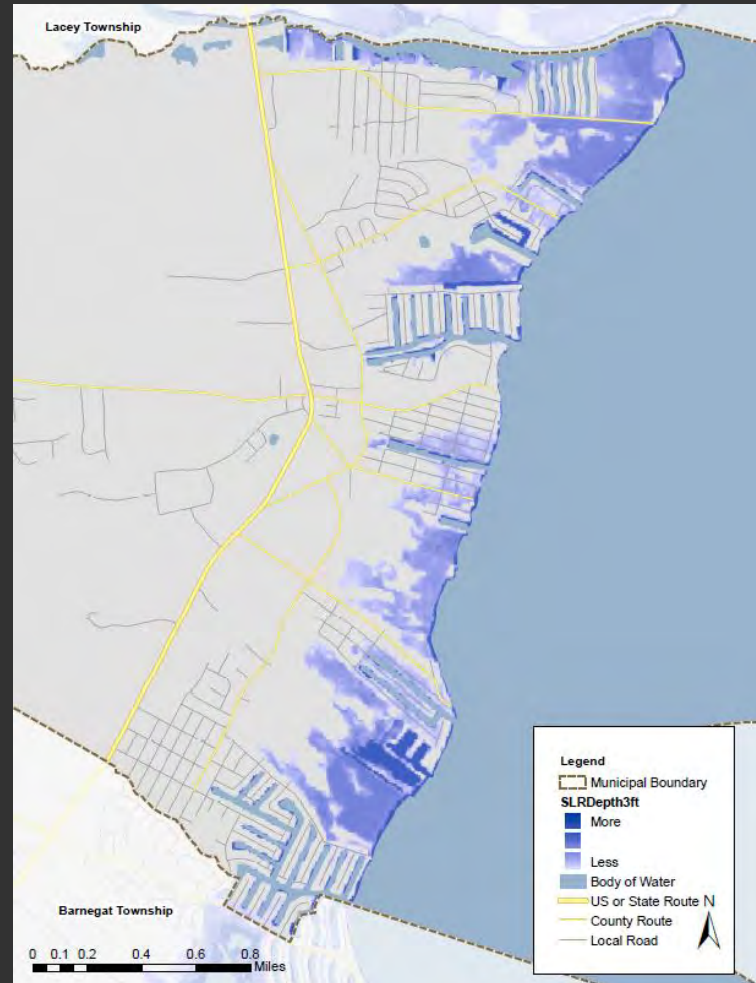
SANDY Surge Extent



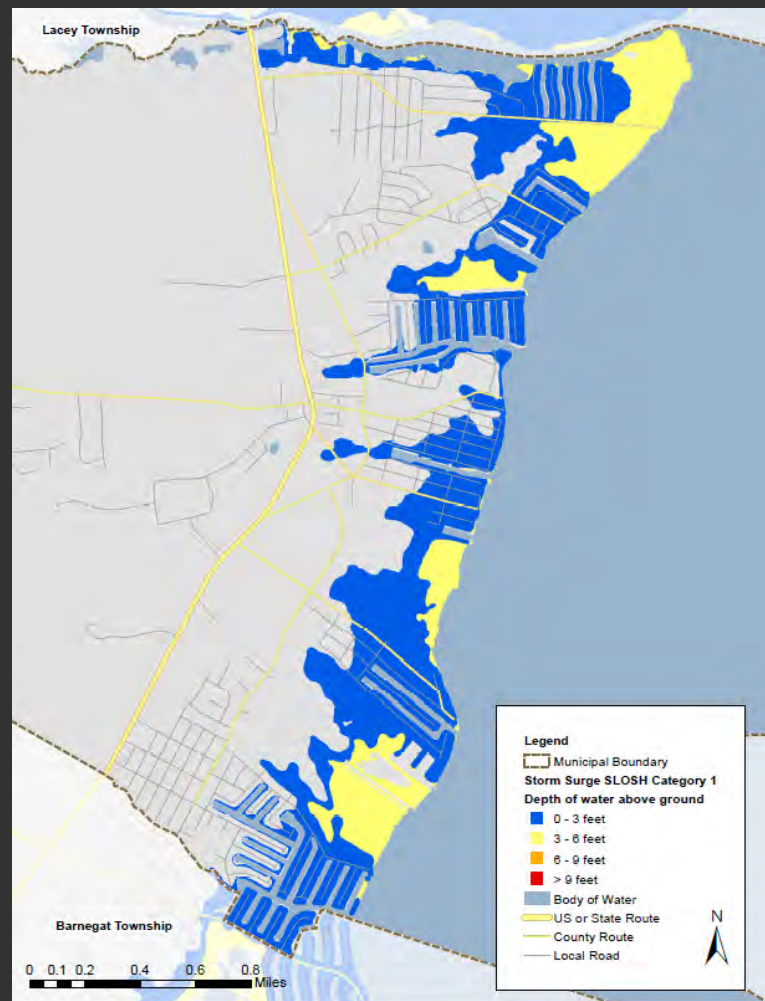
Sea Level Rise 1 Foot



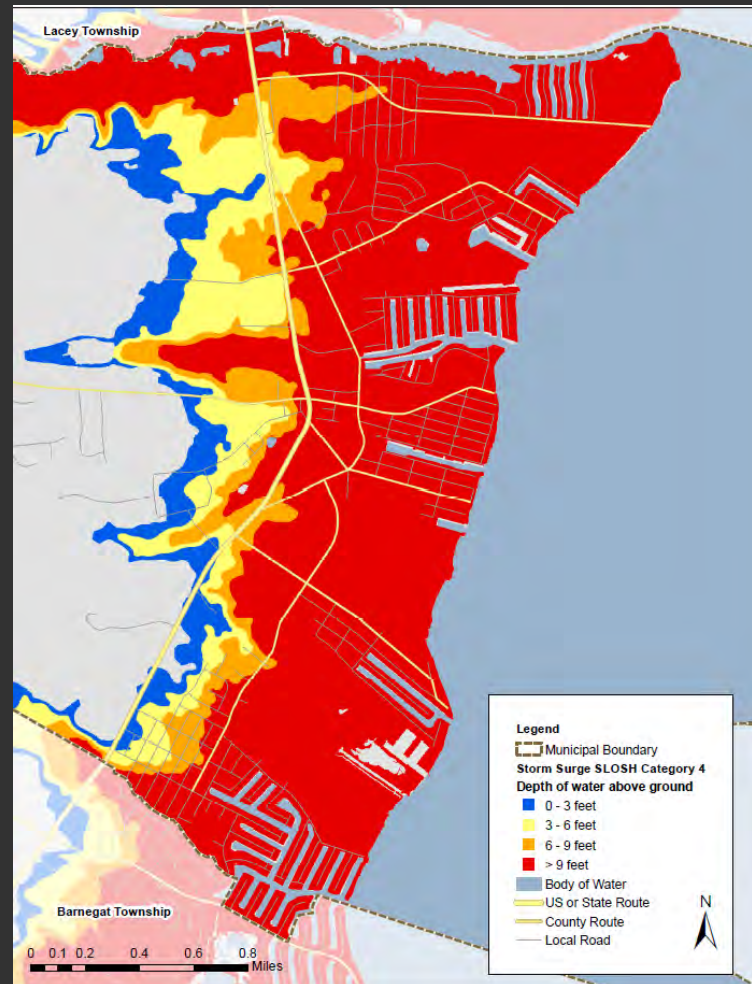
Sea Level Rise 3 Feet



SLOSH Category 1



SLOSH Category 4



***Public Questions
or Comments?***

Appendix C: Sample Letter to Outside Agencies



YOUR GOALS. OUR MISSION.

February 2, 2015

Michele A Rivers, Municipal Clerk
Barnegat Township
900 West Bay Avenue
Barnegat, NJ 08005
clerk@barnegat.net


Dear Ms. Rivers;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

As part of the Floodplain Management planning process, we are seeking the input of valued stakeholders to develop a foundation for assessing known hazards and flood impacts in Ocean. We would appreciate any information from your organization regarding flood hazards in the Ocean Township and/ or anything your agency or organization is doing that may affect flooding or properties in flood-prone areas. Additionally, we would like to invite you, or another representative of your agency or organization to become more actively involved in our floodplain management planning process. Your input and involvement in this planning process is important to help identify key floodplain management issues affecting the Ocean Township and to establish goals and objectives to make Ocean more resilient to flooding events in the future.

Please contact Christine Bell, Staff Planner, T&M Associates at 732-671-6400 or cbell@tandmassociates.com on or before January 15, 2015 if you have any comments, suggestions, input, or would like to set up a meeting to discuss the floodplain management plan in greater detail.

Sincerely,


James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Veronica Laureigh, Municipal Clerk
Township of Lacey
818 Lacey Road
Forked River, NJ 08731
laceyclerk@laceytownship.org


Dear Mrs. Laureigh;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

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Sincerely,


James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Gail J. Wetmore, Municipal Clerk
Barnegat Light Borough
10 East 7th Street
P.O. Box 576
Barnegat Light, NJ 08006

Dear Ms. Wetmore;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

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Please contact Christine Bell, Staff Planner, T&M Associates at 732-671-6400 or cbell@tandmassociates.com on or before January 15, 2015 if you have any comments, suggestions, input, or would like to set up a meeting to discuss the floodplain management plan in greater detail.

Sincerely,


James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Lynda Wells, Municipal Clerk
Long Beach Township
6805 Long Beach Boulevard
Brant Beach, NJ 08008
wells@longbeachtownship.com

Dear Ms. Wells;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

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Sincerely,


James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Richard J Buzby Jr., Chief of Police
Ocean Police Department
665 Radio Road
Ocean, NJ 08087

Dear Chief Buzby;

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Sincerely,

James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Frank Runza, Fire Chief
Parkertown Volunteer Fire Department
Station 70
830 Railroad Drive
Ocean, NJ 08087

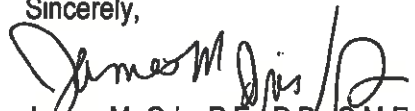
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Sincerely,


James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

West Tuckerton Volunteer Fire Department
Station 71
505 Route 9 S
Ocean, NJ 08087

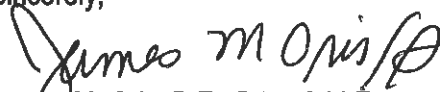
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Sincerely,


James M. Oris, P.E., P.P., C.M.E.
Township Engineer



| YOUR GOALS. OUR MISSION.

February 2, 2015

Jennifer Tompkins, Captain
Great Bay Regional Volunteer EMS
Squad 85
PO Box 437
Ocean, NJ 08087

Dear Captain Tompkins;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

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Sincerely,

James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Rich Lacovara, Chairman
Ocean
Environmental Commission
665 Radio Road
Ocean, NJ 08087

Dear Mr. Lacovara;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

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Sincerely,

James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Ocean
Natural Lands Trust Committee
665 Radio Road
Ocean, NJ 08087

To Whom it May Concern;

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Sincerely,

James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Ocean County Sheriff's Office
Office of Emergency Management
Robert J. Miller Airpark
PO Box 2191
Toms River, NJ 08754
OceanCountyEmergencyManagment@co.ocean.nj.us


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Sincerely,


James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

David McKeon, Planning Director
Ocean County Planning Department
129 Hooper Ave
PO Box 2191
Toms River, NJ 08754
dmckeon@co.ocean.nj.us

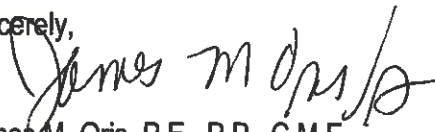
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Sincerely,



James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Christine Raabe, Director
Ocean County Soil Conservation District
714 Lacey Road
Forked River, NJ 08731
craabe@soildistrict.org

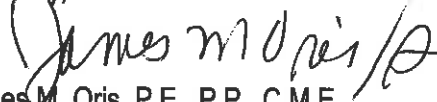
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James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Zenobia Fields, Director, Department of Planning
North Jersey Transportation Planning Authority
One Newark Center
17th Floor
Newark, NJ 07102
zfields@njtpa.org

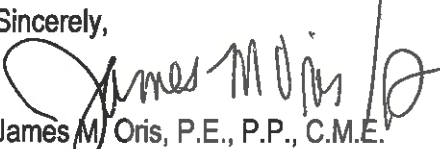
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Sincerely,



James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

David Lamm, State Conservation Engineer
Natural Resources Conservation Service
Somerset State Office
220 Davidson Avenue
4th Floor
Somerset, NJ 08873
david.lamm@nj.usda.gov


Dear Mr. Lamm;

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Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

NJ Coastal Management Program
401-07D P.O. Box 420
401 East State Street
Trenton, NJ 08625
AskCMP@dep.state.nj.us

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Sincerely,


James M. O'Neil, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Public Affairs Office
US Army Corps of Engineers
Philadelphia District
The Wanamaker Building
100 Penn Square East
Philadelphia, PA 19107

edward.c.voigt@usace.army.mil; richard.g.pearsall@usace.army.mil; stephen.rochette@usace.army.mil;
michael.t.boyle@usace.army.mil

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Sincerely,


James M. Onis, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

American Red Cross
Jersey Coast Chapter
150 West Park Avenue
Ocean, NJ 07712


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James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Helen Henderson, Atlantic Coast Programs Manager
American Littoral Society
Barnegat Bay Office
18 Harthshorne Drive
Suite 1
Highlands, NJ 07732
Helen@LittoralSociety.org

Dear Ms. Henderson;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

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Please contact Christine Bell, Staff Planner, T&M Associates at 732-671-6400 or cbell@tandmassociates.com on or before January 15, 2015 if you have any comments, suggestions, input, or would like to set up a meeting to discuss the floodplain management plan in greater detail.

Sincerely,



James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Christopher Huch, Community Resiliency Specialist
Jacque Cousteau Reserve
130 Great Bay Blvd.
Tuckerton, NJ 08087
huch@marine.rutgers.edu


Dear Mr. Huch;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

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Sincerely,


James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Gina Woolley, Executive Officer
Shore Builders Association of Central Jersey
190 Oberlin Avenue North
Lakewood, NJ 08701
gina@shorebuilders.org

Dear Ms. Woolley;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

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Sincerely,


James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Lawrence Fary, Construction Coordinator
Comcast Cable
751 Brick Boulevard
Brick, NJ 08723
Lawrence_Fary2@cable.comcast.com


Dear Mr. Fary;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

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Sincerely,


James W. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

John H. Moyle, State Floodplain Manger
New Jersey Department of Environmental Protection
PO Box 420
Trenton, NJ 08625
john.moyle@dep.state.nj.us


Dear Mr. Moyle;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

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Sincerely,


James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Joseph Ruggeri, State Floodplain Manger
New Jersey Department of Environmental Protection
PO Box 420
Trenton, NJ 08625
joseph.ruggeri@dep.state.nj.us

Dear Mr. Ruggeri;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

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Sincerely,

James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Stan Hales, Program Director
Barnegat Bay Partnership
Ocean County College
College Drive, PO Box 2001
Toms River, NJ 08754
shales@ocean.edu

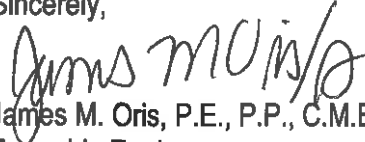
Dear Dr. Hales;

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Sincerely,


James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Britta Forsberg- Wenzel,
Save Barnegat Bay
PO Box 155
Lavallette, NJ 08735
bwenzel@savebarnegatbay.org


Dear Ms. Forsberg- Wenzel;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

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Sincerely,


James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

Mike Bennett,
Atlantic City Electric
West Creek Operations Building
US Highway 9
West Creek, NJ 08092

Dear Mr. Bennett;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

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Sincerely,

James M. Oris, P.E., P.P., C.M.E.
Township Engineer



YOUR GOALS. OUR MISSION.

February 2, 2015

David Menaker
New Jersey Natural Gas
1415 Wyckoff Road
PO Box 1464
Wall, NJ 07719


Dear Mr. Menaker;

Ocean Township is currently in the process of preparing a Floodplain Management Plan to be incorporated as an element of the Township Master Plan. The Floodplain Management Plan will identify and assess flood hazards within the Township, establish the goals and objectives for floodplain management in Ocean, and present a series of actions designed to minimize flooding and mitigate the impacts from flooding in the future. The Plan is being funded through a Post- Sandy Planning Assistance Grant issued by the New Jersey Department of Community Affairs (DCA). As we continue to recover from the effects of Superstorm Sandy, the Township has prioritized flood prevention and mitigation as key elements of its post- Sandy planning strategy. The project implements recommendations of the Strategic Recovery Planning Report (SRPR) adopted by the Township Committee in June of 2014.

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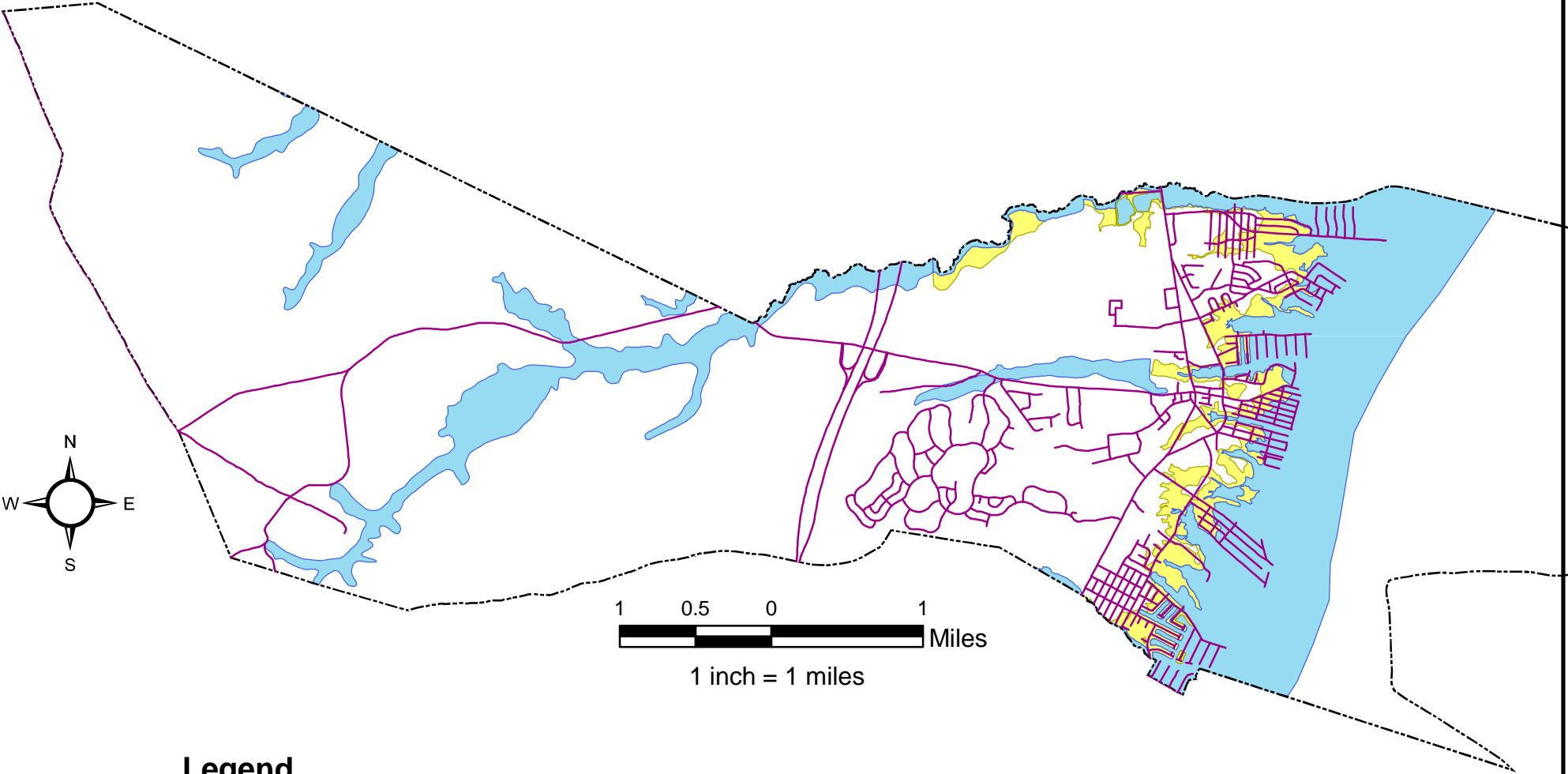
Please contact Christine Bell, Staff Planner, T&M Associates at 732-671-6400 or cbell@tandmassociates.com on or before January 15, 2015 if you have any comments, suggestions, input, or would like to set up a meeting to discuss the floodplain management plan in greater detail.

Sincerely,





James M. Oris, P.E., P.P., C.M.E.
Township Engineer

Appendix D: Effective FIRM Maps

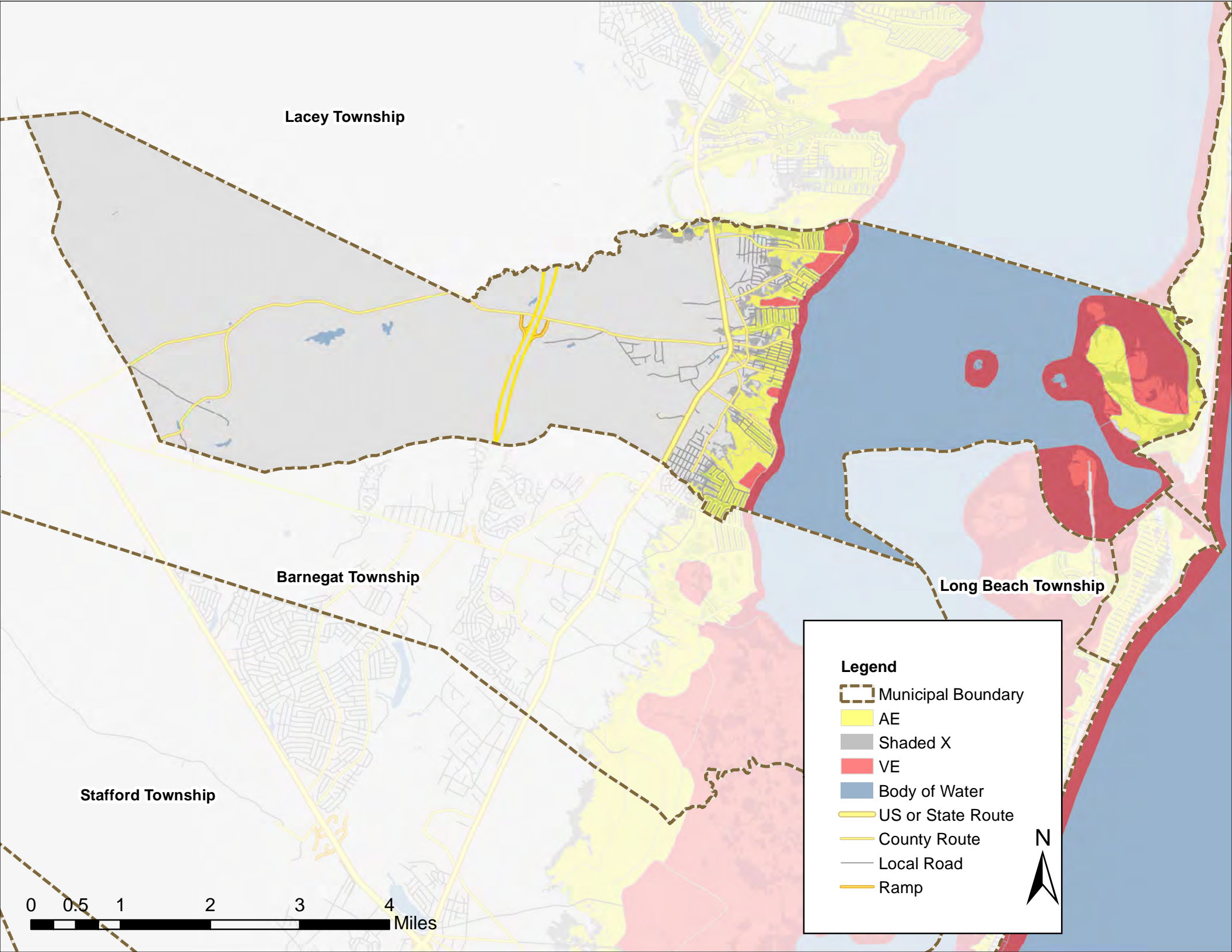
Ocean Township Effective Floodplain



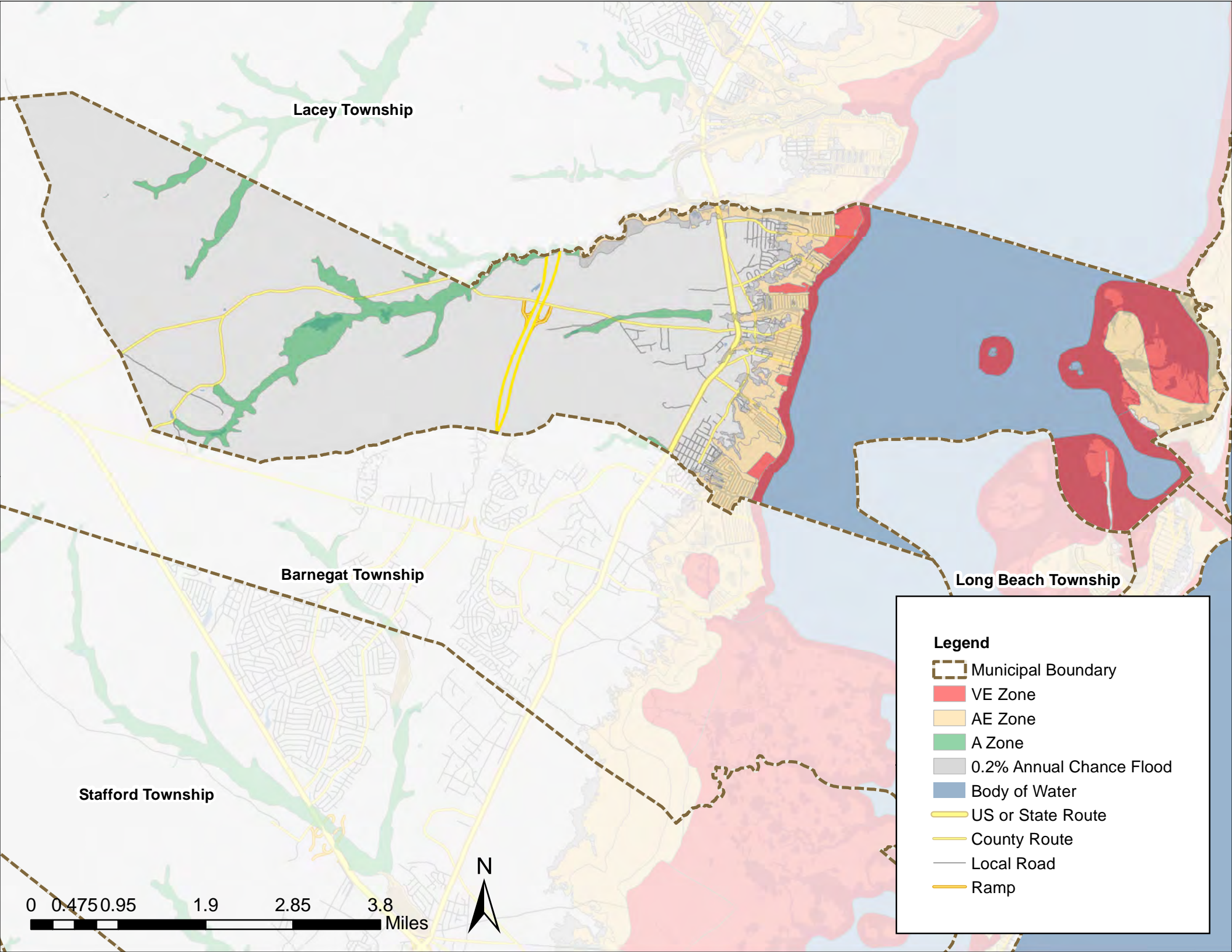
Legend

-  100 Year Floodplain
-  500 Year Floodplain
-  RoadCenterlines

Appendix E: Advisory Base Flood Map

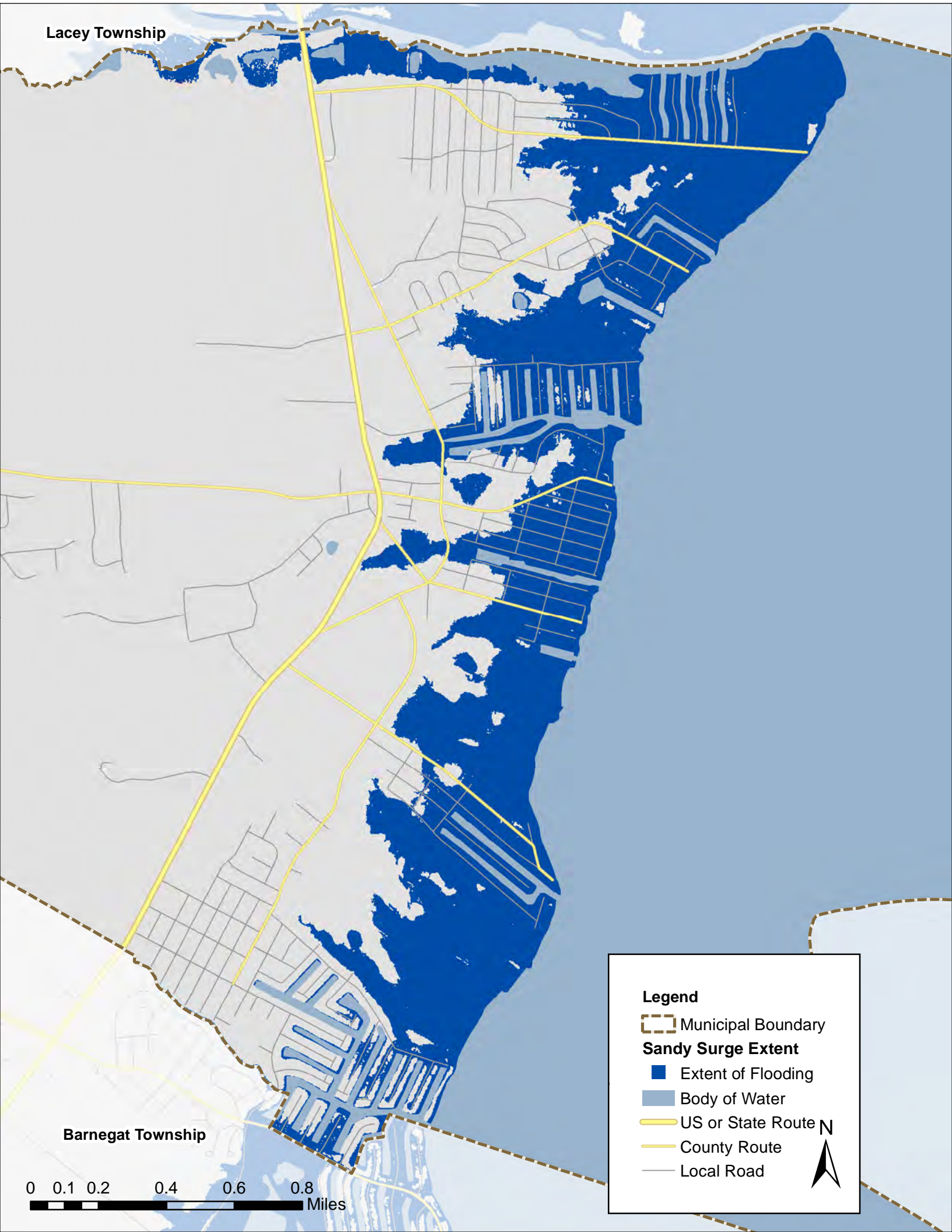


Appendix F: Preliminary FIRM Map



Appendix G: Superstorm Sandy Surge Elevation Maps


Lacey Township




Legend


 Municipal Boundary

Sandy Surge Extent

 Extent of Flooding

 Body of Water

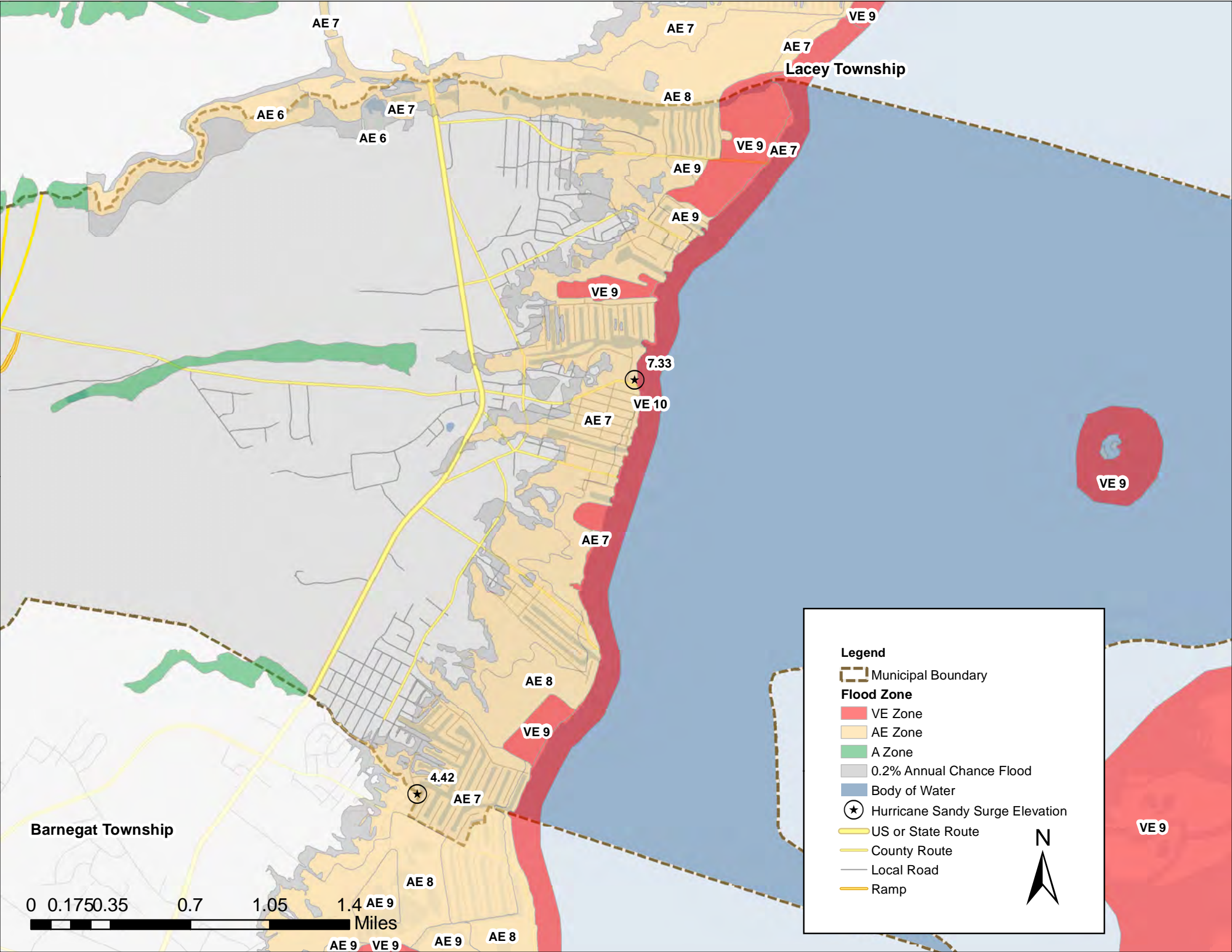
 US or State Route 

 County Route

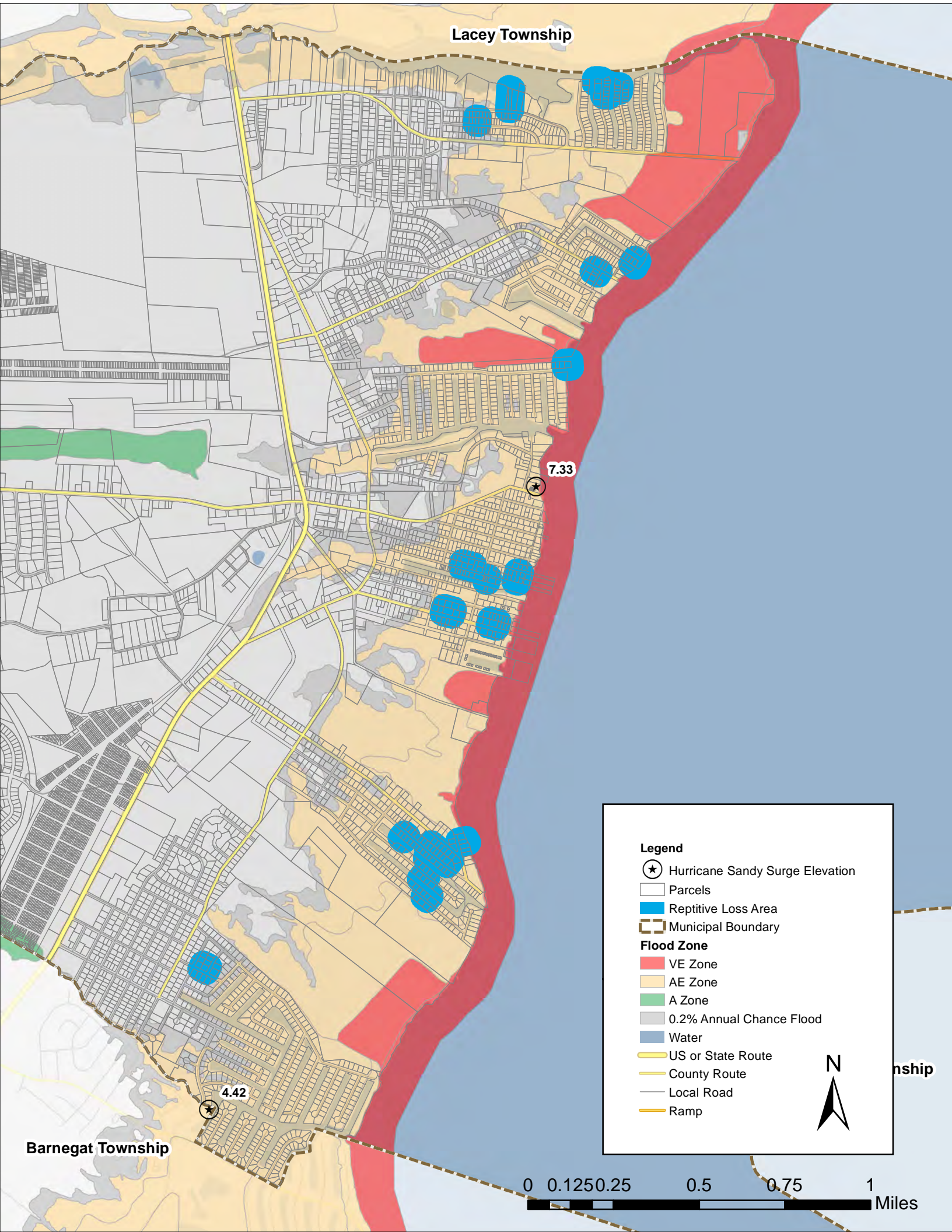
 Local Road

Barneгат Township

0 0.1 0.2 0.4 0.6 0.8 Miles



Appendix H: Repetitive Loss Areas Map

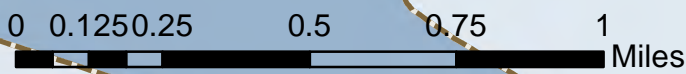


Lacey Township

Barnegat Township

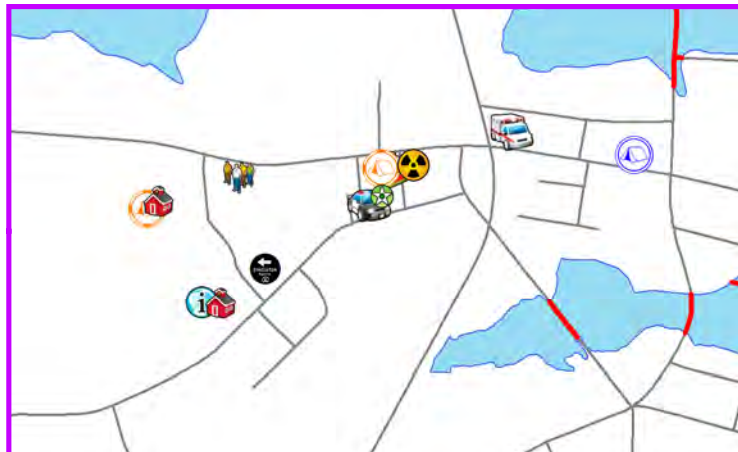
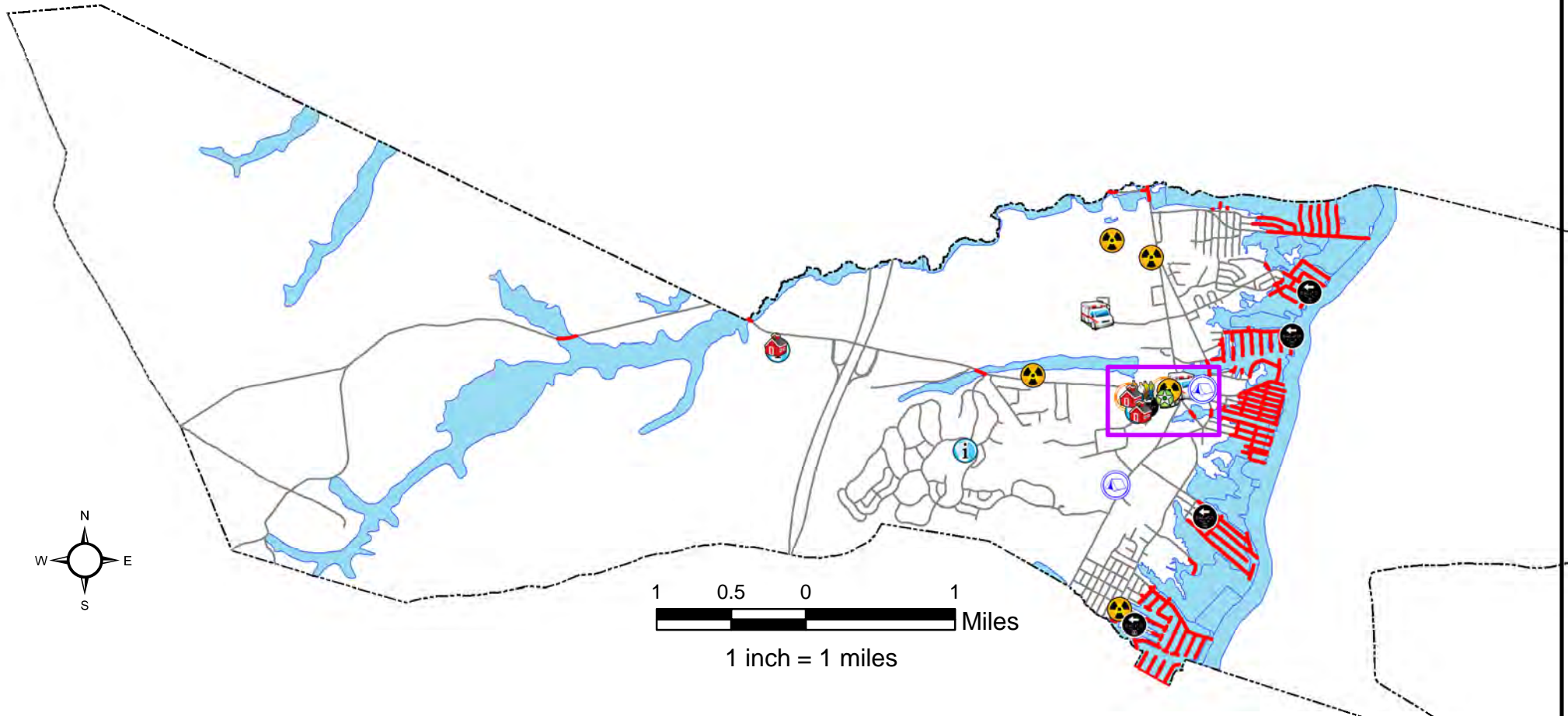
Legend

- ⊛ Hurricane Sandy Surge Elevation
- ▭ Parcels
- Repetitive Loss Area
- - - Municipal Boundary
- Flood Zone**
- VE Zone
- AE Zone
- A Zone
- 0.2% Annual Chance Flood
- Water
- US or State Route
- County Route
- Local Road
- Ramp


















Appendix I: Critical Facilities Map

Ocean Township Critical Facilities and Flooded Roads

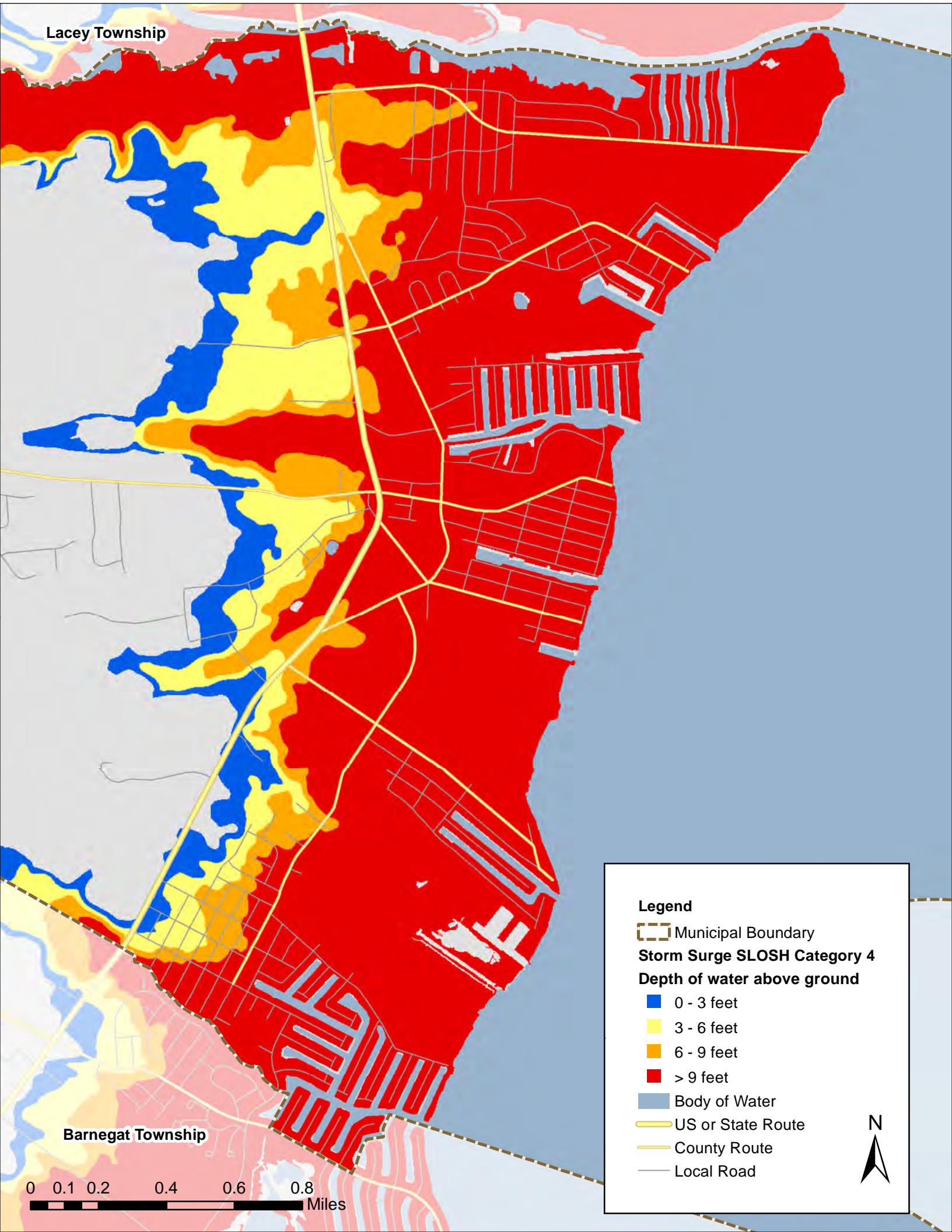


Critical Facilities

- | | | | |
|---|------------------------------|---|--------------------------|
|  | Chemical Handling Facilities |  | Emergency Medical Center |
|  | City Facilities |  | Firehouse |
|  | Daycare |  | Police Station |
|  | Disaster Assessment Center |  | Schools |
|  | Evacuation Areas |  | Flooded Roads |
|  | Shelter |  | Road Centerlines |
|  | Shelter/Disaster Center |  | 100 Year Floodplain |
| | |  | 500 Year Floodplain |

Appendix J: SLOSH Maps

Lacey Township





Legend


 Municipal Boundary


Storm Surge SLOSH Category 4


Depth of water above ground


 0 - 3 feet


 3 - 6 feet

 6 - 9 feet

 > 9 feet

 Body of Water

 US or State Route

 County Route

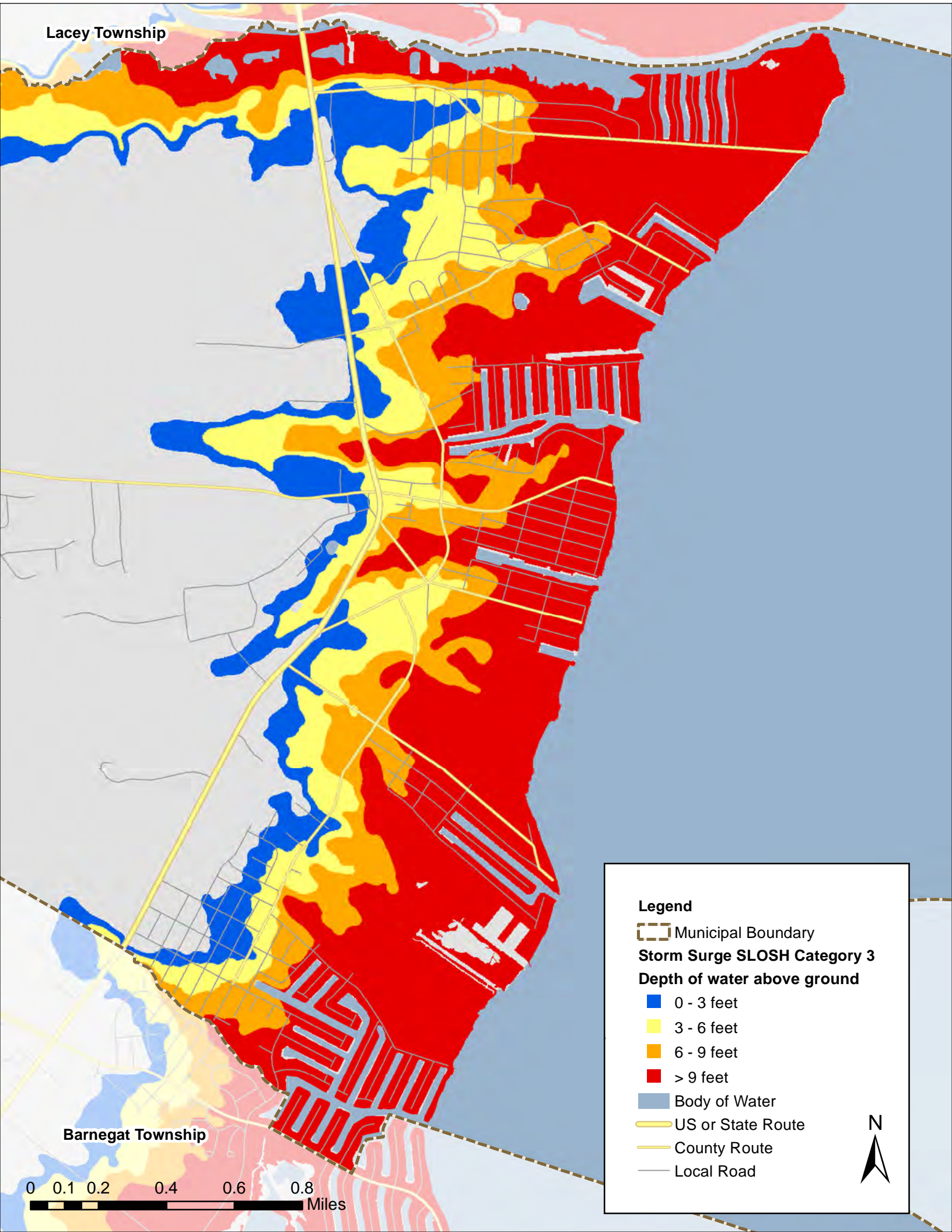
 Local Road

Barneгат Township

0 0.1 0.2 0.4 0.6 0.8 Miles



Lacey Township





Legend


 Municipal Boundary


Storm Surge SLOSH Category 3


Depth of water above ground


 0 - 3 feet


 3 - 6 feet

 6 - 9 feet

 > 9 feet

 Body of Water

 US or State Route

 County Route

 Local Road

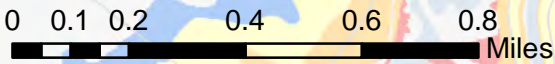
Barneгат Township

0 0.1 0.2 0.4 0.6 0.8 Miles



Lacey Township

Barneгат Township



Legend

Municipal Boundary

Storm Surge SLOSH Category 2

Depth of water above ground

0 - 3 feet

3 - 6 feet

6 - 9 feet

> 9 feet

Body of Water

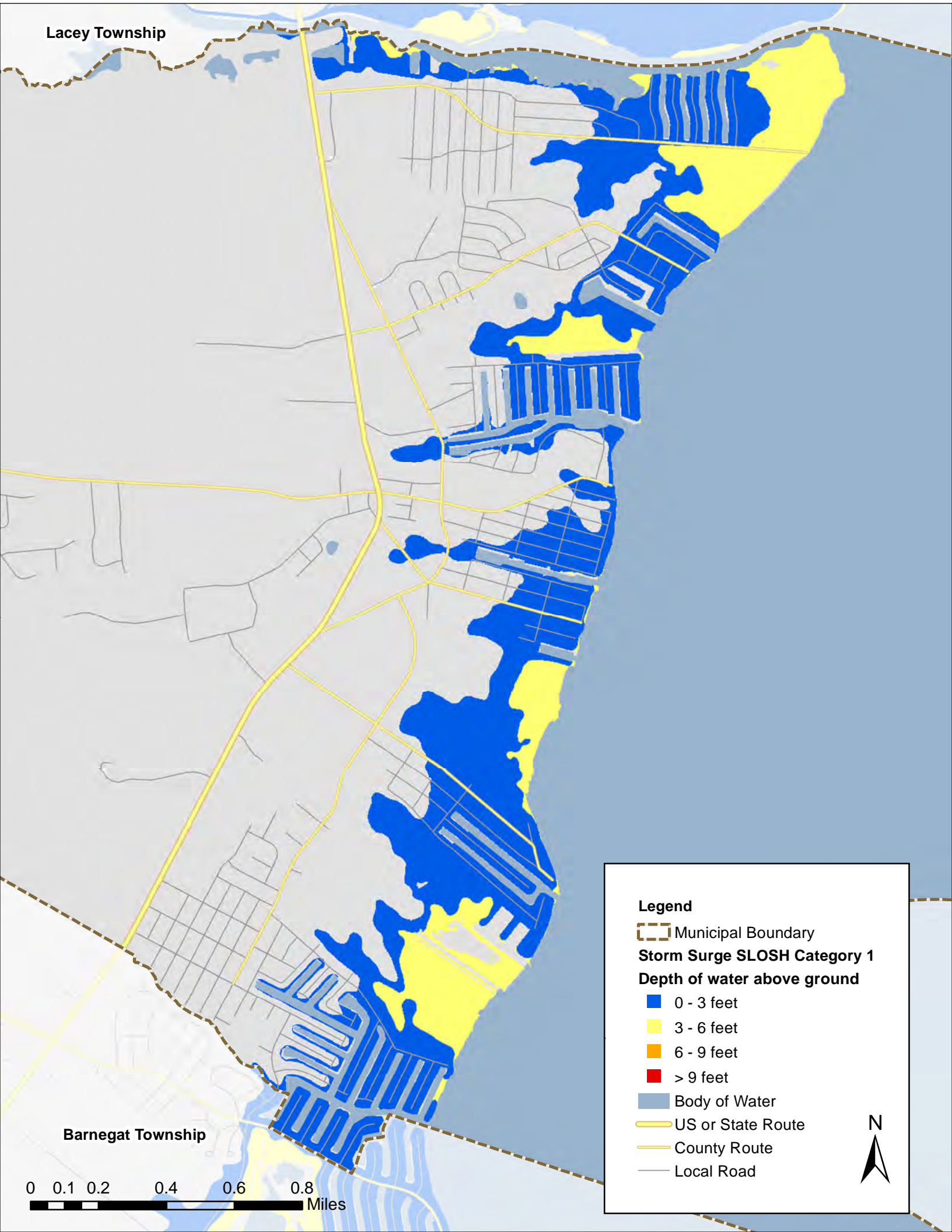
US or State Route

County Route

Local Road



Lacey Township





Legend


 Municipal Boundary


Storm Surge SLOSH Category 1


Depth of water above ground


 0 - 3 feet


 3 - 6 feet

 6 - 9 feet

 > 9 feet

 Body of Water

 US or State Route

 County Route

 Local Road

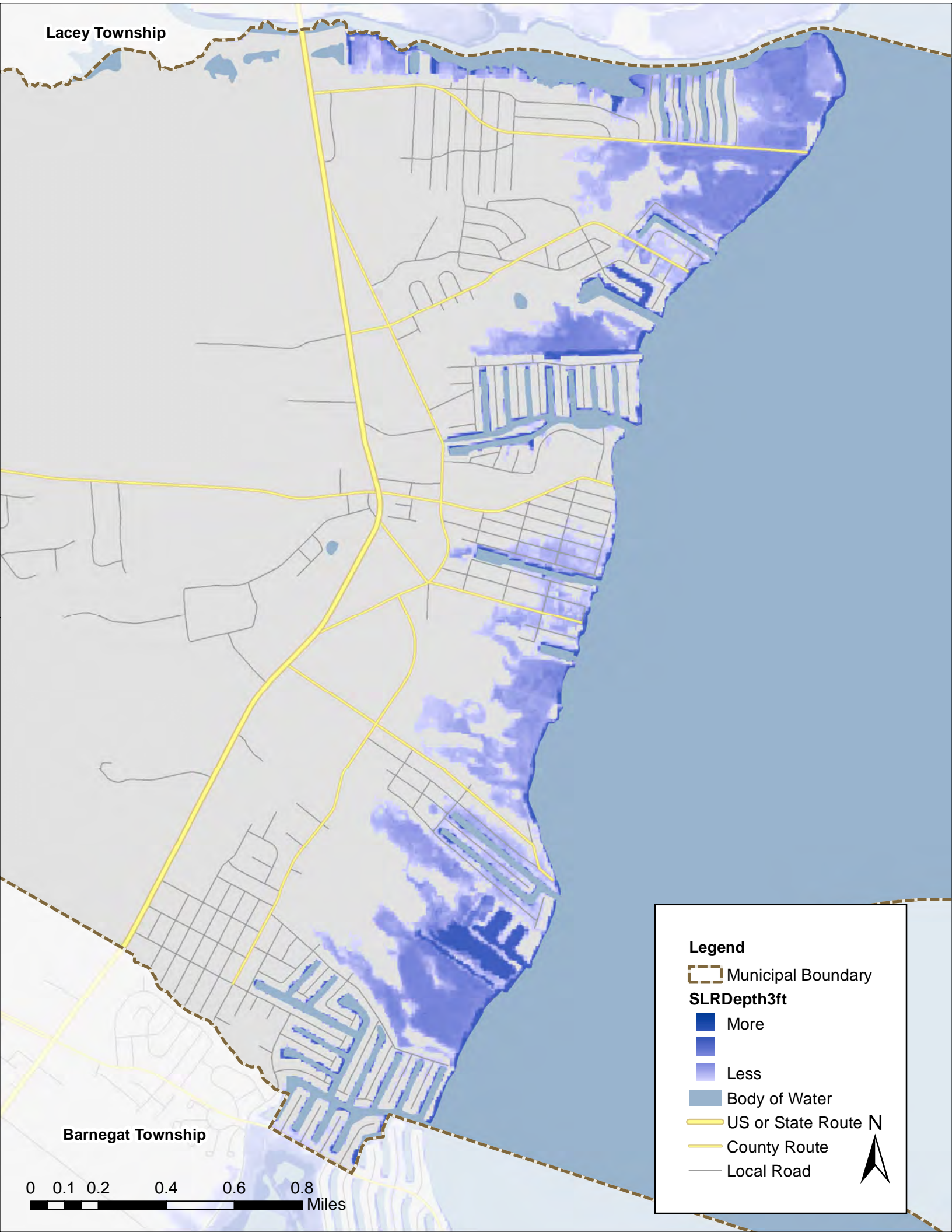
Barneгат Township

0 0.1 0.2 0.4 0.6 0.8 Miles

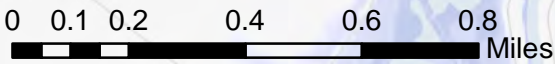


Appendix K: Sea Level Rise Maps








Lacey Township



Barnegat Township

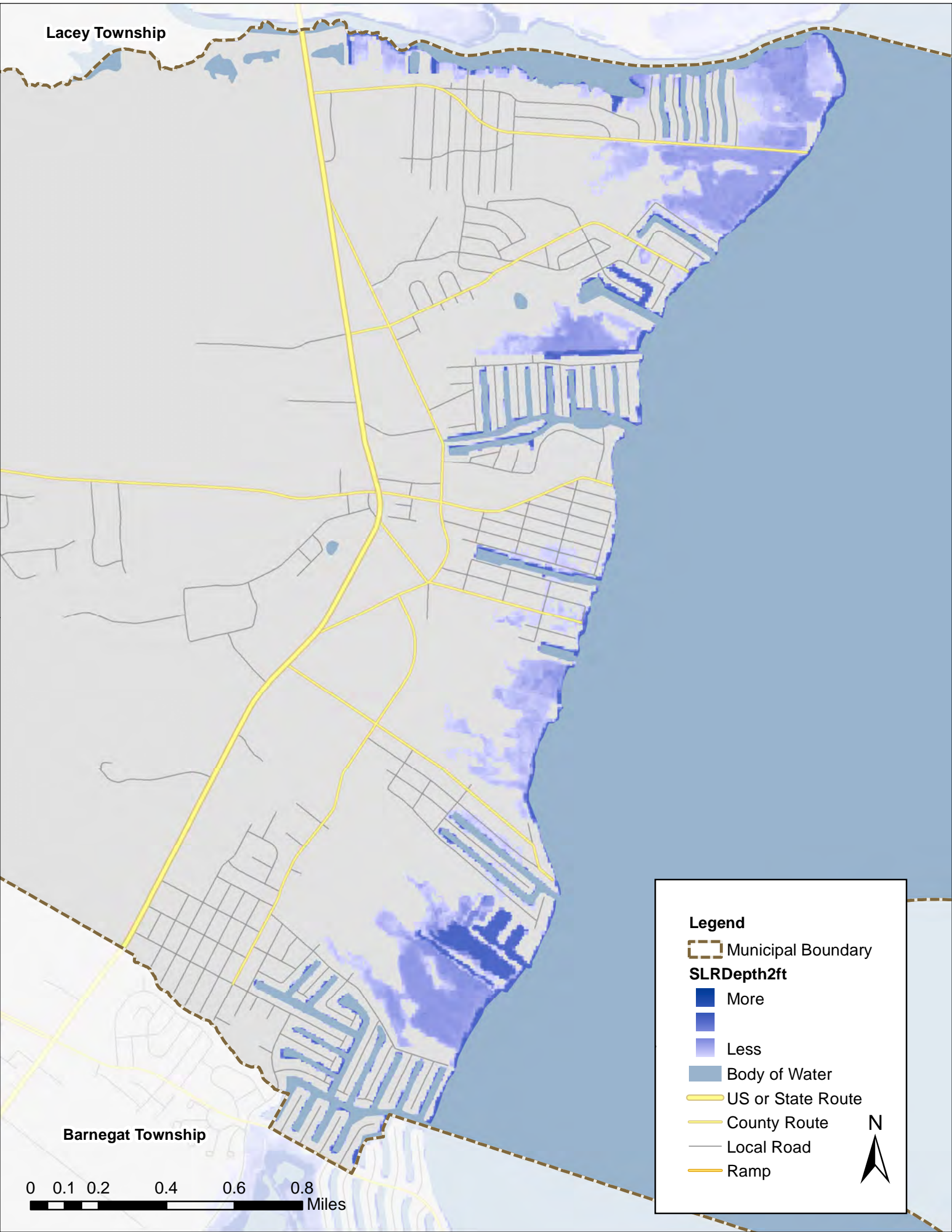


Legend

-  Municipal Boundary
- SLRDepth3ft**
-  More
-  Less
-  Body of Water
-  US or State Route N
-  County Route
-  Local Road



Lacey Township



Barneгат Township

0 0.1 0.2 0.4 0.6 0.8 Miles

Legend


 Municipal Boundary


SLRDepth2ft

 More

 Less

 Body of Water

 US or State Route

 County Route

 Local Road

 Ramp

N



Lacey Township

Barneгат Township

0 0.1 0.2 0.4 0.6 0.8 Miles

Legend


 Municipal Boundary


SLRDepth1ft


 More

 Less

 Body of Water

 US or State Route

 County Route

 Local Road

 Ramp








Appendix L: Marsh Retreat Maps

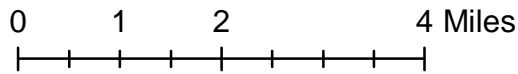
Marsh Retreat at 1 foot of Sea Level Rise Ocean Township (OC)

Legend

-  Municipality
-  Schools
-  Fire Stations
-  Law Enforcement
-  Assisted Living
-  Hospitals
-  Evacuation Routes

Marsh Retreat at 1ft SLR

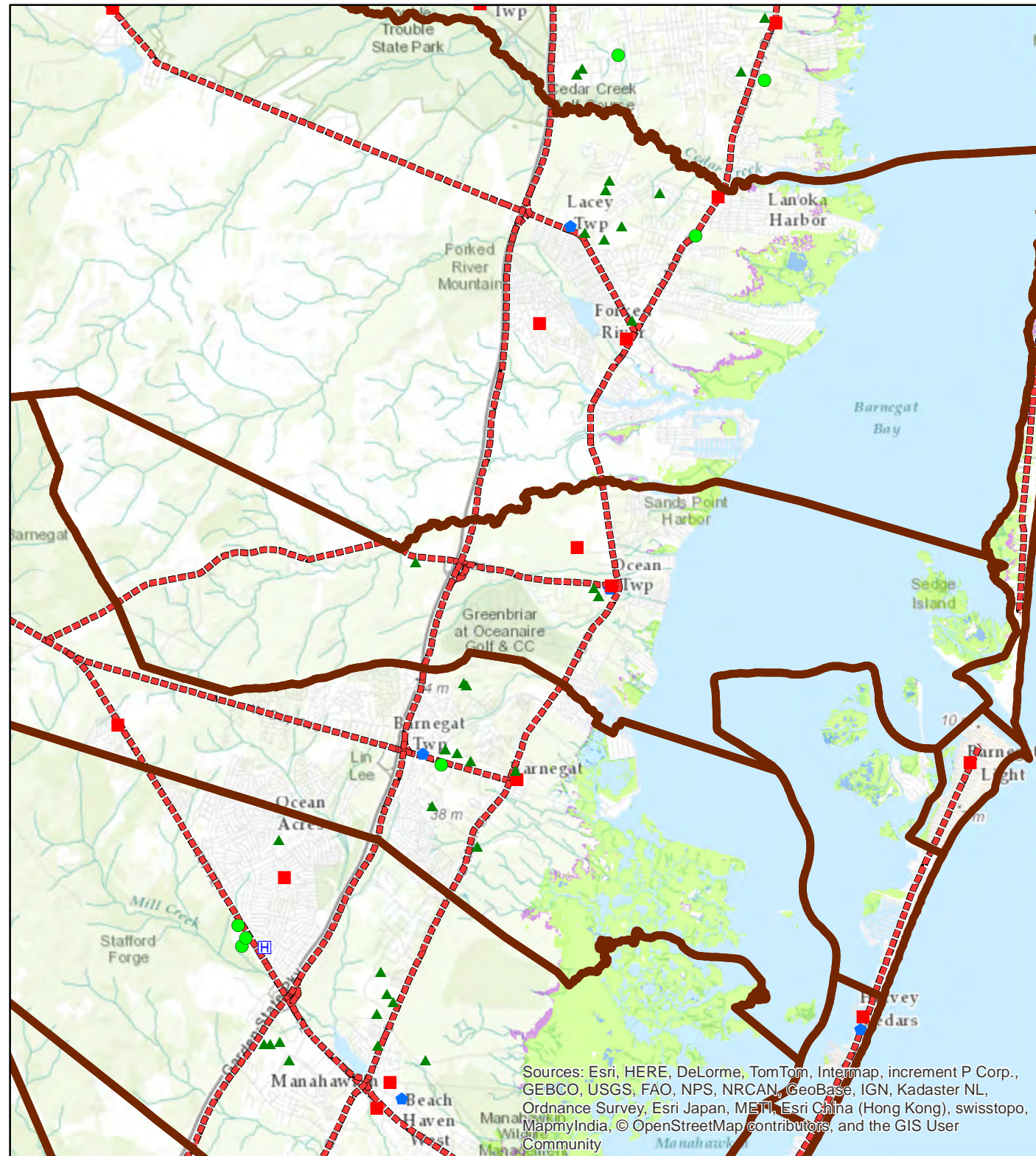
-  Unimpeded Marsh Retreat Zone
-  Impeded Marsh Retreat Zone
-  Marsh Conversion: Unconsolidated Shore
-  Marsh Conversion: Open Water
-  Unchanged Tidal Marsh



Year 2010 Population: 8332

According to Kenneth G. Miller et al. in the 2013 study "A Geological Perspective on Sea-Level Rise and its Impacts Along the U.S. Mid-Atlantic Coast" a probable threat is the 1ft sea level rise condition that could be expected by 2050. This map depicts the marsh retreat caused by sea level rise centered on target municipalities.

Map Author: Rachael Sacatelli
Rutgers, New Brunswick
Center for Remote Sensing
and Spatial Analysis








Sources: Esri, HERE, DeLorme, TomTom, Intermap, increment P Corp., GEBCO, USGS, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community

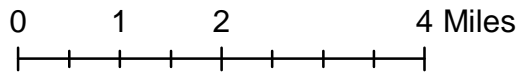
Marsh Retreat at 2 feet of Sea Level Rise Ocean Township (OC)

Legend

-  Municipality
-  Schools
-  Fire Stations
-  Law Enforcement
-  Assisted Living
-  Hospitals
-  Evacuation Routes

Marsh Retreat at 2ft SLR

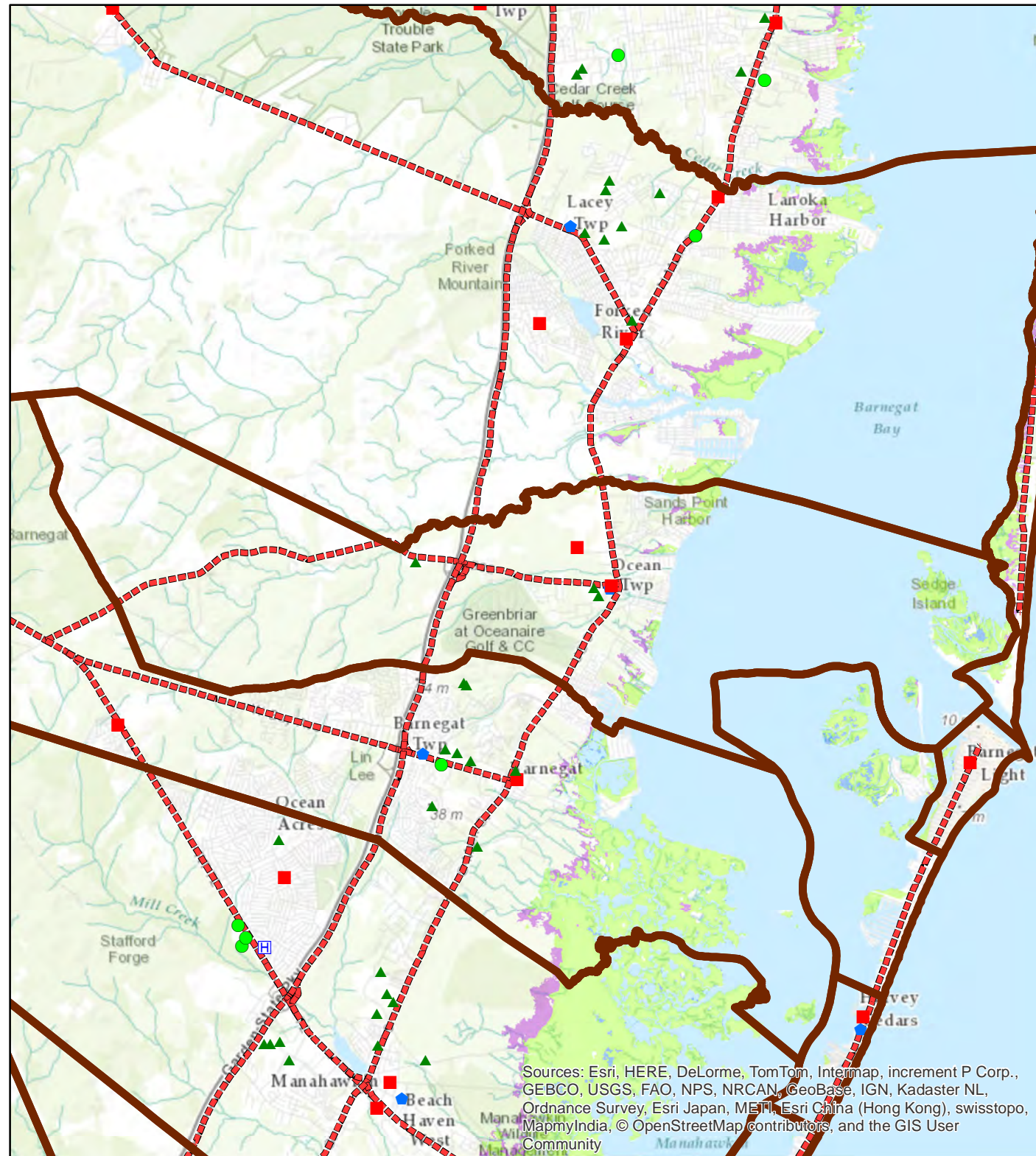
-  Unimpeded Marsh Retreat Zone
-  Impeded Marsh Retreat Zone
-  Marsh Conversion: Unconsolidated Shore
-  Marsh Conversion: Open Water
-  Unchanged Tidal Marsh



Year 2010 Population: 8332

According to Kenneth G. Miller et al. in the 2013 study "A Geological Perspective on Sea-Level Rise and its Impacts Along the U.S. Mid-Atlantic Coast" a probable threat is the 1ft sea level rise condition that could be expected by 2050. This map depicts the marsh retreat caused by sea level rise centered on target municipalities.

Map Author: Rachael Sacatelli
Rutgers, New Brunswick
Center for Remote Sensing
and Spatial Analysis








Sources: Esri, HERE, DeLorme, TomTom, Intermap, increment P Corp., GEBCO, USGS, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community

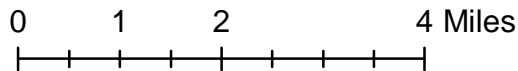
Marsh Retreat at 3 feet of Sea Level Rise Ocean Township (OC)

Legend

-  Municipality
-  Schools
-  Fire Stations
-  Law Enforcement
-  Assisted Living
-  Hospitals
-  Evacuation Routes

Marsh Retreat at 3ft SLR

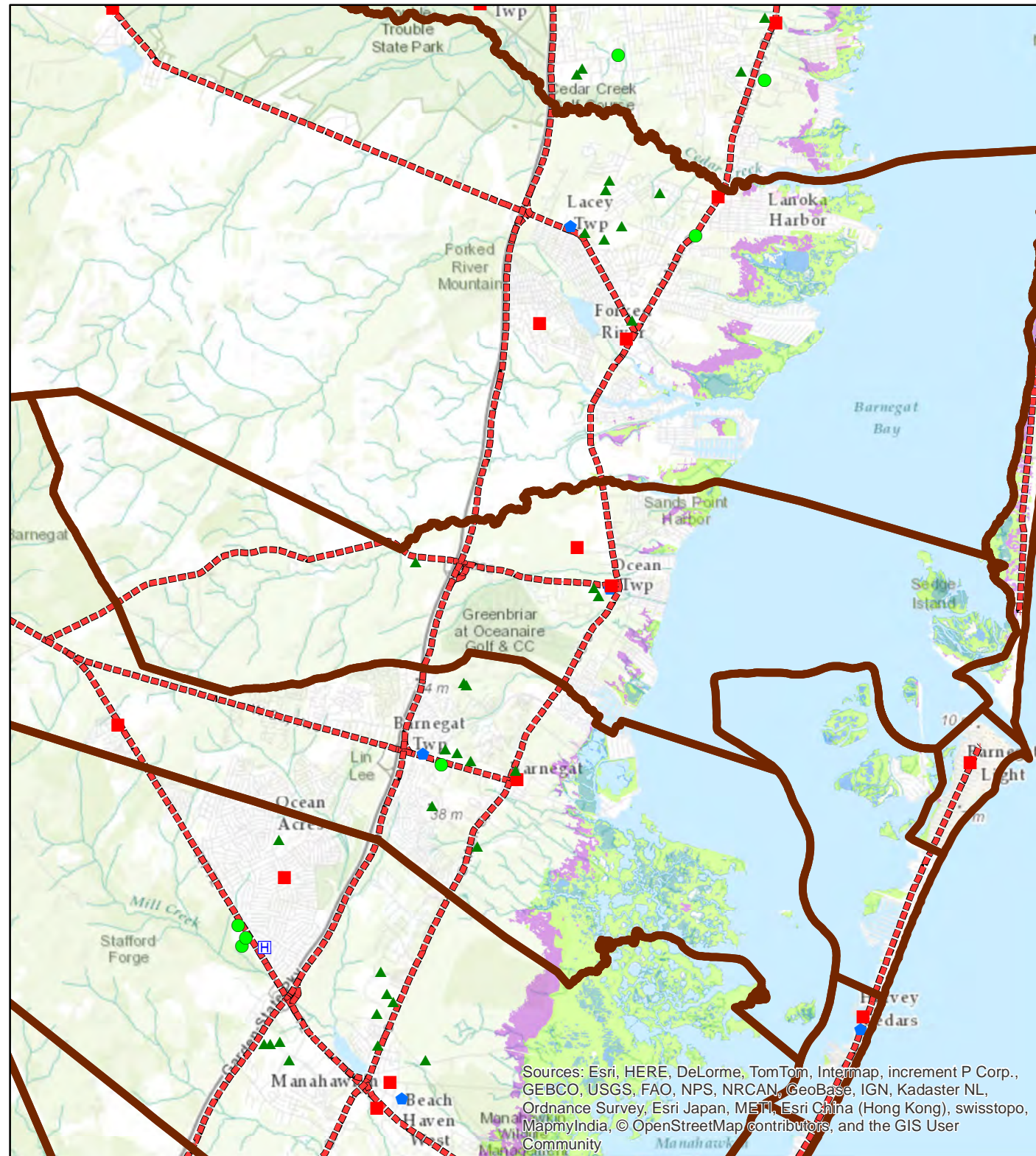
-  Unimpeded Marsh Retreat Zone
-  Impeded Marsh Retreat Zone
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Year 2010 Population: 8332

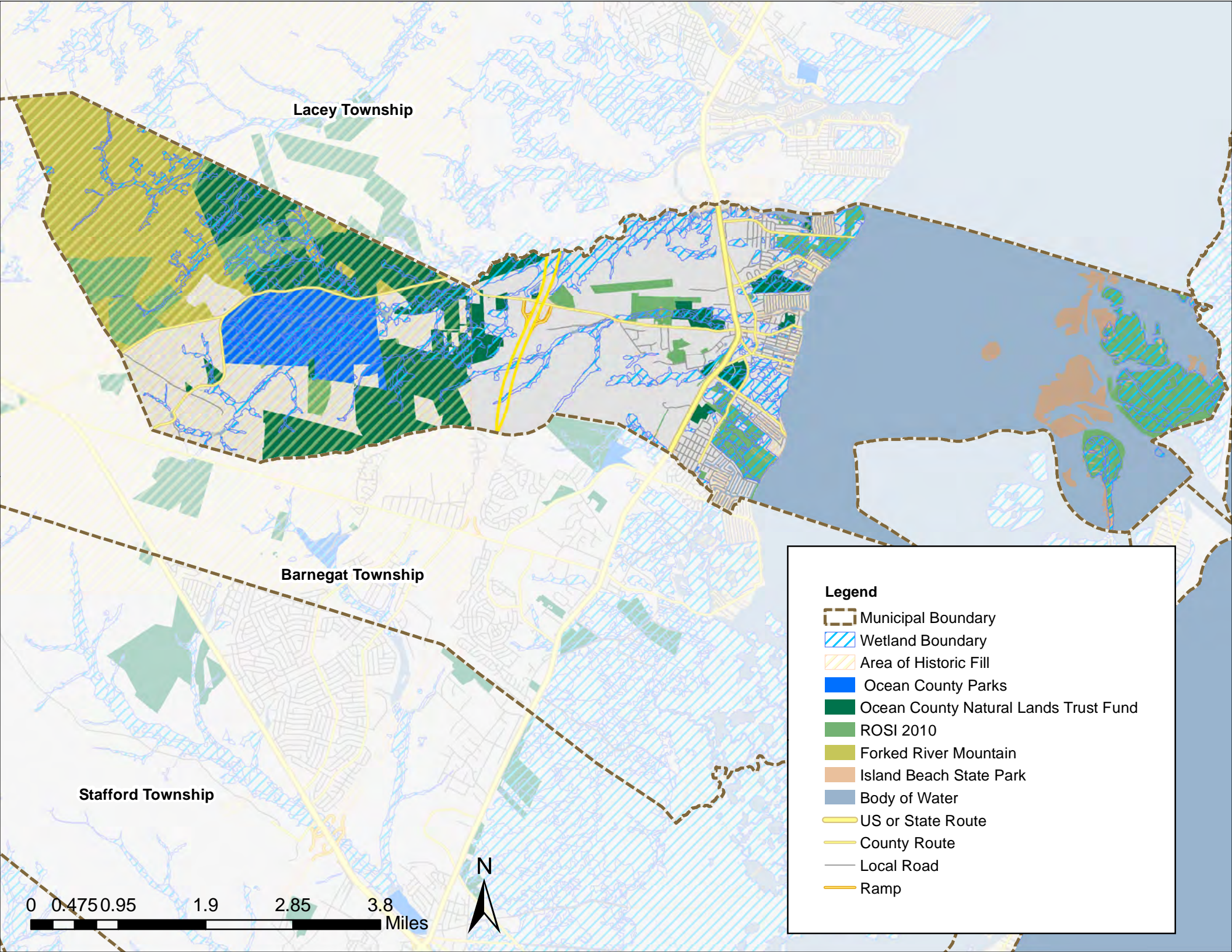
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Map Author: Rachael Sacatelli
Rutgers, New Brunswick
Center for Remote Sensing
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Appendix M: Natural Features Map



Lacey Township

Barnegat Township

Stafford Township

Legend

- Municipal Boundary
- Wetland Boundary
- Area of Historic Fill
- Ocean County Parks
- Ocean County Natural Lands Trust Fund
- ROSI 2010
- Forked River Mountain
- Island Beach State Park
- Body of Water
- US or State Route
- County Route
- Local Road
- Ramp

0 0.475 0.95 1.9 2.85 3.8 Miles





G. — 2015 Master Plan Reexamination Report and Master Plan Amendments



2015 Master Plan Reexamination Report and Master Plan Amendments

Ocean Township
Ocean County, New Jersey

2015 Master Plan Reexamination Report and
Master Plan Amendments

Adopted May 7, 2015

Prepared for:
Ocean Township
Ocean County, New Jersey

Prepared by:



11 Tindall Road
Middletown, NJ 07748

A handwritten signature in black ink, appearing to read 'Stan Slachetka'.

Stan Slachetka, PP, AICP
NJ Professional Planner No.: 3508

A handwritten signature in black ink, appearing to read 'Martin P. Truscott'.

Martin Truscott, PP, AICP, LEED GA
NJ Professional Planner No.: 2443

*The original of this document was signed
and sealed in accordance with New Jersey Law*

Acknowledgements

Mayor and Committee

Christina Wetter, Mayor
Dennis F. Tredy, Deputy Mayor
Joseph Lachawiec, Committeeman
Diane Ambrosio, Township Clerk

Planning Board

William Sneddon, Chairman
Daniel Collamer, Vice Chair
Ralph Avellino
Nick Bonamassa
James Eckert
Aaron Shapiro
Ben Loparo
Dennis F. Tredy
Christina Wetter
John Petrosilli, Alternate #1
Donald Lippincott, Jr., Alternate #2

Steven E. Yost, Esq. Planning Board Attorney
James Oris, P.E., C.M.E., Planning Board Engineer
Scott D. Taylor, PP, AICP, LLA, LEED-AP, Planning Board Landscape Architect
Laurie Clune, Planning Board Secretary
Sandra Pirozzi, Alternate Secretary

David Breeden, Township Administrator
Diane Ambrosio, Township Clerk
Gregory McGuckin, Township Attorney

T&M Project Team

Stanley Slachetka, PP, AICP
Martin Truscott, PP, AICP
Robert Dare, PP, AICP, MCIP
Christine Bell, PP, AICP, CFM
Jeffrey Cucinotta

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Master Plan Reexamination Report

Introduction

New Jersey's Municipal Land Use Law requires that each municipality in the state undertake a periodic review and reexamination of its local Master Plan. The purpose of the Reexamination Report is to review and evaluate the master plan and municipal development regulations on a regular basis in order to determine the need for updates and revisions. In addition, the preparation of a statutorily compliant Reexamination Report provides a legal presumption of validity of the municipal zoning ordinance. This report constitutes the Master Plan Reexamination Report for Ocean Township as required by the Municipal Land Use Law at NJSA 40:55D-89.

Ocean Township originally adopted its comprehensive master plan in 1982. The Township's last reexamination report was adopted in 2005. The current document (hereinafter referred to as the 2015 Master Plan Reexamination Report) serves as a reexamination of the 1982 Master Plan, as supplemented by 1999 Update, 2001 and 2005 Master Plan Reexamination Reports. Other significant planning documents in Ocean Township include:

- 1998 Circulation Element;
- 2000 Economic Redevelopment Plan;
- 2002 Open Space and Recreation Plan, as amended in 2005;
- 2003 Amended Land Use Plan Element;
- 2004 Amended Housing Plan Element and Fair Share Plan;
- 2004 Edgemont Park Subdivision Redevelopment Plan;
- 2004 Route 9 Phase I Redevelopment Plan;
- 2005 Route 9 Phase I Redevelopment Plan Amendments;
- 2005 Stormwater Management Plan Element;
- 2005 Amended Land Use Plan Element, Circulation Plan Element, & Master Plan Reexamination Report;
- 2005 Housing Plan Element & Fair Share Plan, Cycles I, II, & III;
- 2006 Land Use Element Amendment Environmental Constraints & Bayfront Conservation Areas;
- 2008 Housing and Fair Share Plan;
- 2008 Municipal Stormwater Management Plan;
- 2008-2012 Community Forestry Management Plan;
- 2012 Floodplain Management Plan;

- 2013 Waretown Town Center Redevelopment Plan; and,
- 2014 Strategic Recovery Planning Report.

While the 2015 Master Plan Reexamination Report is broad in scope, it has been prepared in light of the experience of Hurricane Sandy. It, therefore, places special emphasis on facilitating recovery from Hurricane Sandy's impacts, as well as promoting resiliency to future storm impacts and other potential natural hazards. To achieve this, the 2015 Master Plan Reexamination Report recommends a number of updates and revisions to the municipal master plan. These changes have been compiled into a master plan amendment, which is appended to this document.

Requirements of the Reexamination Report

The Municipal Land Use Law requires that Ocean Township provide for the reexamination of the municipal master plan and development regulations at least once every ten years. The purpose of the reexamination is to review the progress of the Township in achieving its planning objectives, and to consider the need for changes in order to ensure that the municipal plan is current and meets the needs of the Township. The municipal planning board is responsible for completing the reexamination, and preparing and adopting by resolution a report on the findings of the reexamination.

The Municipal Land Use Law requires that the reexamination report state the following:

- The major problems and objectives relating to land development in the municipality at the time of the adoption of the last reexamination report;
- The extent to which such problems and objectives have been reduced or have increased subsequent to such date;
- The extent to which there have been significant changes in the assumptions, policies and objectives forming the basis for the master plan or development regulations as last revised, with particular regard to the density and distribution of population and land uses, housing conditions, circulation, conservation of natural resources, energy conservation, collection, disposition and recycling of designated recyclable materials, and changes in state, county and municipal policies and objectives;
- The specific changes recommended for the master plan or development regulations, if any, including underlying objectives, policies and standards, or whether a new plan or regulations should be prepared; and,
- The recommendations of the planning board concerning the incorporation of redevelopment plans adopted pursuant to the Local Redevelopment and Housing Law (NJSA 40A:12A-1 et seq.) into the land use plan element of the municipal master plan, and recommended changes, if any, in the local development regulations necessary to effectuate the redevelopment plans of the municipality.

The 2015 Master Plan Reexamination Report addresses each of these statutory requirements.

Major Problems and Objectives in 2005

The following subsections describe the major problems and objectives of Ocean Township at the time of the 2005 Master Plan Reexamination Report.

Master Plan Goals

The Master Plan, first adopted in 1982, set forth specific objectives and policies for the future development of the Township of Ocean. The 1999 Master Plan Update reiterated a number of planning goals and objectives contained in the 1982 Master Plan and supplemented these with additional goals and objectives. The goals presented in the 1999 Master Plan Update were unaffected by the 2005 Master Plan Reexamination Report. As presented in the 1999 Master Plan Update, and supplemented by the 2005 Master Plan Reexamination, the following are the goals and objectives the Township's Master Plan:

1982 Goals and Objectives

Residential Development and Housing

- Maintain and enhance the prevailing single-family character of the community. Increase lot sizes where possible and limit multi-family development to selected locations and types.
- Maintain and upgrade the quality of seasonal housing converted to year-round occupancy through the administration and use of proper standards and codes.
- Encourage new residential development in areas with public water and sewer facilities and in areas where these facilities can be made available. Provide for large lot sizes in areas not served by central sewer and water facilities.
- Discourage major subdivisions and large-scale residential developments west of the Parkway.
- Provide for the development of high-value, high-amenity townhouse-type of condominium properties in selected bay front locations for the purposes of producing tax ratables and upgrading housing quality and diversity in the community.
- Provide for cluster subdivision design to conserve open space and natural amenities in residential areas and to reduce road and utility cost.

Commercial and Industrial Development

- Discourage "strip" development along the entire Route 9 frontage; provide for concentrated patterns of commercial use to facilitate traffic control and promote

traffic safety; use frontage roads and minimize access/egress points wherever practicable.

- Promote the development of marine-oriented and complementary commercial uses, including marinas, in certain bay front locations; minimize their traffic, noise, and aesthetic impacts on adjacent residential areas by screening and other means.
- Provide for the development of employment and tax-producing, resource-based industrial activities in rural sections of the Township west of the Parkway, including sand/gravel extraction, wood and wood products, glass products, etc; provide for adequate access, setbacks, buffers, and performance standards in order to minimize environmental and aesthetic impacts.

Transportation and Public Facilities

- Maintain and enhance the traffic carrying capacity of principal thoroughfares, such as Route 9, by making traffic engineering improvements and regulating access and egress.
- Develop a system of secondary streets in built-up and urbanizing areas which improve access to individual areas and reduce use of Route 9 for internal trips.
- Improve local streets and drainage where poor conditions and problems exist.
- Provide for the expansion of public sewer and water systems to serve all built-up areas and future development generally east of Route 9.
- Develop a system of recreation sites to serve local neighborhoods, such facilities to be accessible primarily by foot or bicycle.
- Expand and improve all other public services and facilities commensurate with need and population growth.

Conservation and Environmental Protection

- Provide for cluster design, as mentioned above, to conserve open space and natural amenities in residential subdivisions and projects.
- Restrict unsewered development in all areas with less than five (5) foot depth to seasonal high water table.
- Establish a system of conservation areas which are designed to limit or restrict development in wetlands, along streams, and in undeveloped bay front locations; promote appropriate recreational uses in these conservation areas.
- Limit the type and scale of development west of the Parkway in accordance with Pinelands regulations.
- Retain and improve the village atmosphere and identity of Waretown center by regulating land uses, and the design of new facilities and by promoting the restoration, reuse, and maintenance of older structures.

1999 Goals and Objectives

The 1999 Master Plan Update added the following goals and objectives to the municipal master plan.

General Development Goals

- Encourage the use of best management policies for all development to ensure the least negative impact on the overall quality of residential life and the environment in the Township.
- Review and continually update, as needed, the various codes and development standards and maintain an aggressive code enforcement policy to ensure the highest quality of life within the Township.
- Review and continually update the permitted uses within each zone to ensure that only those uses compatible with the land capacity to support them are permitted.

Residential Development

- Maintain and enhance the existing single-family residential neighborhoods. Develop programs which will encourage the upgrading of these neighborhoods.
- Ensure that any conversion of seasonal residential units to year-round residential uses is accomplished in a manner consistent with all applicable codes and standards.
- Encourage development of new residential housing units in areas that are served with adequate infrastructure including water, sewer, stormwater management, and streets, so as to minimize any negative environmental impacts.

Commercial Development

- Encourage the development of commercial uses in the Waretown Coastal Village designated area along the Route 9, Main Street Corridor.
- Review economic development and redevelopment programs to encourage both new construction and conversion of existing non-commercial uses to viable commercial activities.
- Encourage owner-occupied commercial uses in selected areas of the Townships.
- Review and update as required the home occupation and “cottage industry” commercial activities.
- Maximize the economic benefit of resource-based development with the lowest possible negative environmental impact.

Industrial Development

- Encourage the use of incentive programs which promote industrial development that provide the maximum positive tax revenue at the least possible municipal cost impact.

2005 Waretown Town Center Goals and Objectives

The goal of the 2005 Master Plan Reexamination was to provide the planning framework and foundation for the implementation of the Township's proposed Waretown Town Center, which was included in the Township's application for Plan Endorsement from the New Jersey State Planning Commission. The following goals specific to the Waretown Town Center were added to the master plan with the 2005 Master Plan Reexamination Report:

General Goals

- Create an attractive, diverse, and vibrant center consisting of mixed-use development, open space, civic buildings and residential uses.
- Create safe trail linkages between the destination nodes in the center, municipal facilities, elementary schools, and the Barnegat Bay (across Route 9).

Land Use Goals

- Create a pedestrian friendly town, easily accessible from neighboring residential areas.
- Provide essential services to residents.
- Develop a Center at a density that creates a sense of place, encourages pedestrian activity and uses infrastructure efficiently.

Environmental Goals

- Protect environmentally sensitive lands and direct growth towards areas of Township with existing infrastructure.

Housing

- Encourage a variety of housing types suiting the needs of all income and age levels.
- Incorporate low and moderate income housing in Centers in accordance with the State Development and Redevelopment Plan and Council on Affordable Housing regulations.

Circulation

- Create pedestrian walkways, bikeways, and other pathways to enhance both the ability and desirability of walking and bicycling.
- Design the interior roadways of the Center to meet the needs of the car, pedestrian and bicyclists.
- Establish trails and greenways linking neighborhoods, schools, recreational facilities, community facilities and the Town Center.

Design

- Create building design which ensures privacy, safety and contributes to the long-term desirability of the community.
- Create small-town charm as a key design element for future development.

2005 Master Plan Reexamination Report-Recommended Changes to Town Center Objectives

While many of the policies outlined in earlier planning documents were still valid, changes in the Township's vision for the Town Center caused the need for a number of revisions to be made. These revisions were recommended and outlined in the 2005 Master Plan Reexamination Report. The following section of this report lists the 2005 Master Plan Reexamination Report-recommended changes, and provides commentary on how circumstances have changed in the period from 2005 onward.

The Extent to Which Major Problems and Objectives in 2005 Have Been Reduced or Increased

The extent to which the major problems and objectives in 2005 have been reduced or increased, as well as the validity of the recommendations of the 2005 Master Plan Reexamination Report, is discussed in the following subsections.

Status of 2005 Master Plan Reexamination Report-Recommended Changes to Town Center Objectives

This section evaluates the status of recommended changes to the objectives of 2005. Commentary on the extent to which the objective has been reduced or increased is provided in italics.

- Rezone the I-1 and I-2 properties to environmentally sensitive land use designation outside of the Waretown Town Center and to land use classifications consistent with the proposed Waretown Center concept plan within the center boundaries. *This has been completed and can be removed as an objective.*
- Limit sewer and water infrastructure to the Township's Town Center and those areas of the Township within Planning Area 2 and amend the Township's Wastewater Management Plan and Utility Plan Element accordingly. *This has been completed and can be removed as an objective.*
- Rezone the C-3 district near the Garden State Parkway to R-2 Residential. *This has been completed and can be removed as an objective.*
- Investigate the creation of a transfer of development rights (TDR) program in Ocean. *The Township has opted to enact a non-contiguous clustering ordinance instead of a TDR program. A draft ordinance has been prepared and requires town action and review.*
- Incorporate the Route 9 Phase 1 Redevelopment Plan and Edgemont Redevelopment Plan into the Land Use Plan Element of the Master Plan. *These redevelopment plans have been incorporated into the Township's zoning map.*
- Replace the 2000 Economic Redevelopment Plan with a comprehensive redevelopment plan to implement the remainder of the Waretown Town Center consistent with the proposed concept plan and vision for the center, with the plan limited to boundaries of the center as currently proposed. *The Waretown Town Center Redevelopment Plan was completed in 2013.*
- Investigate the designation of the entire Route 9 corridor as either an area in need of redevelopment or area in need of rehabilitation and prepare a redevelopment plan for the corridor. *Several redevelopment plans for this corridor have been adopted, however this is still a valid objective.*

- Include the affordable housing sites identified in the Township's Housing Element and Fair Share Plan into the Land Use Plan. *This is still an on-going objective and should be added to an update of the Land Use Plan amendment.*
- Locate new Township municipal facilities within the center in the areas noted on the Center Concept Plan. *This is no longer an objective of the Township and should be removed.*
- Amend the Township's Open Space and Recreation Plan and ROSI to be consistent with the Waretown Town Center Concept Plan and work with NJDEP Green Acres on needed diversion of existing ROSI properties to implement the Township's Town Center plan. *An update of the existing Open Space and Recreation Plan is a recommended item for this Master Plan update.*
- Update the Township's circulation plan element as follows (*Updating the circulation plan will be an item in the 2015 Master Plan update, which is a part of this document*):
 - Show the road network in the proposed concept plan area of the Waretown Center. *This has been completed in the 2013 Waretown Town Center Redevelopment Plan.*
 - Complete the improvements currently under construction at the Parkway interchange and identify them in the plan. *This has been approved and is pending construction. It can be removed as an objective.*
 - Amend the road alignment for the proposed Volunteer Way extension to avoid existing wetlands and floodplain areas along Waretown Creek, with the new Volunteer Way to be the main direct route into to the Township. *This has been approved and can be removed as an objective.*
 - Re-align existing Route 532 west of Waretown Creek to create a new signalized 'T' intersection with the Volunteer Way extension. *This has been approved.*
 - Create a pedestrian and bikeway system consistent with the proposed Waretown Town Center concept plan. *Efforts to do so should piggyback of the existing Barnegat Branch Trail.*
 - Improve pedestrian crossings at key nodal locations on Route 9. *Updating the circulation plan will be an item in this Master Plan update.*
 - Investigate lowering speed limits on Route 9 and Wells Mill Road within the Center. *This can be removed as an objective.*
 - Incorporate traffic calming techniques into the center design. *Updating the circulation plan will be an item in this Master Plan update.*
 - Incorporate the Highway Management Access Code into the Circulation Plan Element and Township Zoning Ordinance and development regulations.

While this has not been implemented in the Circulation Plan Element or the Township Zoning Ordinance, the Highway Management Access Code has been included in planning and implementation agreement as part of the Township's Plan Endorsement process.

Recommendations of the 2005 Reexamination Report

The 2005 Reexamination Report and Land Use Element recommended a number of changes to the Zoning Map and the Land Development Ordinance Provisions. An updated Summary of Recommendations of the 2005 Reexamination Report with the 2015 Planning Board's recommendations to bring those recommendations up to date is provided below. Commentary on the extent to which the objective has been reduced or increased is provided in italics:

2005 Master Plan Recommended Changes

- Reduce residential development that has a negative financial impact on the Township. *This is still relevant.*
- Encourage, through land development standards, the protection of open space. *This is still relevant and more of a priority, post-Sandy.*
- Continue to balance all forms of development through the use of smart growth principles and sustainability planning. *This continues to be an ongoing objective.*

Recommended Land Use Plan Changes

- Make no changes to Block 39, leave as existing R-2 with housing overlay. *This area has been rezoned to EC (Environmental Conservation) and is no longer applicable.*
- Change the minimum lot size in the R-2 Residential Zone from 20,000 SF/lot to 43,560 SF. Any lot of record at the time of enactment of the change in minimum lot size that meets the requirements in effect at that time is to be considered a buildable lot as to minimum lot size and will not require a variance. *The current lot size minimum for the R-2 Residential Zone is 2 acres. There is no recommendation to change this at this time.*
- Change the minimum lot size in the R-1 Residential Zone from 12,500 SF to 30,000 SF. Any lot of record at the time of enactment of the change in minimum lot size that meets the requirements in effect at that time is to be considered a buildable lot as to minimum lot size and will not require a variance. *The minimum lot size in the R-1 Residential Zone is currently 1 acre. However, 98% of the lots currently zoned R-1 do not meet this minimum lot size. It is recommended that lot size minimums for the R-1 districts are changed based on the standard neighborhood lot size to expedite the rebuilding process as the Township recovers from Hurricane Sandy.*

- Change the minimum lot size in the R-1A Residential Zone from 8,000 SF to 20,000 SF. Any lot of record at the time of enactment of the change in minimum lot size that meets the requirements in effect at that time is to be considered a buildable lot as to minimum lot size and will not require a variance. *The minimum lot size in the R-1A Residential Zone had been changed to 12,500 square feet. However, 93% of the lots currently zoned R-1A do not meet the minimum lot size. It is recommended that lot size minimums for the R-1A districts are changed based on the standard neighborhood lot size to expedite the rebuilding process as the Township recovers from Hurricane Sandy.*
- Establish a conservation set-aside program, which would utilize a maximum building lot provision within the residential zones. *The Township has developed and adopted noncontiguous cluster provisions.*
- For any development on properties east of the Garden State Parkway within the approved sewer service area, require that they be connected to public sewer. *This is still relevant.*
- Consider revising the definitions of an improved road to allow for roads which are less than 30' in cartway width and do not have curbs and sidewalks to be used under certain circumstances. *In residential areas, the Township should maintain consistency with the Residential Site Improvement Standards (RSIS; NJAC 5:21 et al.)*

The Extent to Which There Have Been Significant Changes in the Assumptions, Policies and Objectives

The following changes in the assumptions, policies and objectives relating to land use and development in Ocean Township are noted:

Changes at the Local Level

As indicated in the following subsections, there have been considerable changes at the local level since the adoption of the 2005 Master Plan Reexamination Report.

Hurricane Sandy

Hurricane Sandy struck the coast of New Jersey on October 29, 2012, and brought extensive damage to Ocean Township from both storm surge and wind damage. The Township reported that 87 properties within the Township's jurisdiction faced substantial damage. Five of the Township's sewage pump stations went offline due to floodwater inundation and/or power system failure. Trees and power lines throughout the Township also fell, in some cases damaging roofs and buildings. The Township also faced total power outages for 14 days.

Hurricane Sandy exposed several of the Township's vulnerabilities, including: the fact that land to the east of Route 9, which is the most flood prone area of the Township, is largely built out; there are limited options for relocating debris after major storms; the building that houses the municipal



zoning and construction departments has no generators; the municipal building's generator is 30 years old; the Township's community center has no generator and is in a flood zone; and, erosion from the Barnegat Bay shoreline compounds vulnerability.

With the impacts of Hurricane Sandy so great and the vulnerabilities so significant, Ocean Township has serious concern and reason for promoting not only recovery from Sandy, but also building resiliency to future storm impacts and other potential natural hazards. While the current 2015 Master Plan Reexamination Report is broad in scope, the experience of Hurricane Sandy and the need to build resiliency has influenced and informed its development.

Strategic Recovery Planning Report

As a response to Hurricane Sandy, Ocean Township adopted a Strategic Recovery Planning Report in 2014. The purpose of the Strategic Recovery Planning Report is to outline a recommended set of actions to guide the Township in promoting recovery from the impacts of Hurricane Sandy and resiliency to future storms.

The actions recommended by the Strategic Recovery Planning Report are as follows:

- Stabilizing the bay shoreline by installing riprap;
- Installing new generators at Township Hall, the Department of Public Works complex, the Construction and Zoning building, and the first aid building;
- Allocating a place for Township debris removal;
- Providing more radios for emergency communication;
- Updating the Comprehensive Master Plan;
- Installing a town-wide Supervisory Control and Data Acquisition (SCADA) system;
- Automating and upgrading the zoning and construction permit program;
- Reviewing and updating zoning in the waterfront development districts as it relates to resiliency;
- Preparing a Capital Improvement Plan identifying needed capital investments in public facilities to improve local resiliency;
- Updating the Floodplain Management Plan;
- Developing a GIS database/inventory of Township-owned infrastructure and low elevation aerial mapping to support future planning efforts;
- Compiling low-elevation aerial mapping of identified special flood hazard areas;



- Continuing to increase participation in FEMA's CRS program, including improving the Township's rating and promoting education and awareness among residents; and
- Evaluating the relevancy of green infrastructure techniques and engineering controls that could further enhance resiliency within the Township.

Implementation of the recommendations that have been listed above will promote recovery from Hurricane Sandy and increased resiliency to future storms. Where relevant, individual actions are discussed elsewhere in this report.

Demographic Changes

Ocean Township's population has continued to grow at an exceptional pace. In the period between 2000 and 2010, the Township's population grew by 29.2 percent, which is significantly higher than the growth of 12.8 percent and 4.5 percent experienced by Ocean County and the State of New Jersey, respectively. This is a long-standing trend, which is demonstrated by the fact that the average rate of decennial population change since 1930 has been 30.0 percent in Ocean Township, 28.4 percent in Ocean County, and 10.4 percent in New Jersey. Indeed, the Township's population, as well as that of the county, has grown at a much faster pace than the State of New Jersey's since 1930. The period of largest population growth for both Ocean Township and Ocean County was between 1950 and 1980. This period of growth was most likely spurred by the construction of the Garden State Parkway, which provided travelers with faster, more direct access to Ocean Township and Ocean County from New York City and Northern New Jersey. From 1950 to 1960 population growth increased by 77.1 percent in the Township and 91.2 percent in the county. From 1960 to 1970 population growth in the Township saw its largest single decennial increase at 141.3 percent, while it was at 92.6 percent in the county. From 1970 to 1980 population growth increased by 67.9 percent in Ocean Township and 66.0 percent in Ocean County. With decennial population increases in the double digits, population growth has continued to remain higher in Ocean Township and Ocean County than in the State of New Jersey.

Table 1: Population 1930–2010

	Ocean Township		Ocean County		New Jersey	
	Population	Change	Population	Change	Population	Change
1930	387	—	33069	—	4,041,334	—
1940	427	10.3%	37,675	13.9%	4,160,165	2.9%
1950	520	21.8%	56,609	50.3%	4,835,329	16.2%
1960	921	77.1%	108,240	91.2%	6,066,782	25.5%
1970	2,222	141.3%	208,470	92.6%	7,171,112	18.2%
1980	3,731	67.9%	346,038	66.0%	7,365,011	2.7%
1990	5,416	45.2%	433,203	25.2%	7,730,188	5.0%
2000	6,450	19.1%	510,916	17.9%	8,414,350	8.9%
2010	8,332	29.2%	576,567	12.8%	8,791,894	4.5%
Average	—	30.0%	—	28.4%	—	10.4%

Source: US Census Bureau

In the period from 2000 to 2010, the Township’s population has aged. The percentage of 2000 and 2010 populations by age group are listed for Ocean Township and Ocean County in Table 2. From 2000 to 2010 the Township saw a decrease in the percentage of the population under the age of 45 and conversely, an increase in the percentage of the population aged 45 and over. The largest percentage increase in Ocean Township’s population occurred in those over the age of 65, who went from being 13.7 percent of the population in 2000 to 24.4 percent of the population in 2010. Within Ocean County as a whole, the percentage of the population under the age of five, ages 15 to 24, and ages 45 to 64 increased between 2000 and 2010. The percentage of Ocean County residents aged 5 to 14, 25 to 44 and over 65 decreased between 2000 and 2010. The median age in the Township (49.6 in 2010) increased by nearly 12 years between 2000 and 2010, while the median age in the county (42.6 in 2010) increased just slightly by a little more one and one-half year during the same time period.

Population trends within Ocean Township are influenced by a variety of factors including national, state, and regional economic conditions, social changes, and government policy. Changing birth rates, changing employment trends and consumer preferences, the availability of land, flood insurance rates, and other factors can affect future development within the Township. The planning board should monitor population growth and composition and review its planning program to determine how the needs and desires of present and future residents of Ocean Township may be changing.

Table 2: Population Distribution 2000 and 2010

	2000 Population		2010 Population		Change (2000–2010)	
	Township	County	Township	County	Township	County
Under 5	5.8%	6.3%	4.2%	6.7%	-1.60	0.40
5-14	15.6%	13.3%	8.9%	12.8%	-6.70	-0.50
15-24	10.9%	10.2%	10.2%	11.3%	-0.70	1.10
25-34	13.1%	11.2%	9.4%	10.6%	-3.70	-0.60
35-44	17.2%	14.9%	10.6%	11.6%	-6.60	-3.30
45-54	13.5%	12.4%	14.9%	13.6%	1.40	1.20
55-64	10.3%	9.5%	17.4%	12.3%	7.10	2.80
65 and Over	13.7%	22.1%	24.4%	21.0%	10.70	-1.10
Total	100.0%	100.0%	100.0%	100.0%	0.00	0.00
Median Age	37.7	41.0	49.6	42.6	11.9	1.6

Source: US Census Bureau

With regard to household size, it is noted that the average household size in Ocean Township at the time of the 2010 US Census was 2.39 persons, which is lower than the average household size of 2.58 persons in Ocean County. A potential explanation for this is the higher median age in Township. Senior populations tend to live in smaller households due to a lower number of children present. The US Census Bureau defines a household as one or more persons, whether related or not, living together in a dwelling unit.

With regard to the number of households in Ocean Township it is noted that there were a total of 3,483 in 2010. This is a 42.4 percent increase over the 2,446 households that existed in 2000. The number of households in a particular area is synonymous with the number of occupied housing units. Thus, in 2010, there were 3,483 occupied housing units in Ocean Township. In 2010, there were also 808 vacant housing units in the Township, which results in a total of 4,291 housing units in Ocean Township at the time of the 2010 US Census.

With regard to the number of housing units that have been developed in the period since the time of the 2010 US Census, it is noted that the New Jersey Construction Reporter indicates that a total of 228 certificates of occupancy and 67 demolition permits have been issued from April 1, 2010 through June 2014. This results in a net of 161 new residential housing units. When added to the number of housing units reported by the 2010 US Census, it is estimated that there were 4,452 housing units in June 2014.

Amended Land Use Plan Element, 2003

This Amended Land Use Plan Element serves as one aspect of Ocean Township’s continuing effort to upgrade and refine its planning documents. The Plan establishes

Ocean's long-range land use planning objectives and serves as a guide for the Township's officials in making decisions about land use and development within the Township. It has been designed to permit growth and development in the Township consistent with state and regional plans. The Plan seeks to update the Township's planning policies in accordance with the State Plan, continue to provide a high quality of life for Township residents, promote environmental protection, and to encourage growth and development where appropriate.

The Plan includes an outline of the Land Use Board's recommendations for changes in zoning, bulk regulations, and design standards based on a review of the previous Land Use Plan.

Land Use Plan Element Amendment—Environmental Conservation and Bayfront Conservation Areas, 2006

This amendment created an Environmental Conservation (EC) district and expanded an existing Bayfront Conservation (BC) district in an effort to focus development from environmentally sensitive areas east of the Garden State Parkway within Ocean Township into the Town Center, which is more appropriate for development. Other benefits include the preservation of the environmental and open space amenities for all residents in the Center and surrounding areas and to create a green belt around the Center to delineate its boundaries.

The Township's creation/expansion of the EC and BC districts serve as an example of its efforts to support sustainability and resiliency, and to be consistent with smart growth principles. Other examples of such include: the Township receiving Plan Endorsement from the New Jersey State Planning Commission, center designation, and consistency with CAFRA principles.

Review of Land Use Designations

Given the experience of Hurricane Sandy and the need to build resiliency to the impacts of future storms and other potential natural hazards, the Township is currently conducting a review of its zoning and underlying land use designations.

This review has focused upon the Township's waterfront zones and has indicated that there is a need for distinct regulations for waterfront properties and zone districts, specifically with regard to: minimum lot sizes and setback requirements; decks; sheds; preservation of viewsheds; placement of above-ground pools and hot tubs; storage of recreational vehicles; and, parking. It has also indicated that there is a need for clarification of particular terms (e.g., front yard area, attached, and one-half story) in the Township zoning ordinance; and, the elimination of zoning ordinance conflicts with the

Municipal Land Use Law and existing case law (viz., Undersize Lots at Section 410-6.C of the Township code). This work was ongoing as of the preparation of the 2015 Master Plan Reexamination Report.

Open Space and Recreation Plan, 2002

The goal of the 2002 Open Space and Recreation Plan is to preserve open space and natural lands for a range of recreational uses and for historical and environmental benefits. A number of objectives and action items, as described below, are suggested to help implement this goal. Action items that should be added to help increase resiliency within Ocean Township are written in italics.

- Improve the quantity, variety, and quality of useable active and passive open space
 - In coordination with the Department of Parks and Recreation, the Township Committee will review and revise standards and policies to clarify the role of public and private open space in meeting recreation and open space needs.
 - The Land Use Board and Township Committee will review and revise the development regulations to ensure that necessary areas for useable active and passive open space of the appropriate size and location are designated at the beginning of the development process
 - The Township will develop standards that enhance the viability of natural systems when adding lands to the public open space inventory
 - Additional public access to the Barnegat Bay should be provided while preserving the natural assets in a manner consistent with the Township’s Master Plan
 - *Promote living shoreline and green infrastructure projects through a variety of measures, including open space acquisition*
- Provide open spaces which contribute to building and maintaining community and neighborhood identity
 - New recreational facilities should be developed in locations accessible to existing and future neighborhoods
 - Pedestrian and bikeway linkages should be provided between residential areas and public active and passive open space (*the Barnegat Branch Trail provides some of these linkages*)
 - Recreational and open space lands should be located to act as a focal point for community activities
- Maintain and enhance the natural environment by preserving lands for passive open space and resource conservation

- Undeveloped land and natural areas should be identified to meet future open space needs as set forth in the open space and recreation plan
- The Township will review programs that provide and protect open space lands and recommend ways to enhance public and private mechanisms for acquisition and protection of these areas
- The Township will promote the establishment of passive open space areas and greenways, which provide both community benefits and the continued viability of natural systems and wildlife corridors.
- Coordinate the acquisition, use, and management of open space lands
 - Township departments and boards should work together to develop programs and facilities that will maximize the potential for multiple and common use of public lands for open space and recreation.
 - The acquisition of open space should be coordinated to enhance joint State, County, and municipal needs and goals
 - The Township will develop joint management plans and agreements to use State, County, and private recreational land to meet overall recreational needs
 - *Encourage buyouts of flood prone properties through partnerships with NRCS, Blue Acres, and other funding sources.*

Zoning Board of Adjustment Annual Reports

The Ocean Township Zoning Board of Adjustment releases an annual report that covers the Board's actions in each calendar year. The board works with applicants to develop improved designs and reduce the intensity and quantity of variances, often reducing the number requested. Summaries of the Board's actions from 2007- 2014 can be found in the following table.

Table 3: Zoning Board of Adjustment Annual Report Data

Year	Total Applications	Approved	Denied	Dismissed	Total Variance Requests	Most Frequent Variance	Number	Zone with Most Variances Requested	Number
2007	26	16	1	1	31	Lot Building Coverage	10	R-1A	11
2008	24	20	4	0	25	Lot Building Coverage	9	R-1A	11
2009	20	19	1	0	30	Side Yard Setbacks	6	R-1A	14
2010	11	9	0	2	15	Setbacks/ Rear	5	R-1	5
2011	6	6	0	0	10	N/A	2	R-1A	5
2012	12	9	0	2	14	Lot Area	4	R-1/ R-1A	5
2013	9	9	0	0	26	Lot Frontage & Side Yard Setback	8	R-1A	16
2014	13	12	1	0	20	Yard Encroachment	5	R-1A	7

Source: Ocean Township Zoning Board of Adjustment Annual Reports 2007–2014

Changes at the County Level

Since the adoption of the 2005 Master Plan Reexamination Report, there have been several changes at county level, including the adoption of the 2011 Ocean County Comprehensive Master Plan and the 2014 Ocean County Multi-Jurisdictional All Hazard Mitigation Plan.

2011 Ocean County Comprehensive Master Plan

The Ocean County Planning Board adopted a comprehensive master plan in 2011. The Comprehensive Master Plan serves as a county policy statement about the future development of Ocean County. While it makes no statements that are explicitly relevant to future land use planning within Ocean Township, it does make a number of recommendations that are relevant to the recovery from Hurricane Sandy and the promotion of resiliency to future storm impacts and other potential natural hazards in Ocean County. These include (*commentary in italics*):

- Encourage the New Jersey Department of Transportation to modernize and upgrade state highways throughout Ocean County, including Route 9, NJ Route 35, NJ Route 37, NJ Route 70, NJ Route 72, NJ Route 88, and NJ Route 166. *Modernizing and upgrading Ocean County's highways will improve mobility and facilitate the evacuation of Ocean Township in times of crisis, including during future storms. This is particularly true for Route 9, which provides a north-south connection through eastern Ocean Township, and intersects with numerous state highways and other roadways that provide connections to the west.*
- Encourage the retention of established residential neighborhoods and the rehabilitation of the county's older housing stock. Facilitate participation in home rehabilitation and historical preservation grant programs, where applicable. *Home rehabilitation may help to improve the structural integrity of existing housing stock. This, in turn, provides extra security and protection during extreme weather events, such as hurricanes and storms.*
- Encourage low-impact design techniques to minimize the disturbance of natural areas and maximize the recharge of stormwater on-site. *Maximizing the recharge of stormwater on-site may help to decrease the incidence of flooding.*
- Support the tourism amenities and needs of shore towns and continue to facilitate the protection and replenishment of county's beaches and shoreline areas. *Protection and replenishment of the county's beaches and shorelines areas, including those along Barnegat Bay in the eastern part of Ocean Township, will help the county to cope with future hurricanes and storms and mitigate their impacts.*
- Continue to support the Ocean County Agriculture Development Board (OCADB) in its mission to protect and enhance the county's agricultural resources. *Preservation of farmland helps to reduce vulnerabilities to storms by protecting and promoting agricultural land uses. Such land uses typically have a very low amount of impervious cover, and consequently support the infiltration of stormwater.*
- Maintain an ongoing evaluation of the recreational needs of Ocean County residents, and assist in identifying new park and open space areas, as necessary. *Expansion of park and open space areas, particularly in the eastern part of Ocean Township, will help to preserve and protect natural and other areas with low impervious surface cover. This supports the infiltration of stormwater. Additionally, it eliminates the potential that such areas will be converted to residential uses. This helps to restrict population development in areas that may be vulnerable to hurricanes and other storms. It also protects the local and regional economy by guiding non-residential development (such as commercial and industrial uses) away from areas that may be susceptible to disturbance and interruptions caused by extreme weather events.*

- Continue to work with all federal, state, local, and non-profit partners to acquire open space and maximize financial resources available for preservation. *As has been previously noted, expansion of open space areas promotes resiliency to future hurricanes and storms.*
- Continue to assist the State of New Jersey in the implementation of the Governor's Ten-Point Plan for Barnegat Bay. *Key parts of the Governor's Ten-Point Plan that will help to protect Ocean Township and promote resiliency to extreme weather events include: funding stormwater mitigation projects and acquiring land in the watershed.*
- Encourage land use planning strategies such as low-impact design to preserve open space and maximize the natural infiltration of stormwater. *Preservation of open space and maximization of stormwater infiltration helps to minimize flooding and promotes resiliency to future hurricanes and storms.*
- Explore and assess best management practices used by other areas in the country to address stormwater management. *Effectively addressing stormwater management helps to minimize flooding and promotes resiliency to future hurricanes and storms.*
- Continue to assess structural and nonstructural options for stormwater management to increase infiltration, remove debris, and reduce nutrient and pollution loads. *Increasing infiltration will help to reduce flooding. Additionally, removing debris will help to increase the efficiency of existing stormwater management facilities.*
- Encourage compliance with new legislation that requires the New Jersey Department of Transportation to address stormwater management issues on state highways, including Route 9, NJ Route 35, NJ Route 37, NJ Route 70, NJ Route 72, NJ Route 88, and NJ Route 166. *Addressing stormwater management issues along highways will help to minimize their impacts and increase their safety. This is particularly important as highways generate stormwater runoff, and may serve as evacuation routes during emergencies.*

If implemented, the recommendations that have been listed above will promote recovery from the impacts of Hurricane Sandy and build resiliency to future storm impacts and other potential natural hazards in Ocean Township and the county at large.

2014 Ocean County Multi-Jurisdictional All Hazard Mitigation Plan

The 2014 Multi-Jurisdictional All Hazard Mitigation Plan is intended to provide a blueprint for saving lives and reducing property damage from the effects of natural and man-made disasters in Ocean County, as well as to improve community resiliency following disastrous events. The Multi-Jurisdictional All Hazard Mitigation Plan is also intended to fulfill state and federal legislative requirements related to local hazard mitigation planning, and facilitate access to pre- and post-disaster grant funding.

The Multi-Jurisdictional All Hazard Mitigation Plan is comprehensive in scope, and outlines a mitigation strategy that is centered on the following countywide goals and objectives:

- Encourage sustainable development to protect people, property, community resource and the environment from natural and human-made disasters.
 - Meet and exceed minimum standards of the National Flood Insurance Program.
 - Manage building code, land use code, ordinance and other planning mechanisms to prevent and mitigate the impact of disasters on people and property.
 - Improve information available for mitigation planning.
 - Coordinate and increase applications for federal and state grant programs.
 - Integrate and leverage other planning mechanisms from: neighboring jurisdictions; local, county and regional organizations; and, state partnerships to implement the plan.
 - Improve shelter management.
- Build and rebuild structures and infrastructure to protect people, and to reduce impacts of future disasters.
 - Increase the number of residential properties protected from hazards.
 - Increase the number of community resources and amount of infrastructure protected from hazards.
 - Improve the ability of critical facilities and infrastructure to safely operate during storms and utility interruptions.
 - Improve evacuation capability.
- Protect and restore the natural environment to support disaster resiliency.
 - Improve the health of natural systems to safely and naturally accommodate flooding and wildfire.
 - Improve the health of natural systems used to protect residential properties and other community resources.
 - Plan for increased open space in the most vulnerable areas.
 - Promote appropriate urban-wild land interface for wildfire mitigation.
- Promote education, awareness and outreach before, during and after disaster.
 - Improve and expand information and opportunities for input available by television, radio, websites, social media, newsletters, and meetings.
 - Increase participation in mitigation programs, including the Community Rating System, StormReady, and FireWise programs.
 - Tailor timely messages for audiences, including children, parents, community groups, universities, seniors and other groups.
 - Improve alert and warning systems.

In addition to the above, the 2014 Multi-Jurisdictional All Hazard Mitigation Plan identifies the following Ocean Township-specific actions to mitigate hazards:

- Acquire flood-prone residential properties;
- Adopt Advisory Base Flood Elevation maps;
- Continue junior police academy program;
- Continue or develop a CERT Team;
- Continue or develop a “We Care” program;
- Continue or develop fire & police outreach in schools;
- Continue to enforce building codes;
- Continue to participate in the National Flood Insurance Program (NFIP);
- Develop and implement shelter management plans;
- Elevate residential properties;
- Implement erosion control related projects;
- Implement flood control related projects;
- Install riprap along shoreline;
- Join, maintain, or increase rating for CRS program;
- Maintain and improve information on municipal website and Facebook;
- Maintain, improve, and expand education and awareness programs; and,
- Relocate community facilities/ infrastructure.

Barnegat Branch Trail Conceptual Plan

The Barnegat Branch Trail Conceptual Plan was prepared in 2007 with the primary goal of enhancing the recreational use of the proposed Trail corridor through increased access and visibility and improved physical conditions. The Barnegat Branch trail is a rail trail project planned to connect Barnegat Township to Downtown Toms River along old railroad Right-of-Ways. All portions of the project within Ocean Township have been completed, and are consistent with Ocean Township’s goals for Transportation and Public Facilities, as outlined in the 1982 Master Plan.

Ocean County Comprehensive Farmland Management Plan

The overall goal of the Comprehensive Farmland Management Plan is to support the promotion and retention of Ocean County’s agricultural industry through farmland preservation. This is primarily done through a variety of techniques, including purchasing of development easements, donation of development easements, fee-simple acquisition of farmland, and other techniques.

This plan acknowledges the preserved Hammarstrom Farm in Ocean Township. However, no portion of Ocean is located within an Agricultural Development Area,

which is identified as an area where agricultural uses are preferred. This Plan specifies that the county's future farmland preservation efforts will focus on its designated Agricultural Development Areas. It follows that Ocean Township will not be a focus of the future farmland preservation program that is envisioned by the Comprehensive Farmland Management Plan.

It is important to note that the retention and expansion of agriculture in Ocean Township (as well as in Ocean County as a whole) is generally supportive of reducing vulnerabilities to storms, as agricultural lands typically have a very low amount of impervious cover and support stormwater infiltration.

Changes at the State Level

As indicated in the following subsections, there have been considerable changes at the state level since the adoption of the 2005 Master Plan Reexamination Report.

State Development and Redevelopment Plan/State Strategic Plan

The New Jersey State Planning Commission is now staffed by the Office of Planning Advocacy, which is located within the Department of State. The Office of Planning Advocacy has released a draft State Strategic Plan to supersede the current State Development and Redevelopment Plan. Public Hearings were held in February, March, and September of 2012. The draft State Strategic Plan is based upon a criteria-based system rather than a geographic planning area. The draft State Strategic Plan has not been adopted by the State Planning Commission at this time and was put on hold following Hurricane Sandy. Ocean Township should continue to monitor the progress of the new plan and its implication for future planning in the Township.

The 2001 State Development and Redevelopment Plan remains current.

Affordable Housing (COAH)

COAH originally adopted rules affordable housing rules for the third round period in 2004. However, an Appellate Division decision in 2007 stayed COAH from reviewing any plans as part of a petition for substantive certification, and resulted in a remand of the 2004 rules back to COAH to revise them consistent with the Appellate Division decision. COAH subsequently adopted revised third round rules in 2008.

In 2010, the Appellate Division invalidated COAH's 2008 third round rules, and the "growth share" methodology upon which they were based. In 2013, the New Jersey Supreme Court upheld and modified the Appellate Division's 2010 decision that invalidated COAH's third round rules. As a result, COAH was then charged with the task of adopting new affordable housing rules.

COAH has since failed twice to adopt new affordable housing rules for the third round period. Due to COAH's failure to adopt such rules, the New Jersey Supreme Court concluded on March 10, 2015 that there no longer exists a legitimate basis to block access to the courts, which was the original intent of the COAH process. The New Jersey Supreme Court's March 10 decision notes that: "parties concerned about municipal compliance with constitutional affordable housing obligations are [now] entitled to such access, and municipalities that believe they are constitutionally compliant[,] or that are ready and willing to demonstrate ... compliance [with such obligations,] should be able to secure declarations that their housing plans and implementing ordinances are presumptively valid in the event they ... must defend [themselves] against exclusionary zoning litigation."

In its March 10 decision, the New Jersey Supreme Court established a transitional process to not immediately allow exclusionary zoning actions to proceed in court. The decision notes that: "[d]uring the first thirty days following [June 8, 2015] ..., the only actions that will be entertained by the courts will be declaratory judgment actions filed by any [municipality] ... that either (1) had achieved substantive certification from COAH under prior iterations of Third Round Rules before they were invalidated, or (2) had "participating" status before COAH. Assuming [that] any such [municipality] ... waits and does not file a declaratory judgment action during [the] ... thirty-day period, an action may thereafter be brought by a party against [the municipality] ..., provided the action's sole focus is on whether the [municipality's] ... housing plan meets its Mount Laurel obligations (a constitutional compliance challenge). The court's evaluation of a [municipality's] ... plan that had received substantive certification, or that will be submitted to the court as proof of constitutional compliance, may result in the [municipality's] ... receipt of the judicial equivalent of substantive certification and accompanying protection as provided under the [Fair Housing Act]"

Ocean Township has filed a plan with COAH. Therefore, the Township fulfills Criterion 2 as outlined in the transitional process that has been described above. The Township will, as a result, be able to file a declaratory judgment action immediately upon the March 10 decision becoming effective on June 8, 2015.

Garden State Parkway Widening

The New Jersey Turnpike Authority is currently an expansion of a portion of the Garden State Parkway, which runs through Ocean Township. This project will result in the widening of the Garden State Parkway from two to three lanes in each direction from mileposts 38 to 80, and installation of Express EZ Pass lanes at the Barnegat Toll

Plaza. Construction on Phase I of this project, which included the Ocean Township portion of the roadway, was completed in May 2011.

Complete Streets

In late 2009, the New Jersey Department of Transportation (NJDOT) adopted a Complete Streets Policy. A “complete street” is defined by the NJDOT as a “means to provide safe access for all users by designing and operating a comprehensive, integrated, connected multi-modal network of transportation options.” Seven (7) counties and 104 municipalities (as of July 2014) have adopted complete streets policies. The intent of the policy is to provide streets to meet the needs of all types of users and all modes of circulation- walking, bikes, cars, trucks, and buses.

Ocean Township should consider a Complete Street Policy.

Route 9 Corridor Master Plan

The Route 9 Corridor Master Plan focuses on the section of the corridor from South Toms River to Tuckerton Borough in Ocean County, New Jersey. In this area, Route 9 runs parallel to the Garden State Parkway and serves as the only alternate north-south arterial through the County. Historically, the road has been a rural, two-lane arterial, however recent development patterns have increased the number of cars on the road and created traffic congestion, safety, and environmental concerns. This corridor plan outlines six guiding principles for future development and redevelopment. The principles are as follows:

- Balance Regional Mobility and Local Access Needs
- Focus on Improving Capacity Where It Counts
- Reconnect and Enhance the Transportation Network
- Strengthen Community Character
- Provide Alternatives to the Car
- Match Growth with Infrastructure Limitations

Pinelands Comprehensive Management Plan

The Pinelands Comprehensive Management Plan (CMP) is intended to serve two functions: as a general guide for local authorities in preparing master plans and land use ordinances for certification by the Pinelands Commission, and as a planning and regulatory mechanism that can be adopted and enforced by the Commission if a county or municipality fails to secure certification.

The regulations and standards contained in the plan are designed to promote orderly development of the Pinelands so as to preserve and protect the significant and unique

natural, ecological, agricultural, archaeological, historical, scenic, cultural, and recreational resources of the Pinelands.

According to the CMP, municipalities that have land within the Pinelands Area must bring their master plan and land use ordinances into conformance with the minimum standards set forth in the CMP. Ocean was certified by the Pinelands Commission based on the Township's adoption of the Pinelands Area Master Plan and Pinelands Area Land Development Ordinance in 2001.

Under the guidance of the Pinelands Comprehensive Management Plan, the Pinelands National Reserve is carefully regulated to support and preserve the health of the ecosystem, while permitting compatible development. The Pinelands Commission has applied many smart growth and planning concepts such as watershed management, Transfer of Development Rights (TDR) including the Pinelands Development Credit Program (PDC), and timed growth and conservation planning.

Approximately 10,455 acres (38%) of the Township falls under the jurisdiction of the Pinelands Commission. This includes land to the west of the Garden State Parkway and south of the New Jersey Central Power and Light Company right-of-way. Most of the National Reserve that is not under the jurisdiction of the Pinelands Commission falls within the CAFRA regulatory jurisdiction where NJDEP is charged with implementing the Pinelands CMP.

Coastal Area Review Act (CAFRA)

CAFRA regulations apply to development projects near coastal waters. Generally, the closer the project is to the water, the more likely it will be regulated. The CAFRA zone for Ocean generally applies to land in the Township east of the Parkway, extending out to Barnegat Bay. Approximately 5,573 acres of the Township is under the jurisdiction of CAFRA.

The CAFRA divides the area of CAFRA jurisdiction into zones where development is regulated by varying degrees. The CAFRA law regulates almost all development activities involved in residential, commercial, or industrial development, including construction, relocation and enlargement of buildings, excavation, grading, shore protection structures, and site preparation.

Time of Decision

On May 5, 2010, Governor Christie signed P.L. 2010 c.9 into law, effectively nullifying the "time of decision" rule, which had previously allowed municipalities the ability to alter zoning requirements even after an application for development had been filed but before a formal decision on the application had been rendered. P.L. 2010 c.9 provides

that the development regulations applicable to a property at the time an application for development is filed will govern the review of the application and any decision made pertaining to it. P.L. 2010 c.9 was effective on May 5, 2011.

Solar and Wind Facilities as Permitted Uses in Industrial Zones

The Municipal Land Use Law was amended in 2008 to provide that solar and wind facilities on parcels of 20 acres or more shall be deemed as permitted uses in industrial zone districts. In addition, the definition of “inherently beneficial use” in the Municipal Land Use Law now includes a wind, solar, or photovoltaic energy facility or structure.

Stormwater Management

In 2004, the New Jersey Department of Environmental Protection (NJDEP) adopted municipal stormwater regulations that required preparation and adoption of a stormwater management plan and ordinance by the Township to address the need for promoting groundwater recharge and controlling the impacts of stormwater runoff from development. Ocean Township adopted a Municipal Stormwater Management Plan in 2008.

Green Buildings and Environmental Sustainability Element

Many New Jersey municipalities have endorsed efforts to reduce their carbon footprint, decrease greenhouse gas emissions, encourage the use of renewable energy sources, conserve energy, and minimize the use of natural resources. Federal and state programs have been established to assist municipalities to address these goals. In the private sector, the US Green Building Council, a private organization, has established the Leadership for Energy and Environmental Design (LEED) certification programs to encourage and standardize the certification of buildings, which are energy efficient and incorporate sustainable environmental design concepts.

Recognizing the importance of green building and sustainability, the Legislature amended the Municipal Land Use Law (MLUL) in 2008 to add the “Green Building and Environmental Sustainability Plan Element” to the list of optional elements of municipal master plans. The scope of the new element is as follows: “A green buildings and environmental sustainability plan element, which shall provide for, encourage and promote the efficient use of natural resources and the installation and usage of renewable energy systems, consider the impact of buildings on the local, regional, and global environment; allow ecosystems to function naturally; conserve and reuse water; treat storm water on site; and optimize climatic conditions through site orientation and design.”

Ocean Township should prepare a Green Building and Sustainability Element as a new element of the master plan.

Redevelopment Case Law

There have been a number of recent court decisions concerning the use of the criteria for determining an area “in need of redevelopment” pursuant to the Local Redevelopment and Housing Law. The most significant of these decisions is the New Jersey Supreme Court’s decision in *Gallenthin vs. Paulsboro*, which reevaluated and set guidelines for the use of the statutory criteria for determining an area in need of redevelopment. The New Jersey Legislature also held hearings in 2010 on legislation to update the New Jersey Redevelopment and Housing Law. In 2013, the legislation (Assembly Bill 3615) became law, and is intended to protect property owners by limiting the redevelopment powers of municipalities under the Local Redevelopment and Housing Law. This amendment raises the standard for a blight finding to one in which the property must be unproductive.

Given that some of the Township’s revitalization efforts are based on redevelopment, municipal officials should monitor these legal decisions and legislative initiatives. Further, the validity of any redevelopment area designation should be evaluated in light of the recent amendment.

Changes at the Federal Level

New FEMA Flood insurance maps are in the process of being adopted. These maps increase the flood zone and base flood elevations for some coastal areas of the Township. Property owners will need to take preventative measures to ensure they are in compliance with the new regulations.

Specific Changes Recommended for the Master Plan and Development Regulations

Given the extent to which there have been significant changes in assumptions, policies and objectives at the local, county, and state levels, the 2015 Master Plan Reexamination Report recommends a number of changes to the Township's municipal master plan and development regulations. These are discussed in the following subsections.

Changes to the Master Plan

A master plan amendment has been compiled and incorporated into this document. The following subsections outline the key points that are addressed in the amendment.

Update Master Plan Goals

The following goals of the 1982 Master Plan are recommended for deletion (*commentary in italics*):

- Residential Development and Housing:
 - Discourage major subdivisions and large-scale residential developments west of the Parkway. *Addressed through current zoning.*
 - Provide for the development of high- value, high amenity townhouse-type of condominium properties in selected bay front locations for the purposes of producing tax ratables and upgrading housing quality and diversity in the community. *Given the destruction from Hurricane Sandy, the Township should consider promoting development away from bayfront areas, or developing design standards that make future development along the water more resilient to future hazards.*
- Commercial and Industrial Development:
 - Provide for the development of employment and tax-producing, resource-based industrial activities in rural sections of the Township west of the Parkway, including sand/gravel extraction, wood and wood products, glass products, etc; provide for adequate access, setbacks, buffers, and performance standards in order to minimize environmental and aesthetic impacts. *This goal should be removed in order to make the master plan consistent with the sensitive environment and the area's location within the New Jersey Pinelands.*
- Transportation and Public Facilities:
 - Provide for the expansion of public sewer and water systems to serve all built-up areas and future development generally east of Route 9. *This has been completed.*
- Conservation and Environmental Protection:
 - Restrict unsewered development in all areas with less than five (5) foot depth to seasonal high water table. *This has been completed.*

Given the need to promote recovery and resiliency within the Township, the 2015 Master Plan Reexamination Report also recommends that the following goals and objectives be added to the municipal master plan:

- General Goals:
 - Promote public awareness of hazard mitigation and resiliency issues;
 - Focus public agencies on community vulnerabilities to hazards such as flooding;
 - Encourage regional solutions to flood- and storm-related impacts;
 - Ensure that future capital projects are designed and constructed to incorporate features that are resilient to storm- and flood-related impacts;
 - Automate, update and expedite the Township’s system for processing zoning and construction permits; and,
 - Increase participation in FEMA’s Community Rating System (CRS).
- Environmental Goals:
 - Stabilize bay shoreline by installing riprap or developing living shorelines;
 - Compile low elevation aerials to produce high-quality mapping with six-inch contour levels within identified special flood hazard areas;
 - Prepare a Green Buildings and Environmental Sustainability Element;
 - Update Stormwater Management Plan to include green infrastructure management techniques; and,
 - Update Floodplain Management Plan.
- Infrastructure and Utilities:
 - Install new generators at Township Hall, the Department of Public Works complex, the building that houses the Construction and Zoning, and the first aid building;
 - Create a Township Debris Management Plan including such components as allocating debris removal sites, collection strategies, and describes reduction methods;
 - Provide more radios for emergency communication;
 - Install a town-wide Supervisory Control and Data Acquisition (SCADA) system throughout the Township in conjunction with its owned and operated facilities to communicate critical alarms to a centralized location or operational personnel;
 - Prepare a Capital Improvement Plan that identifies needed capital investments in public facilities to improve local resiliency;
 - Develop GIS database and user interface to catalog and inventory all infrastructure owned by the Township, including roadways, its stormwater collection system, its sanitary sewer collection system, and residential and commercial property information;

- Develop GIS-based, low elevation aerial mapping to support future planning efforts;
- Update Township's Emergency Operating Plan;
- Elevate key municipal facilities above the Advisory Base Flood Elevation; and,
- Encourage Green Infrastructure projects.

Miscellaneous Changes

A Master Plan Amendment has been compiled and is included in this document. The following changes are recommended for the Master Plan:

- A land use plan amendment to facilitate the changes to development regulations that are recommended in this master plan reexamination (below);
- Update the Open Space and Recreation Plan to provide current mapping of the Township's recreation and open space network, encourage buyouts of flood-prone properties, and promote living shoreline and other green infrastructure strategies;
- Update the Circulation Plan Element to promote the development of bicycle and pedestrian connections in the Township; and,
- Update the Community Facilities Plan to provide current mapping of public facilities and other critical infrastructure within the Township.

Changes to Development Regulations

The 2015 Master Plan Reexamination Report recommends a number of changes to the Township's development regulations. These changes are outlined in the following subsections.

Zone Changes

In addition to the above, it would be prudent to change the zone district designation of certain areas of the Township. The areas where changes are recommended are illustrated in the map provided in Appendix A. The reasons for individual zone changes are described below:

1. Area to the east of Route 9 and south of Bay Parkway: Change zoning from BC to R-1A. *The area is surrounded by existing residential development, is located within the sewer service area.*
2. Area south of Lighthouse Drive and to the north of Hornblower Drive: Change zoning from R-1 to BC. *This area is outside of the sewer service area and is nearly entirely encumbered by wetlands.*
3. Area to the south of Bay Parkway and to the east of Spruce Street: Change zoning from BC to R-1A. *This area contains existing residential development.*

4. Area to the south of Admiral Way and to the west of the nearby lagoons (limited to two individual parcels adjacent to the WD zone): Change zoning from R-1A to WD. *This change will promote marine-oriented development.*
5. Area to the south of Tiller Drive and nearby lagoon: Change zoning from R-1 to WD. *This change will promote marine-oriented development.*
6. Area to the south of Pennsylvania Avenue and to the north of Bryant Road: Change zoning from R-1 to BC. *This area is outside of the sewer service area and is partially encumbered by wetlands.*

Waterfront Zoning Update

In addition to the above, and with specific regard to the Township's waterfront areas, it is necessary to revise and update the zoning in the Ocean Township's waterfront development districts to: promote sustainable development and resiliency to future Sandy-type storms; and, facilitate rebuilding and reinvestment by providing zoning standards that minimize non-conformities and reduce the number of bulk variances that may be required to rebuild dwellings damaged by Hurricane Sandy or future storm events.



Under current zoning regulations, the vast and overwhelming majority of the lots in the Residential Medium Density (R-1), Residential Medium/High Density (R-1A) and Waterfront Development (WD) zone districts are undersized or otherwise non-conforming. To aid in the recovery process and ensure that homes in these districts are rebuilt in a resilient manner, zoning regulations should be revised to better accommodate the typical lot size in each waterfront neighborhood. Revising zoning regulations in these zone districts can also minimize non-conformities and reduce the number of bulk variances that may be required to rebuild dwellings damaged by Superstorm Sandy or that may be damaged in future storm events. Furthermore, to preserve the character of each waterfront neighborhood, lot sizes should be reduced so that they are typical for the specific neighborhood in which they are located.

In addition to the above, it is noted that while townhouse development was previously a conditional use in the Waterfront Development (WD) zone district, the 2003 Amended Land Use Plan Element recommended that townhouse development be eliminated as a conditional use. The subsequent elimination of townhouse development as a

conditional use from the Waterfront Development (WD) zone district resulted in the townhomes that existed at the time of elimination becoming nonconforming uses. The status of such units, which were originally conforming uses, poses a heightened burden on the owners during the permitting process, which may hinder recovery from Hurricane Sandy and future storms. This issue should be addressed.

Conditional Use Standards

Currently, the Township's conditional use standards: make several references to Schedule A, which has been repealed and no longer exists; and, does not provide standards for multiple conditional uses in several zone districts. To increase the clarity surrounding the Township's conditional use standards, it is recommended that the Township develop and adopt an updated and complete set of conditional use regulations.

To inform the development of a new, updated set of conditional use standards, we outline below the following points that should be addressed:

- Institutional Uses in R-1, R-2, R-1A Zone Districts:
 - Eliminate references to Schedule A
- Other Recreational Uses in PV Zone District:
 - Eliminate references to Schedule A
- Accessory Apartment Residential Uses in R-1, R-1A:
 - Reference existing definition
- Provide Conditional Use Standards for the Following Uses (Applicable Zone District):
 - Landfills (FO);
 - Landscape Nurseries (FO, C2);
 - Garden Centers (FO, C2);
 - Tennis Clubs (R-1, R-1A);
 - Private Golf Courses and County Clubs (R-2);
 - Fuel Dealer (C1);
 - Contractor's Storage Yard (C1);
 - Lumber Yard (C1);
 - Outdoor Sale and Storage of Building Materials (C1);
 - Warehouse (C1);
 - Distribution Facility (C1);
 - Vehicle Body Repair Services (C1);
 - Boat Building (C1);
 - Boat Yard (C1);

- Accessory Apartment in a Single-Family Dwelling on Commercial Premises (C1);
- Convenience Stores, Including Mixed Uses with Gasoline Service (C1);
- Roadside Market for the Sale of Agricultural Produce and Related Goods (C2);
- Restaurant (C2);
- Alcoholic Beverage Store (C2); and,
- Churches and Places of Worship (C1, C2).

Sustainable Development and Resiliency

In an effort to promote resiliency in Ocean Township, it is also recommended that the Township update its zoning policies to promote sustainable development and resilience to future storms. As part of this, the Township should evaluate its Bayfront Conservation (BC) District to ensure that the zoning in this area supports the preservation of natural environmental systems, such as coastal wetlands, which protect the Township from storm events. To achieve this, the Township should consider the adoption of noncontiguous clustering provisions as permitted by the Municipal Land Use Law (NJSA 40:55D-1 et seq.). Noncontiguous clusters are noncontiguous areas that are developed as a single entity at a greater concentration of density or intensity than authorized within the development area under conventional zoning in exchange for the permanent preservation of another area as common or public open space, or for historic or agricultural purposes, or a combination thereof.

Miscellaneous Changes

In addition to the above, a number of changes are recommended to various other aspects of the Township's development regulations. These changes are outlined below:

- Standards pertaining to exemptions from site plan requirements should be updated to improve clarity and ensure that all instances when exemptions should be granted are covered;
- Setback requirements for pumps and other equipment associated with swimming pools and hot tubs, as well as for generators and air conditioning condensers, should be provided;
- Standards for accessory apartments and mother/daughter-type units should be provided. Such standards should include specific off-street parking requirements;
- Definitions should be reviewed and revised, as needed, to increase clarity and promote increased efficiency in land use administration;
- Subsequent to any waterfront zoning amendments, the Township should consider deleting its current grandfather clause;
- Standards should be provided for ground-mounted solar facilities as accessory structures;

- Setback requirements should be provided for stairs and other means of access to elevated residential dwellings;
- Provisions relating to the size and number of certain accessory structures (e.g., sheds and detached garages) on single family residential properties should be customized for the zone districts located to the east and west of the Garden State Parkway. The reason for this is that residential properties to the west of the Garden State Parkway (i.e., in the Pinelands Area) are typically large tracts and do not require the same limitations as the generally smaller properties on the east side of the Garden State Parkway; and,
- The Township's sign ordinance should be updated to reflect the separation from the cartway due to the rail trail and visibility of businesses along the west side of Route 9. Specifically, sign setback requirements should be reduced to compensate for the separation of the businesses from Route 9 that results from the rail trail.

Recommendations Concerning Redevelopment Plans

In 2005 Ocean Township received Plan Endorsement from the New Jersey State Planning Commission, which included the designation of the Waretown Town Center as a redevelopment area. This designation legitimized over a decade of planning in Ocean to create a vibrant new mixed-use town center at Waretown. The Waretown Town Center is reflected on the Township's zoning map as the "Town Center Redevelopment District (TC)", and integrates land uses and smart growth planning principles into a comprehensive mixed-use center design. The Waretown Town Center has also been designated a coastal town center under the Coastal Area Facility Review Act (CAFRA). The Plan Endorsement and Town Center Designation also included the extension of Volunteer Way to the Garden State Parkway, providing a key evacuation route for new and existing development in the Township.

In 2007, the Economic Redevelopment Plan was amended to include the Town Center Conceptual Plan approved by the State Planning Commission. In 2013, the Economic Redevelopment Plan was further amended to outline more detailed design standards for the Waretown Town Center Redevelopment Area.

Master Plan Amendment

Introduction

The purpose of this master plan amendment is to incorporate the recommendations and changes that have been outlined in the 2015 Master Plan Reexamination Report into the Township's master plan, or to establish the basis for future actions through the definition of new goals and objectives. This master plan amendment: includes an updated, comprehensive list of master plan goals and objectives; modifies the Land Use Element; updates the Open Space and Recreation and Community Facilities plan elements; and, adds a new section on bicycle and pedestrian linkages to the Circulation Plan Element.

Master Plan Goals and Objectives

Given the fact that the master plan goals and objectives were changed in multiple instances by means of several documents, and that several new goals were recommended by the 2015 Master Plan Reexamination Report, it is prudent that the master plan amendment provide a new, comprehensive list of master plan goals and objectives that replaces all previous iterations. This is done below:

General Development Goals

- Encourage the use of best management policies for all development to ensure the least negative impact on the overall quality of residential life and the environment in the Township;
- Review and continually update, as needed, the various codes and development standards and maintain an aggressive code enforcement policy to ensure the highest quality of life within the Township;
- Review and continually update the permitted uses within each zone to ensure that only those uses compatible with the land capacity to support them are permitted;
- Promote public awareness of hazard mitigation and resiliency issues;
- Focus public agencies on community vulnerabilities to hazards such as flooding;
- Encourage regional solutions to flood- and storm-related impacts;
- Ensure that future capital projects are designed and constructed to incorporated features that are resilient to storm- and flood-related impacts;
- Automate, update and expedite the Township's system for processing zoning and construction permits; and,
- Increase participation in FEMA's Community Rating System (CRS).

Residential Development and Housing

- Maintain and enhance the prevailing single-family character of the community. Increase lot sizes where possible and limit multi-family development to selected locations and types;
- Maintain and upgrade the quality of seasonal housing converted to year-round occupancy through the administration and use of proper standards and codes;
- Encourage new residential development in areas with public water and sewer facilities and in areas where these facilities can be made available. Provide for large lot sizes in areas not served by central sewer and water facilities;
- Provide for cluster subdivision design to conserve open space and natural amenities in residential areas and to reduce road and utility cost;

- Maintain and enhance the existing single-family residential neighborhoods. Develop programs that will encourage the upgrading of these neighborhoods;
- Ensure that any conversion of seasonal residential units to year-round residential uses is accomplished in a manner consistent with all applicable codes and standards; and,
- Encourage development of new residential housing units in areas that are served with adequate infrastructure including water, sewer, stormwater management, and streets, so as to minimize any negative environmental impacts.

Commercial and Industrial Development

- Discourage “strip” development along the entire Route 9 frontage; provide for concentrated patterns of commercial use to facilitate traffic control and promote traffic safety; use frontage roads and minimize access/egress points wherever practicable;
- Promote the development of marine-oriented and complementary commercial uses, including marinas, in certain bay front locations; minimize their traffic, noise, and aesthetic impacts on adjacent residential areas by screening and other means;
- Review economic development and redevelopment programs to encourage both new construction and conversion of existing non-commercial uses to viable commercial activities;
- Encourage owner-occupied commercial uses in selected areas of the Townships;
- Review and update as required the home occupation and “cottage industry” commercial activities;
- Maximize the economic benefit of resource-based development with the lowest possible negative environmental impact; and,
- Encourage the use of incentive programs, which promote industrial development that provide the maximum positive tax revenue at the least possible municipal cost impact.

Transportation and Public Facilities

- Maintain and enhance the traffic carrying capacity of principal thoroughfares, such as Route 9, by making traffic engineering improvements and regulating access and egress;
- Develop a system of secondary streets in built-up and urbanizing areas, which improve access to individual areas and reduce use of Route 9 for internal trips;
- Improve local streets and drainage where poor conditions and problems exist;

- Develop a system of recreation sites to serve local neighborhoods, such facilities to be accessible primarily by foot or bicycle; and,
- Expand and improve all other public services and facilities commensurate with need and population growth.

Conservation and Environmental Protection

- Provide for cluster design, as mentioned above, to conserve open space and natural amenities in residential subdivisions and projects;
- Establish a system of conservation areas that are designed to limit or restrict development in wetlands, along streams, and in undeveloped bayfront locations; promote appropriate recreational uses in these conservation areas;
- Limit the type and scale of development west of the Parkway in accordance with Pinelands regulations;
- Retain and improve the village atmosphere and identity of Waretown center by regulating land uses, and the design of new facilities and by promoting the restoration, reuse, and maintenance of older structures;
- Stabilize bay shoreline by installing riprap or developing living shorelines;
- Compile low elevation aerials to produce high-quality mapping with six-inch contour levels within identified special flood hazard areas;
- Prepare a Green Buildings and Environmental Sustainability Element;
- Update Stormwater Management Plan to include green infrastructure management techniques; and,
- Update Floodplain Management Plan.

Infrastructure and Utilities

- Install new generators at Township Hall, the Department of Public Works complex, the building that houses the Construction and Zoning, and the first aid building;
- Create a Township Debris Management Plan including such components as allocating debris removal sites, collection strategies, and describes reduction methods;
- Provide more radios for emergency communication;
- Install a town-wide Supervisory Control and Data Acquisition (SCADA) system throughout the Township in conjunction with its owned and operated facilities to communicate critical alarms to a centralized location or operational personnel;
- Prepare a Capital Improvement Plan that identifies needed capital investments in public facilities to improve local resiliency;

- Develop GIS database and user interface to catalog and inventory all infrastructure owned by the Township, including roadways, its stormwater collection system, its sanitary sewer collection system, and residential and commercial property information;
- Develop GIS-based, low elevation aerial mapping to support future planning efforts;
- Update Township’s Emergency Operating Plan;
- Elevate key municipal facilities above the Advisory Base Flood Elevation; and,
- Encourage Green Infrastructure projects.

Waretown Town Center

General Goals

- Create an attractive, diverse, and vibrant center consisting of mixed-use development, open space, civic buildings and residential uses; and,
- Create safe trail linkages between the destination nodes in the center, municipal facilities, elementary schools, and the Barnegat Bay (across Route 9).

Land Use Goals

- Create a pedestrian friendly town, easily accessible from neighboring residential areas;
- Provide essential services to residents; and,
- Develop a Center at a density that creates a sense of place, encourages pedestrian activity and uses infrastructure efficiently.

Environmental Goals

- Protect environmentally sensitive lands and direct growth towards areas of Township with existing infrastructure.

Housing

- Encourage a variety of housing types suiting the needs of all income and age levels; and,
- Incorporate low- and moderate-income housing in Centers in accordance with the State Development and Redevelopment Plan and Council on Affordable Housing regulations.

Circulation

- Create pedestrian walkways, bikeways, and other pathways to enhance both the ability and desirability of walking and bicycling; and,

- Establish trails and greenways linking neighborhoods, schools, recreational facilities, community facilities and the Town Center.

Design

- Create building design that ensures privacy, safety and contributes to the long-term desirability of the community; and,
- Create small-town charm as a key design element for future development.

Land Use Plan Element

The section of the 2015 Master Plan Reexamination Report that is entitled “Changes to Development Regulations” outlines changes to development regulations to: clarify the Township’s conditional use standards; change zoning designations in selected areas; promote sustainability and resiliency; and, update waterfront zoning. The full content of “Changes to Development Regulations” is hereby adopted as part of the Land Use Plan Element.

In addition to the above, the Land Use Plan Element is amended to include updated mapping of existing land use as provided in Appendix D, mapping of proposed land use as provided in Appendix E, and the following new section on building resiliency through development regulations.

Apart from the changes discussed in this Land Use Plan Element, there are no significant land use changes incorporated by the Township.

Building Resiliency through Development Regulations

Given the experience of Hurricane Sandy and the potential for future storms, there is a compelling need to build resiliency in Ocean Township. The Land Use Plan Element, therefore, recommends that the Township’s development regulations be designed to build resiliency throughout the Township. This should be done through the promotion of green building and infrastructure techniques. This section of the Land Use Plan Element overviews green building and infrastructure techniques, and is meant to inform the future development of municipal development regulations.

Green Building and Infrastructure Techniques

Green building and infrastructure techniques are an important tool for promoting resiliency in Ocean Township. They use permeable surfaces (e.g., porous concrete, gravel, mulch, etc.), landscape formations (e.g., channels, depressions), plant material, or other technologies to reduce stormwater runoff by promoting natural infiltration. Their use can promote resiliency by mitigating flooding (i.e., reducing the risk and impacts of flooding) and helping the Township to quickly recover from storms. In addition, they provide numerous co-benefits, not the least of which are: reducing long-term maintenance and operation costs of stormwater infrastructure; and, capturing runoff pollution (e.g., particular matter, heavy metals) and preventing their entry into sensitive terrestrial waterways.

The Land Use Plan Element recommends the incorporation of green building and infrastructure techniques in the Township’s development regulations. Recommended green building and infrastructure techniques are described in the following subsections.

Downspout Disconnection

Downspout disconnection refers to the rerouting of rooftop drainage pipes to specialized containment devices (e.g., rain barrels, cisterns) and permeable areas, instead of traditional stormwater drainage systems. This allows stormwater runoff from building roofs not only to infiltrate soil, but also to be collected for later use (e.g., watering lawns and gardens), which reduces demand on public water supplies.



Rain Gardens

Rain gardens are shallow, vegetated basins that absorb stormwater runoff from impervious surfaces (e.g., rooftops, sidewalks, and streets). Runoff is channeled into rain gardens, and is then used by plants, infiltrated into the ground, and evaporated. They may be installed in a variety of locations, and can be an attractive element of site design. In addition, it is important to note that rain gardens can be installed in a variety of locations. Indeed, they may be installed in any properly graded unpaved space, and in parking lots and paved areas through the construction of specialized planter boxes that collect and absorb runoff.



Bioswales

Bioswales are open, linear channels with vegetation, mulching, or xeriscaping that slow stormwater runoff and attenuate flooding potential while conveying stormwater runoff away from critical infrastructure. While they convey stormwater runoff away from critical



infrastructure, their permeable surface permits the natural infiltration of stormwater. They are often used as an alternative to, or enhancement of, traditional stormwater drainage systems.

Permeable Pavements

Permeable pavements help to reduce stormwater runoff, which helps to improve the quality of terrestrial waters and mitigate flooding. With traditional (i.e., impervious) pavement, stormwater runs into drains and inlets, which places a burden on such infrastructure, and may result in the discharge of pollutants (e.g., sediment, oil residue, etc.) into terrestrial waters. Permeable pavements, however, infiltrate, treat, or store rainwater where it falls. Key examples of permeable pavements include pervious concrete, porous asphalt, and permeable interlocking pavers.



Green Roofs

Green roofs are roofs that are covered with substrate and vegetation that enable the infiltration of rainwater. This not only minimizes stormwater runoff, but leads to reduced building operating costs and energy consumption by providing improved insulation of the roof surface, and absorbing less heat on the roof surface (i.e., increasing the roof surface albedo over traditional roof surfaces). Flat and low-pitched roofs are most suited to green roof development and retrofitting therewith.



Tree Cover

Increased tree cover in developed areas is an important example of green infrastructure. Trees reduce and slow stormwater by intercepting precipitation in their leaves and branches. In addition, their root systems help to aerate soil, which facilitates natural infiltration of stormwater and reduces runoff. Trees also purify the air, and can help to cool developed



areas by providing shade, and through evaporative cooling and increased latent heat flux (i.e., the dissipation of sensible heat).

Living Shorelines

Living shorelines are an approach to shoreline stabilization that uses wetland plants, submerged aquatic plants, oyster reefs, coir fiber logs, sand fill, and stone to provide shoreline protection and maintain important habitat areas. They offer numerous benefits over hardened structures (e.g., bulkheads and concrete walls), including protection of the riparian and intertidal environments, improvement of water quality via filtration of upland runoff; and creation of habitat for aquatic and terrestrial species.

Open Space Preservation

Preservation of open space areas within and adjacent to developed areas can help to mitigate the water quality and flooding impacts of stormwater. Indeed, natural open space areas promote increased groundwater recharge, lower stormwater runoff, and reduced levels of nutrients and sediment in terrestrial waters. They also help to cool developed areas through evaporative cooling and increased latent heat flux. The use of building coverage



and impervious surface limits, tree-save requirements, and noncontiguous clustering are key ways to promote open space preservation through development regulation.

Open Space and Recreation Plan Element

Given the age of the Township's Open Space and Recreation Plan, and the fact that several properties have been acquired since the initial adoption of the 2002 Open Space and Recreation Plan, it is prudent that the Open Space and Recreation Plan be amended to include updated mapping. Appendix B provides updated mapping of the Township's recreation and open space areas.

In addition to amending the Open Space and Recreation Plan to include updated mapping of the Township's recreation and open space areas, and given the experience of Hurricane Sandy, it is important that the plan's list of objectives and action items be amended to include additional objectives and action items to help increase resiliency within Ocean Township. This is done with the following list, which supplements and replaces the list of objectives and actions in the original Open Space and Recreation Plan (new actions and commentary are shown in *italicized text*):

- Improve the quantity, variety, and quality of useable active and passive open space
 - In coordination with the Department of Parks and Recreation, the Township Committee will review and revise standards and policies to clarify the role of public and private open space in meeting recreation and open space needs.
 - The Land Use Board and Township Committee will review and revise the development regulations to ensure that necessary areas for useable active and passive open space of the appropriate size and location are designated at the beginning of the development process
 - The Township will develop standards that enhance the viability of natural systems when adding lands to the public open space inventory
 - Additional public access to the Barnegat Bay should be provided while preserving the natural assets in a manner consistent with the Township's Master Plan
 - *Promote living shoreline and green infrastructure projects through a variety of measures, including open space acquisition*
- Provide open spaces which contribute to building and maintaining community and neighborhood identity
 - New recreational facilities should be developed in locations accessible to existing and future neighborhoods
 - Pedestrian and bikeway linkages should be provided between residential areas and public active and passive open space (*the Barnegat Branch Trail provides some of these linkages*)

- Recreational and open space lands should be located to act as a focal point for community activities
- Maintain and enhance the natural environment by preserving lands for passive open space and resource conservation
 - Undeveloped land and natural areas should be identified to meet future open space needs as set forth in the open space and recreation plan
 - The Township will review programs that provide and protect open space lands and recommend ways to enhance public and private mechanisms for acquisition and protection of these areas
 - The Township will promote the establishment of passive open space areas and greenways, which provide both community benefits and the continued viability of natural systems and wildlife corridors.
- Coordinate the acquisition, use, and management of open space lands
 - Township departments and boards should work together to develop programs and facilities that will maximize the potential for multiple and common use of public lands for open space and recreation.
 - The acquisition of open space should be coordinated to enhance joint State, County, and municipal needs and goals
 - The Township will develop joint management plans and agreements to use State, County, and private recreational land to meet overall recreational needs
 - *Encourage buyouts of flood prone properties through partnerships with NRCS, Blue Acres, and other funding sources.*

Circulation Plan Element

The Circulation Plan Element is amended to include the following new section on Bicycle and Pedestrian Linkages.

Bicycle and Pedestrian Linkages

Bicycle and pedestrian linkages are encouraged and should be provided to the maximum extent possible in all areas of the Township, and particularly between parks, recreation, and open space areas, and key destinations within the Waretown Town Center.

Providing such connections will not only help to make Ocean Township more sustainable by promoting non-motorized transportation, but also greatly improve the quality of life for Township residents. While sidewalks are an important pedestrian facility, the focus of this Circulation Plan Element is on dedicated and shared bicycle lanes, greenways and multipurpose trails.

To maximize the provision of bicycle and pedestrian linkages, this Circulation Plan Element does not specify the exact locations where they should be provided, but, rather, establishes a vision, discusses key principles of the design and maintenance of bicycle and pedestrian facilities, and outlines important goals and objectives for their provision.

Vision for Bicycle and Pedestrian Linkages

The Circulation Plan Element's vision is to develop and expand the Township's network of bicycle and pedestrian linkages and secure the recreation and transportation benefits of bicycling and walking for Township residents. The Circulation Plan Element envisions a network of bicycle and pedestrian linkages that connects the Township's residential developments with: open space and recreation areas; schools; shopping and employment centers; and, other key destinations in Ocean Township and neighboring municipalities.

The Circulation Plan Element also envisions that linkages will be provided in the form of: on-road bicycle lanes; lanes shared between bicycles and vehicles, where appropriate; greenways; and protected multipurpose trails. In all variations, bicyclists and pedestrians will be able to travel in a safe and efficient manner throughout the network, which will boost bicycling and walking for recreation, and increase their use as a means of transport.

Facility Design and Maintenance

When planning bicycle and pedestrian linkages, it is important to pay attention to the needs and expectations of users; the facility's visual appeal and design; and its upkeep.

The following section provides an overview of basic concepts to guide the planning and development of bicycle and pedestrian facilities within Ocean Township.

High Quality Experience

As a starting point, it is important to consider the elements that lead to a high quality experience. Examples of such elements include: visual appeal; pleasantness and convenience of location; presence of interconnections, residential areas, and community facilities; sufficient length; accessibility for users with limited mobility; and, the availability of special features, such as educational opportunities, benches, shelters, and similar amenities. When planning bicycle and pedestrian facilities, it is important to maximize the availability of these elements in order to provide a high quality experience.

User

It is also important to consider the needs and physical ability of the user. For example, the elderly and disabled will typically have different levels of ability than the remainder of the population. By giving consideration to the needs and physical ability of all users, use and success of the network will be maximized. Accommodating a broad cross section of users of all ages and abilities will help to maximize the use and success of the network.

Connectivity

Connectivity refers to the linkages a network provides from a given point to another. When planning bicycle and pedestrian facilities, it is important to consider possible connections between neighborhoods, business districts, parks, community facilities, and natural environments. By providing such connections, bicycle and pedestrian facilities can provide a viable route to a destination.

Facility Type

Facility type will affect its design. The basic types of bicycle and pedestrian facilities are: on-road bicycle lanes; shared lanes; greenways; and, multipurpose trails.

- **Dedicated, On-Road Bicycle Lanes:** On-road bicycle lanes provide dedicated space for cyclists where motorists are not allowed to park, stand or drive. They are designated with striping, signage and pavement markings, and make the movements of motorists and cyclists more predictable, thereby increasing safety. They are generally unidirectional, and travel in the same direction as the adjacent vehicle travel lanes. They are located on the right side of the roadway (i.e., along the curb), and, when on-street parking is available, are generally situated between vehicle travel and parking lanes. According to guidelines of the American

Association of State Highway and Transportation Officials, the minimum recommended width of an on-road bicycle lane is four feet. However, six feet is the preferred width recommended by this Circulation Plan Element. The additional width provides a greater degree of separation between bicycles and motor vehicles. Standards of the American Association of State Highway and Transportation Officials indicate that striping to separate on-road bicycle lanes from vehicle travel lanes should be six inches in width. Striping to separate on-road bicycle lanes from parking lanes should be four inches.

- **Shared Lanes:** Bicycle facilities may be provided in lanes shared between bicycles and motor vehicles. Shared lanes may be suitable on roadways with low traffic volumes or wide roadway shoulders, and are generally a low-cost solution because they can be provided without the requirement for physical changes to the roadway. Indeed, shared lanes only require bikeway network signage; they can, however, be supplemented with pavement markings. The width of a shared lane should, ideally, be 15 feet to allow for enough clearance between bicycles and large vehicles.
- **Greenways:** Greenways are long, linear open spaces that provide a setting for nature conservation and recreation. They often contain trails and link parks. The corridors of streams and rivers, and utility easements lend themselves to greenway development. Greenways are often the location of bicycle and pedestrian facilities.
- **Multipurpose Trails:** Multipurpose trails facilitate connections within the community. They provide for safe, non-motorized passage between residential and commercial areas, parks and open space areas, and other community features. A width of eight to ten feet is appropriate for multipurpose trails. In certain high-traffic areas, however, a tread width of ten to twelve feet may be appropriate. In all cases, the width should be wide enough to accommodate bidirectional passage. Multipurpose trails may be provided in roadway rights-of-way, but, when they are provided in such areas, are physically separated from motor vehicle traffic by open space or some other type of physical barrier (e.g., guard rail, curbing, etc.).

Signage

Signage serves a number of important functions. Most importantly, it helps a user to identify his or her location and conveys information about facility characteristics. As such, proper signage is an important part of bicycle and pedestrian facility design.

Signage at the trailhead should include: the name of the facility; a large-format map; length; permitted activities; and, information on connections. Signage should contain a minimal amount of text by making extensive use of icons and pictograms. Locational markers placed at regular intervals along the route should supplement this information.

Additionally, interpretative signage should be provided where significant natural or cultural features are present. All signage should be made of durable materials that resist fading, water damage, and vandalism.

With regard to traffic signage, it is noted that the Federal Highway Administration's Manual on Uniform Traffic Control Devices (MUTCD) provides standards for all traffic control devices nationwide, including signs for bicycle facilities. All traffic control devices nationwide must conform to its standards. It is, therefore, the recommendation of the Circulation Plan Element that the current MUTCD be consulted when planning traffic control signage.

Amenities

When planning bicycle and pedestrian facilities, it is important to provide appropriate amenities. The appropriateness of a particular amenity will be determined by the function, type, and anticipated users of the facility.

Amenities have a significant impact on a user's overall experience, and may include: bicycle racks; bicycle repair stations and air pumps; benches; picnic areas; drinking fountains; animal-proof refuse containers; observation areas; and shelters, among others.

Maintenance

The proper maintenance and upkeep of Ocean's bicycle and pedestrian facilities will ensure the public's continued use, safety, and enjoyment. As such, maintenance is an integral part of the bicycle and pedestrian facility planning process.

The maintenance required for a specific facility will be determined by type, surface, and amenities. Consequently, it is the recommendation of this Circulation Plan Element that a maintenance plan be written for the bicycle and pedestrian network in Ocean Township.

A facility's future maintenance needs must also be considered during the design process. For instance, off-road facilities should be designed to be accessible to maintenance vehicles. Additionally, benches and other amenities should be designed to be low maintenance. By giving forethought to maintenance in the design process, a facility's future maintenance requirements can be simplified.

Goals for Bicycle and Pedestrian Linkages

The Township's goals for bicycle and pedestrian linkages are as follows:

- Provide bicycle and pedestrian linkages between major destinations within the Township, and to neighboring municipalities.

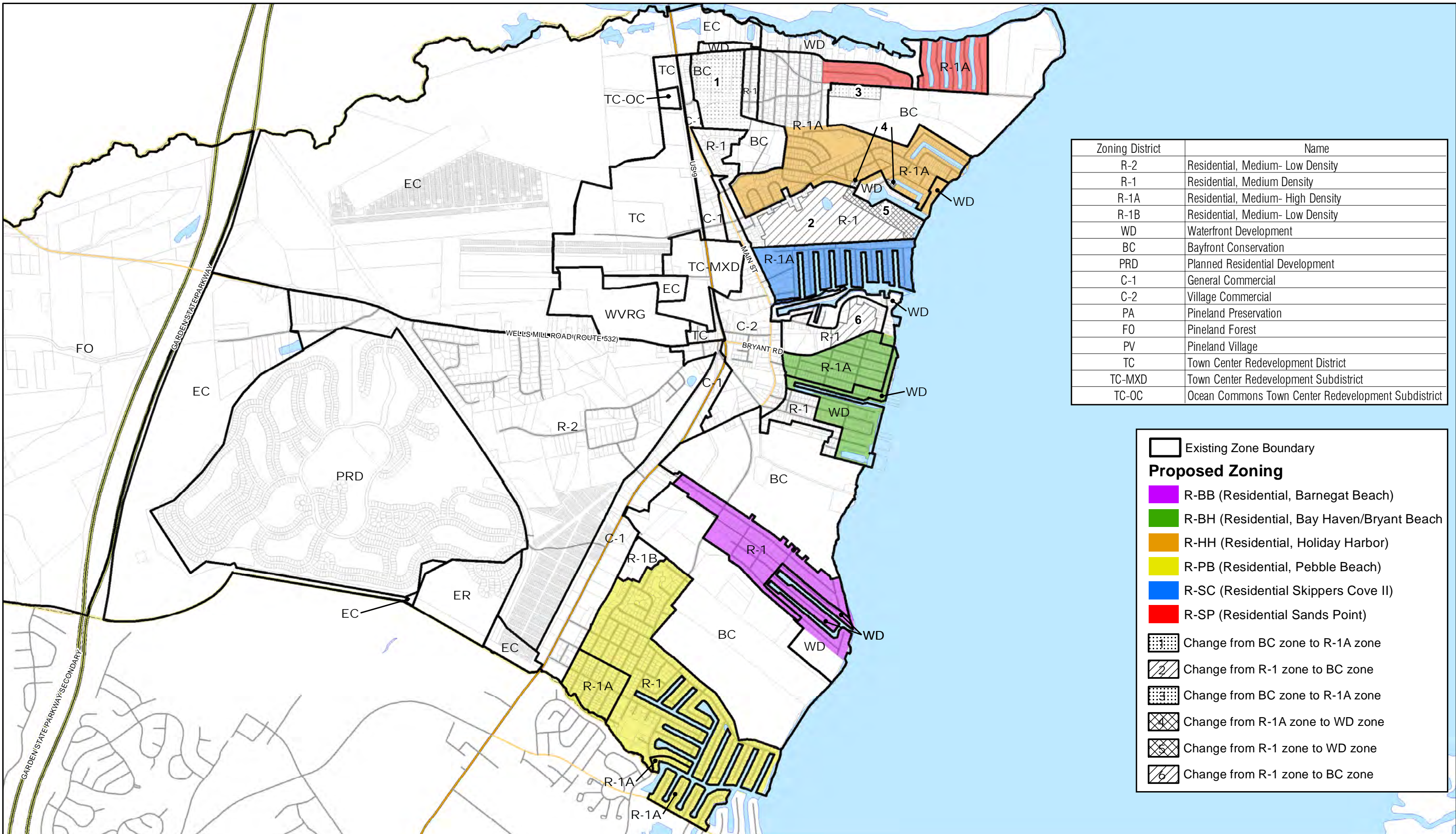
- Establish a permanent advisory committee for bicycle and pedestrian facilities.
- To the greatest extent possible, develop bicycle and pedestrian linkages between dead-end streets and cul-de-sacs.
- Provide identification and guide signs for bicyclists and pedestrians.
- Provide safe and adequate bicycle parking options at key destinations, and in all public parks.
- Work with Ocean County to provide signage that alerts motorists of the presence of bicyclists along county roadways.
- Provide only bicycle-safe sewer grates in all areas of the Township.
- Provide adequate lighting to ensure safety for bicyclists and pedestrians.
- Ensure that all bicycle projects comply with recognized design standards, such as the *Guide for the Development of Bicycling Facilities* prepared by the American Association of State Highway and Transportation Officials.
- Investigate potential funding mechanisms for bicycle and pedestrian facilities, including grants and open space trust funds.
- Coordinate bicycle planning with Ocean County and the State of New Jersey.
- Develop a Township-wide bicycle and pedestrian facility map that is displayed at parks and other major destinations.
- Provide linkages with the Barnegat Branch Trail.
- Promote east-west bicycle and pedestrian access by improving crossings at key locations along Route 9.
- Provide traffic calming at key locations to improve bicycle and pedestrian safety and encourage use of facilities.

Community Facilities Plan Element

The Community Facilities Plan Element is amended to include updated mapping of public facilities and other critical infrastructure. This mapping is provided in Appendix C and shows the location of such infrastructure in relation to important roadways (incl., evacuation routes) and flood hazard areas. It is the intent of this amendment that the updated mapping support multiple aspects of planning, including the development of an updated Emergency Operating Plan, which has been set as a goal for the Township by this master plan amendment.

In addition to the amendment of the Community Facilities Plan to include the updated mapping in Appendix C, it is noted that this master plan amendment includes several goals and objectives that are relevant to community facilities, including the elevation of key municipal facilities above the Advisory Base Flood Elevation and the preparation of a Capital Facilities Plan. These goals and objectives have been presented in a prior section of this document.

Appendix A: Recommended Zone Changes



Zoning District	Name
R-2	Residential, Medium- Low Density
R-1	Residential, Medium Density
R-1A	Residential, Medium- High Density
R-1B	Residential, Medium- Low Density
WD	Waterfront Development
BC	Bayfront Conservation
PRD	Planned Residential Development
C-1	General Commercial
C-2	Village Commercial
PA	Pineland Preservation
FO	Pineland Forest
PV	Pineland Village
TC	Town Center Redevelopment District
TC-MXD	Town Center Redevelopment Subdistrict
TC-OC	Ocean Commons Town Center Redevelopment Subdistrict

Existing Zone Boundary

Proposed Zoning

- R-BB (Residential, Barnegat Beach)
- R-BH (Residential, Bay Haven/Bryant Beach)
- R-HH (Residential, Holiday Harbor)
- R-PB (Residential, Pebble Beach)
- R-SC (Residential Skippers Cove II)
- R-SP (Residential Sands Point)

Zoning Change Patterns:

- Change from BC zone to R-1A zone
- Change from R-1 zone to BC zone
- Change from BC zone to R-1A zone
- Change from R-1A zone to WD zone
- Change from R-1 zone to WD zone
- Change from R-1 zone to BC zone

11 Tindall Road
 Middletown, NJ 07748-2792
 Phone: 732-671-6400
 Fax: 732-671-7365

Prepared by: JAC, 4/2/2015
 Source: NJDEP; NJDOT; NJGIN
 H:\OTWP\05551\GIS\Projects\Proposed Zoning East of PKWY.mxd

Parcel Boundary (thin black line)

Existing Zone Boundary (thick black line)

Open Water (light blue fill)

U.S. Route (orange line)

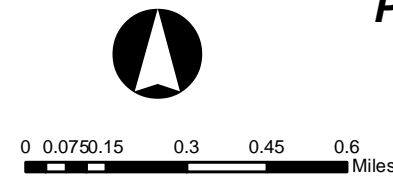
State Route (red line)

Toll Route (green line)

County Route (yellow line)

Local Road (grey line)

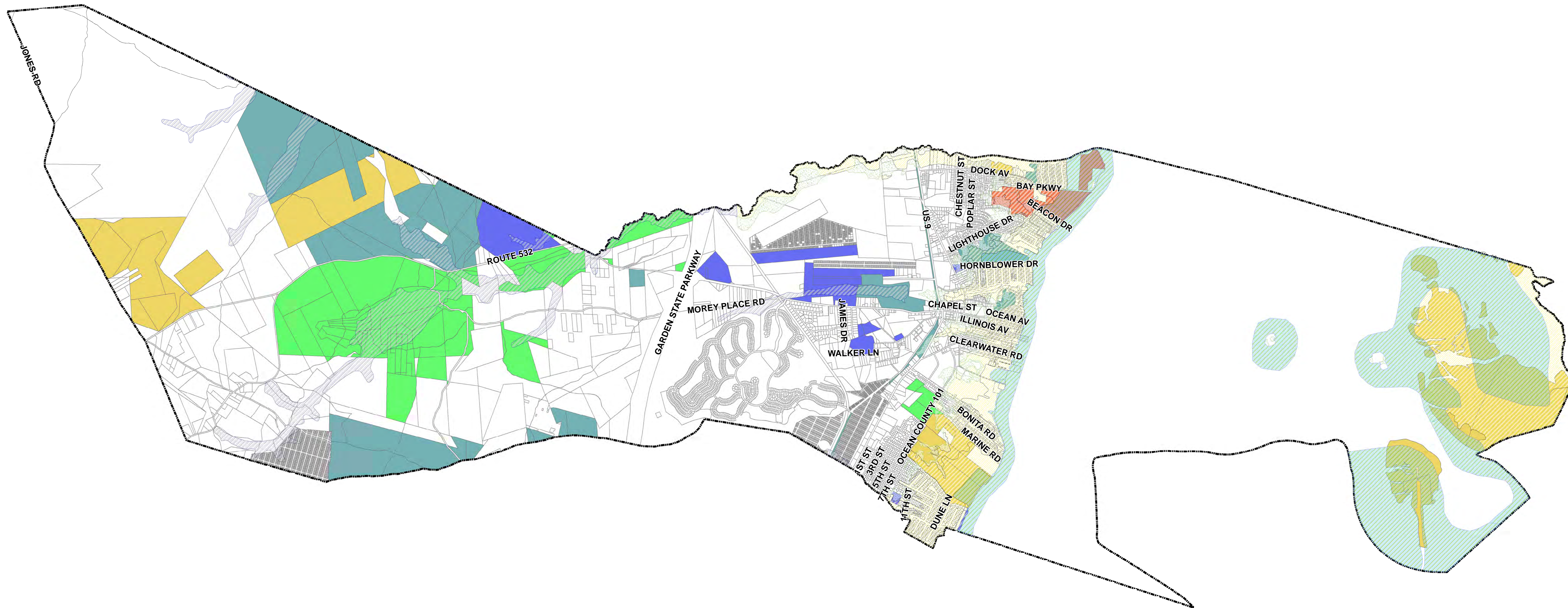
Municipal Boundary (dashed orange line)



**Proposed Zoning Changes - East of Garden State Parkway
 Ocean Township, Ocean County, New Jersey**

NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State-authorized.

Appendix B: Open Space and Recreation Areas



**Existing Open Space and Parkland and FEMA Flood Hazard Area Overlay
Ocean Township
Ocean County, New Jersey**

11 Tindall Road
Middletown, NJ 07748-2792
Phone: 732-671-6400
Fax: 732-671-7365

Open Space and Parkland by Owner

- Ocean Township
- Ocean County
- Ocean County Natural Lands Trust
- New Jersey Natural Lands Trust
- State of New Jersey (NJDEP)

Preliminary Flood Hazard Zones

- A
- AE
- VE
- Municipal Boundary
- Tax Parcel

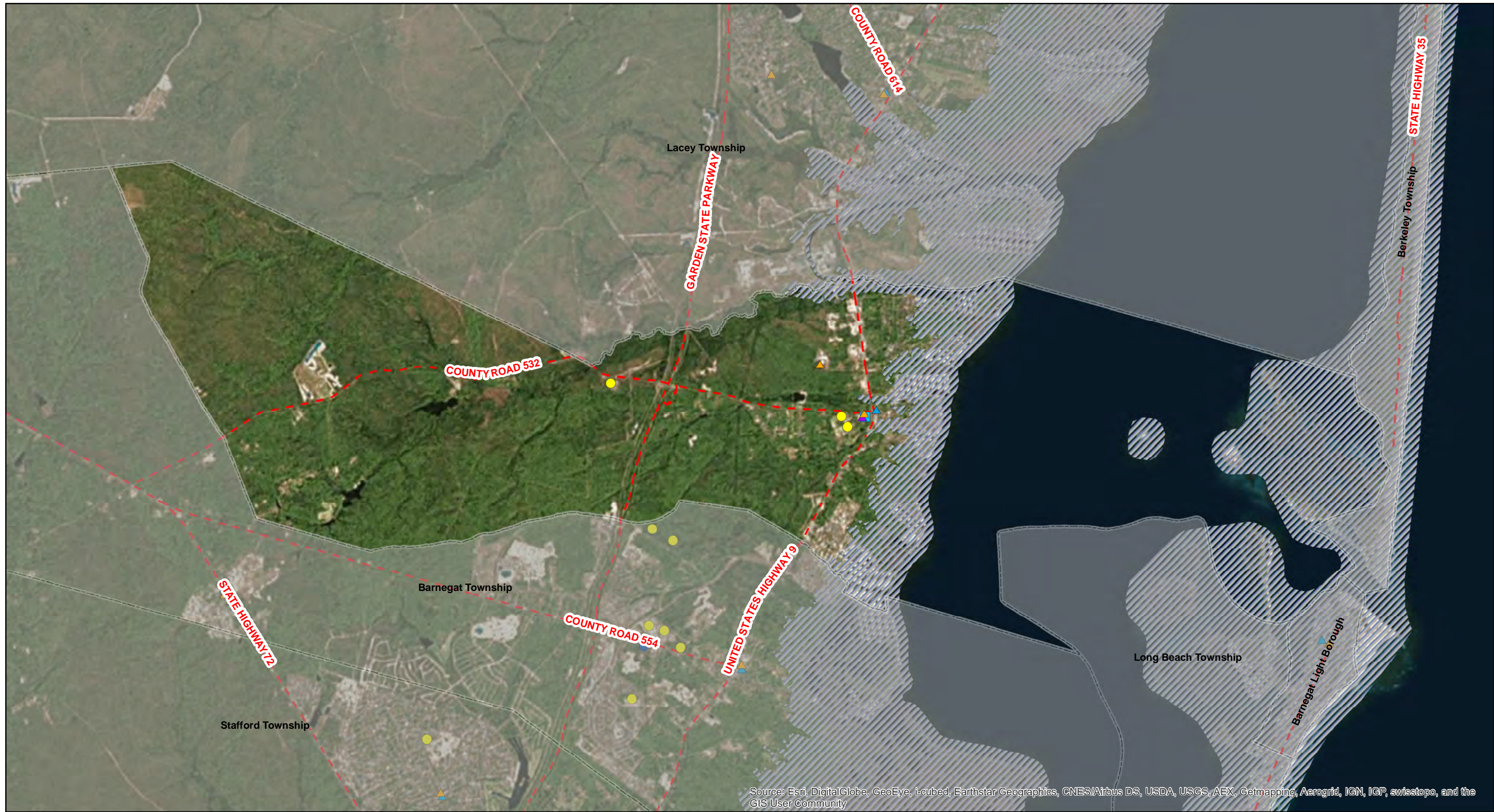
0.2 PCT ANNUAL CHANCE FLOOD HAZARD

0 2,100 4,200 8,400 Feet

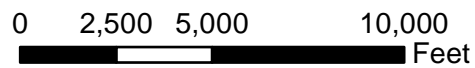
Prepared by: ARR, July 18, 2012. Revised by: CLB September 28, 2014
 Source: NJDEP (State and NJ Natural Lands Trust Owned Properties); NJDOT (Road Names);
 NJGIN (Township Parcels, Municipal Boundary); Ocean County (County and OC Natural Lands Trust Owned Properties); FEMA (Flood Hazard Areas)
 H:\OTWP\00551\GIS\Projects\ExistingOpenSpaceandParkland_FEMA FHA Overlay.mxd

NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State-authorized.

Appendix C: Critical Infrastructure



T&M ASSOCIATES
 11 Tindall Road
 Middletown, NJ 07748-2792
 Phone: 732-671-6400
 Fax: 732-671-7365



Prepared by: RED, 09-05-14
 Source: NJDEP, NJDOT, MOD-IV, ESRI
 File Path: H:\OTWP\00551\GIS\Projects\Critical Infrastructure.mxd

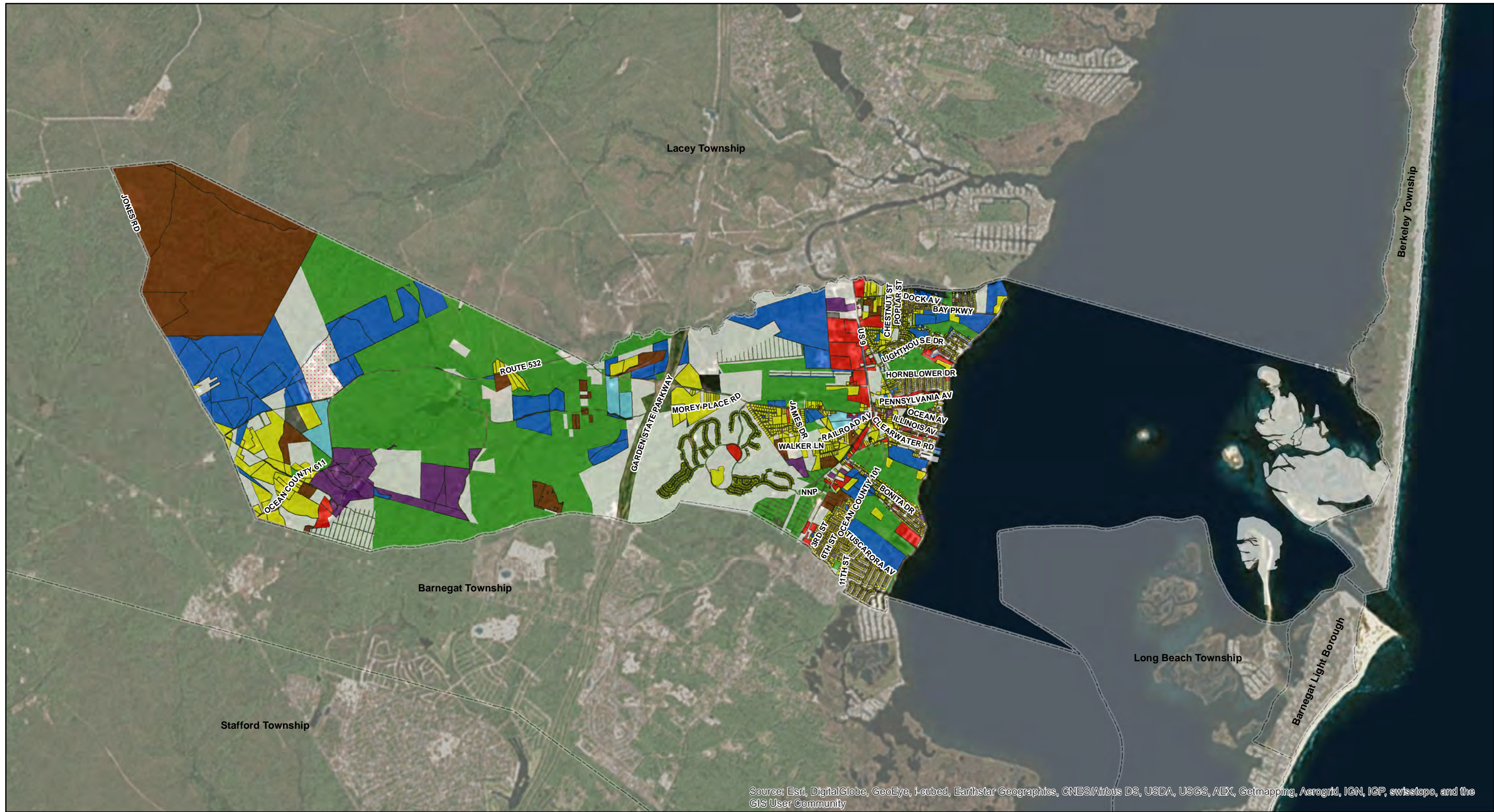
- Fire Station
- Police Station
- EMS Station
- Hospital
- Nursing Home
- School
- Municipal Building
- Designated Evacuation Route
- Ocean County Flood Hazard Area

Critical Infrastructure Ocean Township Ocean County, New Jersey



NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State-authorized.

Appendix D: Existing Land Use



Source: Esri, DigitalGlobe, GeoEye, i-cubed, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

T&M ASSOCIATES
 11 Tindall Road
 Middletown, NJ 07748-2792
 Phone: 732-671-6400
 Fax: 732-671-7365

0 2,500 5,000 10,000 Feet

Prepared by: RED, 07-29-14, EDITED 09-05-14
 Source: NJDEP, NJDOT, MOD-IV, ESRI
 File Path: H:\OTWP\00551\GIS\Projects\Land Use.mxd

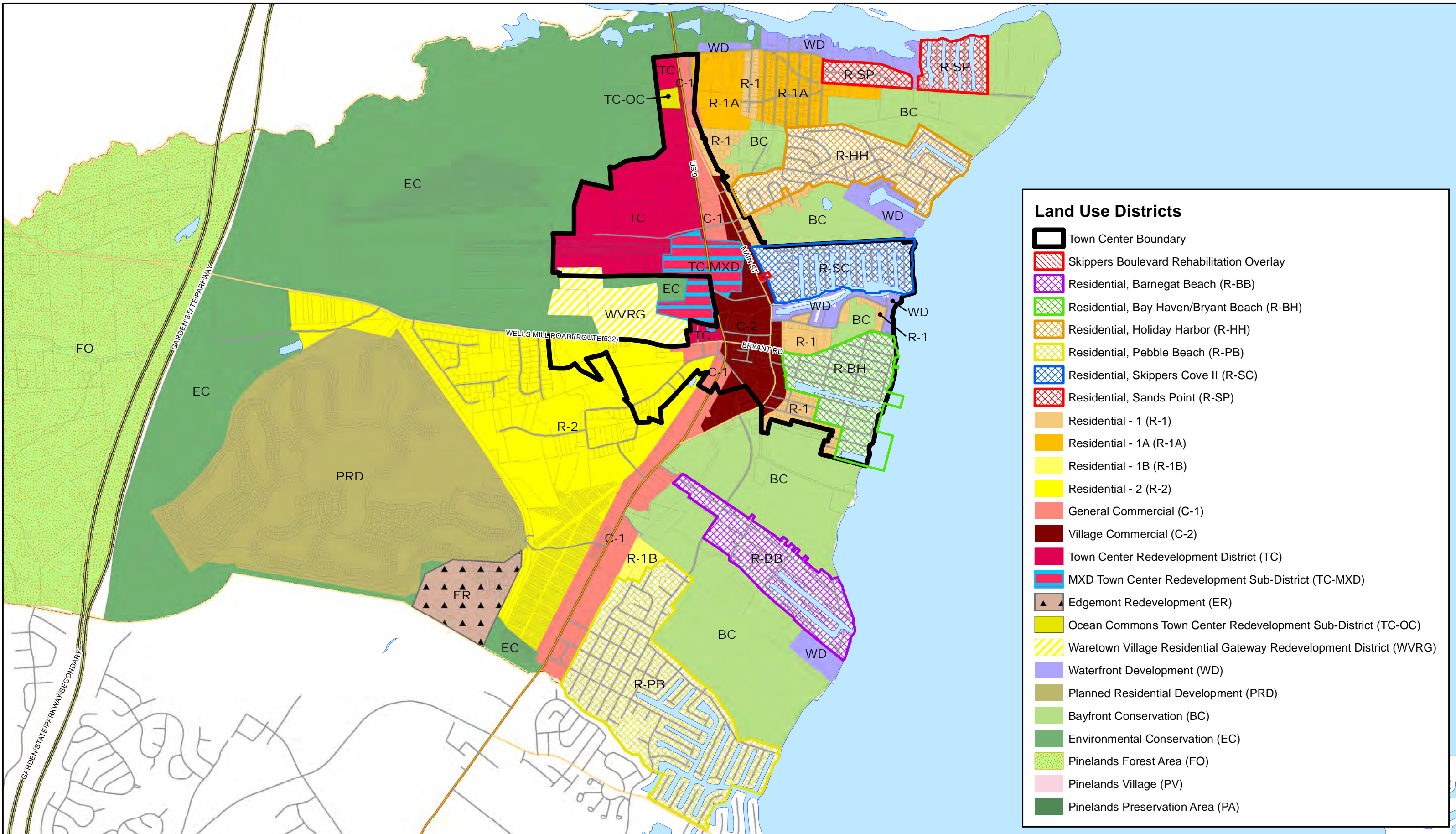
- ASSESSED FARMLAND
- CEMETARY
- COMMERCIAL
- INDUSTRIAL
- PUBLIC PROPERTY
- PUBLIC SCHOOL
- RECREATION/OPEN SPACE
- RELIGIOUS, CHARITABLE, OR BENEVOLENT ORGANIZATION
- RESIDENTIAL
- RIGHT-OF-WAY
- RIPARIAN
- UNKNOWN
- VACANT/UNDEVELOPED

Parcelized Land Use Ocean Township Ocean County, New Jersey



NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State-authorized.

Appendix E: Proposed Land Use




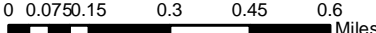
Land Use Districts

- Town Center Boundary
- Skippers Boulevard Rehabilitation Overlay
- Residential, Barnegat Beach (R-BB)
- Residential, Bay Haven/Bryant Beach (R-BH)
- Residential, Holiday Harbor (R-HH)
- Residential, Pebble Beach (R-PB)
- Residential, Skippers Cove II (R-SC)
- Residential, Sands Point (R-SP)
- Residential - 1 (R-1)
- Residential - 1A (R-1A)
- Residential - 1B (R-1B)
- Residential - 2 (R-2)
- General Commercial (C-1)
- Village Commercial (C-2)
- Town Center Redevelopment District (TC)
- MXD Town Center Redevelopment Sub-District (TC-MXD)
- Edgemont Redevelopment (ER)
- Ocean Commons Town Center Redevelopment Sub-District (TC-OC)
- Waretown Village Residential Gateway Redevelopment District (WVRG)
- Waterfront Development (WD)
- Planned Residential Development (PRD)
- Bayfront Conservation (BC)
- Environmental Conservation (EC)
- Pinelands Forest Area (FO)
- Pinelands Village (PV)
- Pinelands Preservation Area (PA)


 11 Tindall Road
 Middletown, NJ 07748-2792
 Phone: 732-671-6400
 Fax: 732-671-7365

Prepared by: JAC, 4/2/2015
 Source: NJDEP; NJDOT; NJGIN
 H:\OTWP\00551\GIS\Projects\Proposed Land Use Plan East of Pkwy 04-02-15.mxd

Town Center Boundary	Parcel Boundary	Toll Route	Municipal Boundary
Open Water	U.S. Route	County Route	Local Road
	State Route		


 0 0.075 0.15 0.3 0.45 0.6 Miles


Proposed Land Use Plan - East of Garden State Parkway Ocean Township, Ocean County, New Jersey

NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State-authorized.



H. — 2015 Master Plan Reexamination Report and Master Plan Amendments — Executive Summary



**Executive Summary to the
2015 Master Plan Reexamination Report and
Master Plan Amendments**

Ocean Township
Ocean County, New Jersey

**Executive Summary to the
2015 Master Plan Reexamination Report and
Master Plan Amendments**

April 2015

Prepared for:
Ocean Township
Ocean County, New Jersey

Prepared by:



11 Tindall Road
Middletown, NJ 07748

Stan Slachetka, PP, AICP
NJ Professional Planner No.: 3508

Martin Truscott, PP, AICP, LEED GA
NJ Professional Planner No.: 2443

*The original of this document was signed
and sealed in accordance with New Jersey Law*

**Executive Summary to the
2015 Master Plan Reexamination Report & Master Plan Amendments
Ocean Township, Ocean County, New Jersey**

Acknowledgements

Mayor and Committee

Christina Wetter, Mayor
Dennis F. Tredy, Deputy Mayor
Joseph Lachawiec, Committeeman
Diane Ambrosio, Township Clerk

Planning Board

William Sneddon, Chairman
Daniel Collamer, Vice Chair
Ralph Avellino
Nick Bonamassa
James Eckert
Aaron Shapiro
Ben Loparo
Dennis F. Tredy
Christina Wetter
John Petrosilli, Alternate #1
Donald Lippincott, Jr., Alternate #2

Steven E. Yost, Esq. Planning Board Attorney
James Oris, P.E., C.M.E., Planning Board Engineer
Scott D. Taylor, PP, AICP, LLA, LEED-AP, Planning Board Landscape Architect
Laurie Clune, Planning Board Secretary
Sandra Pirozzi, Alternate Secretary

David Breeden, Township Administrator
Diane Ambrosio, Township Clerk
Gregory McGuckin, Township Attorney

T&M Project Team

Stanley Slachetka, PP, AICP
Martin Truscott, PP, AICP
Robert Dare, PP, AICP, MCIP
Christine Bell, PP, AICP, CFM
Jeffrey Cucinotta

**Executive Summary to the
2015 Master Plan Reexamination Report & Master Plan Amendments
Ocean Township, Ocean County, New Jersey**

Introduction

The New Jersey Municipal Land Use Law (MLUL) requires that each municipality in the state undertake a periodic review and reexamination of its local master Plan. The purpose of the reexamination report is to review and evaluate the master plan and municipal development regulations on a regular basis in order to determine the need for updates and revisions. The reexamination report also reviews the progress of the Township in achieving its planning objectives, and considers the need for changes in order to ensure that the municipal master plan is current and meets the needs of the Township. The Ocean Township Planning Board is responsible for completing the reexamination, and preparing and adopting by resolution a report on same.

The Township of Ocean adopted its comprehensive master plan in 1982. The Township subsequently adopted a reexamination report in 2005. The current document (hereinafter referred to as the 2015 Master Plan Reexamination Report) serves as a reexamination of the 1982 Master Plan, as supplemented by the 2005 Master Plan Reexamination Report. The document also offers new opportunities for examining community resiliency and ensuring that recovery efforts address the Township's needs for the future.

The 2015 Master Plan Reexamination Report is the Township's response to Hurricane Sandy's impacts. It therefore places special emphasis on facilitating recovery from Hurricane Sandy, as well as promoting resiliency to future storm impacts and other potential natural hazards. To achieve this, the 2015 Master Plan Reexamination Report recommends a number of updates and revisions to the municipal master plan. These changes have been compiled into a master plan amendment. Additionally, the master plan amendment updates and adds to the master plan goals and objectives. The amendment also updates the land use plan element, community facilities and resiliency plan element, open space and recreation plan element, and circulation plan element by incorporating discussion of promoting resiliency in the Township.

**Executive Summary to the
2015 Master Plan Reexamination Report & Master Plan Amendments
Ocean Township, Ocean County, New Jersey**

Impacts of Hurricane Sandy

Hurricane Sandy struck the coast of New Jersey on October 29, 2012, and brought extensive damage to Ocean Township from both storm surge and wind damage. The Township reported that 87 properties within the Township's jurisdiction faced substantial damage. Five of the Township's sewage pump stations went offline due to floodwater inundation and/or power system failure. Trees and power lines throughout the Township also fell, in some cases damaging roofs and buildings. The Township also faced total power outages for 14 days.

Hurricane Sandy exposed several of the Township's vulnerabilities, including: the fact that land to the east of Route 9, which is the most flood prone area of the Township, is largely built out; there are limited options for relocating debris after major storms; the building that houses the municipal zoning and construction departments has no generators; the municipal building's generator is 30 years old; the Township's community center has no generator and is in a flood zone; and, erosion from the Barnegat Bay shoreline compounds vulnerability.

With the impacts of Hurricane Sandy so great and the vulnerabilities so significant, Ocean Township has serious concern and reason for promoting not only recovery from Sandy, but also building resiliency to future storm impacts and other potential natural hazards. While the current 2015 Master Plan Reexamination Report is broad in scope, the experience of Hurricane Sandy and the need to build resiliency has influenced and informed its development.



The Local and Regional Reaction to Hurricane Sandy

Strategic Recovery Planning Report

As a response to Hurricane Sandy, Ocean Township adopted a Strategic Recovery Planning Report in 2014. The purpose of the Strategic Recovery Planning Report is to outline a recommended set of actions to guide the Township in promoting recovery from the impacts of Hurricane Sandy and resiliency to future storms. The actions recommended by the Strategic Recovery Planning Report have been incorporated and described in detail in the master plan reexamination report.



Review of Land Use Designations

Given the experience of Hurricane Sandy and the need to build resiliency to the impacts of future storms and other potential natural hazards, the Township is currently conducting a review of its zoning and underlying land use designations. This review has focused upon the Township's waterfront zones and has indicated that there is a need for distinct regulations for waterfront properties and zone districts, specifically with regard to: minimum lot sizes and setback requirements; decks; sheds; preservation of viewsheds; placement of above-ground pools and hot tubs; storage of recreational vehicles; and, parking. This work was ongoing as of the preparation of the 2015 Master Plan Reexamination Report.

2014 Ocean County Multi-Jurisdictional All Hazard Mitigation Plan

The 2014 Multi-Jurisdictional All Hazard Mitigation Plan (HMP) is intended to provide a blueprint for saving lives and reducing property damage from the effects of natural and man-made disasters in Ocean County, as well as to improve community resiliency following disastrous events. The HMP is also intended to fulfill state and federal legislative requirements related to local hazard mitigation planning, and facilitate access to pre- and post-disaster grant funding. The HMP is comprehensive in its scope and hazard mitigation strategy.

As part of its participation in the Ocean County HMP, Ocean Township identified various actions to mitigate hazards; for example:

- Acquiring and/or elevating flood-prone residential properties;

**Executive Summary to the
2015 Master Plan Reexamination Report & Master Plan Amendments
Ocean Township, Ocean County, New Jersey**

- Adopting Advisory Base Flood Elevation maps;
- Continuing to participate in the National Flood Insurance Program (NFIP);
- Developing and implementing shelter management plans;
- Implementing erosion control related projects;
- Implementing flood control related projects;
- Installing riprap along shoreline;
- Joining, maintaining, or increasing rating for CRS program;
- Maintaining, improving, and expanding education and awareness programs;
- Relocating community facilities/ infrastructure.

Enactment of the recommendations made in Ocean County’s Multi-Jurisdictional All Hazard Mitigation Plan by Ocean Township will promote recovery from and resiliency to future storms and all other types of hazards. The 2015 Master Plan Reexamination Report and resulting master plan amendment, therefore, incorporate goals to support and enact many of the actions that have been outlined in the Multi-Jurisdictional All Hazard Mitigation Plan.

Additional Planning Efforts

Ocean Township’s planning efforts also emphasize smart growth principles, as well as sustainability and resiliency, as evidenced by the following:

In 2005 Ocean Township received Plan Endorsement from the New Jersey State Planning Commission, which included the designation of the Waretown Town Center as a redevelopment area. This designation legitimized over a decade of planning in Ocean to create a vibrant new mixed-use town center at Waretown. The Waretown Town Center is reflected on the Township’s zoning map as the “Town Center Redevelopment District (TC)”, and integrates land uses and smart growth planning principles into a comprehensive mixed-use center design. The Waretown Town Center has also been designated a coastal town center under the Coastal Area Facility Review Act (CAFRA). The Plan Endorsement and Town Center Designation also included the extension of Volunteer Way to the Garden State Parkway, providing a key evacuation route for new and existing development in the Township.

In 2007, the Economic Redevelopment Plan was amended to include the Town Center Conceptual Plan approved by the State Planning Commission. In 2013, the Economic Redevelopment Plan was further amended to outline more detailed design standards for the Waretown Town Center Redevelopment Area. The current redevelopment plan for the Town Center (TC) District, which incorporates green infrastructure techniques

**Executive Summary to the
2015 Master Plan Reexamination Report & Master Plan Amendments
Ocean Township, Ocean County, New Jersey**

and encourages green building design, is reaffirmed and made part of the overall land use plan for the Township and comprehensive strategy for resilient development.

Additionally, the Township designated areas of the Township as Environmental Conservation (EC) Districts to protect important habitat areas and environmentally sensitive lands in the environs outside of the Town Center and established several Bayfront Conservation (BC) Districts to help protect environmentally sensitive and flood prone areas close to the Barnegat Bay. The Township reaffirms its previous planning framework and overall land use plan, which concentrates future development in centers and preserves land in environmentally sensitive areas as a foundation for a future sustainable and resilient community.

Specific Changes Recommended for the Master Plan and Development Regulations

Given the extent to which there have been significant changes in assumptions, policies and objectives at the local, county, and state levels, the 2015 Master Plan Reexamination Report recommends a number of changes to the Township's municipal master plan and development regulations, many of which have been developed in accordance with the preparation of the Township's 2015 Floodplain Management Plan, 2014 Strategic Recovery Planning Report, and the Township's capital improvement plan. These changes are discussed in the following subsections.

Changes to the Master Plan

The 2015 Master Plan Reexamination Report recommends the following actions to aid the Township in promoting local recovery and in building resiliency:

- A land use plan amendment to facilitate the changes to zoning and development regulations that are recommended in the master plan reexamination (below) and incorporating green building and infrastructure techniques to aid the Township to build resiliency through development regulations;
- Update the Open Space and Recreation Plan to provide current mapping of the Township's recreation and open space network, encourage buyouts of flood-prone properties, and promote living shoreline and other green infrastructure strategies;
- Update the Circulation Plan Element to promote the development of bicycle and pedestrian connections in the Township; and,

Executive Summary to the 2015 Master Plan Reexamination Report & Master Plan Amendments Ocean Township, Ocean County, New Jersey

- Update the Community Facilities Plan to provide current mapping of public facilities and other critical infrastructure within the Township, as well as promoting resiliency at these facilities and infrastructure.

To reflect these recommendations, the master plan has been amended to incorporate updates to each of these recommendations as separate plan elements.

Furthermore, the master plan goals and objectives have been amended and supplemented. Examples of supplemented goals include:

- Automating and updating the Township's system for processing zoning and construction permits;
- Updating the Township's Emergency Operating Plan;
- Developing a Geographic Information System (GIS) to increase resiliency. This is currently being prepared and is used as a foundation to the master plan;
- Increasing participation in FEMA's Community Rating System (CRS);
- Preparing a Debris Management Plan; and
- Installing a town-wide Supervisory Control and Data Acquisition (SCADA) system.

Changes to Development Regulations

The 2015 Master Plan Reexamination Report also recommends a number of changes to the Township's development regulations which seek to promote recovery and resiliency to future storms, such as:

- Changing the zone district designations of specific waterfront neighborhoods to R-1A, BC, or WD where necessary, in order to promote marine-oriented development and to preserve wetlands in areas that are not sewered.
- Revising and updating the zoning in the waterfront development districts (R-1A, BC, and WD zones) to better accommodate the typical lot size in each waterfront neighborhood. Updated zoning standards will promote sustainable development and resiliency to future Sandy-type storms. It will also facilitate rebuilding and reinvestment by providing zoning standards that minimize non-conformities and



**Executive Summary to the
2015 Master Plan Reexamination Report & Master Plan Amendments
Ocean Township, Ocean County, New Jersey**

reduce the number of bulk variances that may be required to rebuild dwellings damaged by Hurricane Sandy or future storm events.

- Evaluating the Bayfront Conservation (BC) District to ensure that the zoning in this area supports the preservation of natural environmental systems, such as coastal wetlands. To achieve this, the Township should consider the adoption of noncontiguous clustering provisions.
- Other miscellaneous changes and improvements related to issues ranging from: setback requirements for generators and air conditioning units, and stairs on elevated residential dwellings; to standards for accessory apartments; to ground-mounted solar facilities; among others.

These recommendations have been incorporated as part of the master plan amendments. In addition to these changes, the Township will continue to evaluate its ordinances in order to ensure continuing efforts in facilitating resiliency to storm events.

Summary

Hurricane Sandy caused extensive damage in Ocean Township and exposed many vulnerabilities. While much has been done to promote recovery, additional work is needed. Furthermore, it is important to ensure that the Township's master plan helps the Township to build resiliency to future storms and other potential natural disasters. The 2015 Master Plan Reexamination Report and Amendments will help the Township to meet these needs.



I. — 2017 Amended Redevelopment Plan for Ocean Commons Sub-Area (Block 41, Lot 42.01)

Redevelopment Plan

Ocean Commons Sub Area (Block 41, Lot 42.01)

Township of Ocean
Ocean County, New Jersey

Adopted January 12, 2012
Amended March 9, 2017

Prepared By



11 Tindall Road
Middletown, NJ 07748

The original of this document has been signed and sealed
in accordance with New Jersey Law



Stan Slachetka, AICP, P.P.
New Jersey Professional Planner
License No. LI-03508

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INTRODUCTION

In June 2000, an Economic Redevelopment Plan (ERP) was adopted to guide future redevelopment of properties north of Wells Mill Road and west of Route 9. The 2000 ERP was amended in December 2007 to update the plan based upon the December 2005 plan endorsement and center designation of the Waretown Town Center from the New Jersey State Planning Commission.

The 2007 ERP amendments reflect the Township's plan endorsement and center designation as required by the Planning and Implementation Agenda (PIA) approved by the State Planning Commission. They permit a pedestrian-oriented mixed-use town center within the previously designated redevelopment plan area. The 2007 ERP included a Conceptual Development Plan for the Waretown Town Center that identified the portion of Block 41, Lot 42.01, (a.k.a. the Ocean Commons site) located in the center for multi-family residential development, with a maximum of 85 residential units.

On January 12, 2012, the Township Committee amended the 2007 ERP to establish a sub-area redevelopment plan for the Ocean Commons site that reduced the number of permitted residential units in the Ocean Commons sub-area to a maximum of 55 units and specified the land use and building requirements for Block 41, Lot 42.01.

On April 11, 2013, the Township Committee adopted The TC Town Center District Redevelopment Plan, which further refined the Township's Economic Redevelopment Plan by establishing a regulating plan, form-based code, and revised conceptual development plan for the TC Town Center District. The 2013 plan also included the Ocean Commons Redevelopment Plan as a sub-district within the overall TC Town Center District and stated that the requirements included in the previously adopted redevelopment plan for the Ocean Commons site would continue to govern redevelopment projects in that area.

This amendment to the Ocean Commons Redevelopment Plan and OC Subdistrict of the TC District provides for an additional form of development as an option to the uses previously established as being permitted as part of the plan. Specifically, the amended redevelopment Ocean Commons Redevelopment Plan will allow, as an option, the development of a 100-percent multifamily residential affordable housing project financed by means of the US Federal Tax Credit Program authorized by 26 U.S.C. §142 et seq. pursuant to the requirements set forth herein.

STATUTORY REQUIREMENTS

This Redevelopment Plan is written pursuant to Section 7 of the LRHL (N.J.S.A. 40A:12A-7), which provides that "no redevelopment project shall be undertaken or carried out except in accordance with a redevelopment plan adopted by ordinance of the municipal governing body." Pursuant to the requirements of the LRHL, the redevelopment plan shall include an outline for the planning, development, redevelopment, or rehabilitation of the project area sufficient to indicate:

- (1) Its relationship to definite local objectives as to appropriate land uses, density of population, and improved traffic and public transportation, public utilities, recreational and community facilities and other public improvements.

- (2) Proposed land uses and building requirements in the project area.
- (3) Adequate provision for the temporary and permanent relocation, as necessary, of residents in the project area, including an estimate of the extent to which decent, safe and sanitary dwelling units affordable to displaced residents will be available to them in the existing local housing market.
- (4) An identification of any property within the redevelopment area which is proposed to be acquired in accordance with the redevelopment plan.
- (5) Any significant relationship of the redevelopment plan to: (a) the master plans of contiguous municipalities; (b) the master plan of the county in which the municipality is located; and (c) the State Development and Redevelopment Plan adopted pursuant to the "State Planning Act," P.L. 1985, c.398 (C.52:18A-196 et al.).

The Ocean Commons Redevelopment Plan addresses each of these requirements as described in the following sections of the plan.

REDEVELOPMENT AREA DESCRIPTION

The Ocean Commons site is located just south of the intersection of Bay Parkway and Route 9, east of the Garden State Parkway and west of Route 9 (See Figure 1.) Surrounding land uses include a commercial use to the North, unimproved land, a Sonic restaurant (which has recently been closed) and a diner to the east across Route 9, Clayton Block stone yard to the south and a waste management use and unimproved pinelands to the west. The subject property, identified on Township Tax Maps as Block 41, Lot 42.01 is approximately 9.3 acres in size, of which approximately 4.45 acres are located within the Town Center. The remaining portion of the tract is located in the Environmental Conservation (EC) Redevelopment District.

REDEVELOPMENT PLAN OBJECTIVES

The goals and objectives of the redevelopment plan are as follows:

- Protect the health, safety, and welfare of the citizens of the Township of Ocean by developing a multi-family development project having a unified design theme that incorporates principles of neo-traditional design, provides pedestrian and vehicular linkages to adjoining properties and the planned Town Center;
- Provide tax ratables for the Township through the redevelopment of the area;
- Promote the overall economic and land use objectives of the Township's Master Plan;
- Improve the aesthetic image of the Township;
- Provide residential development to create the critical mass necessary to support planned non-residential development within the Center;
- Provide a range of housing choices for various income levels and age groups;

- Establish a public-private partnership in the redevelopment of the site by leveraging private investment with a strategic use of public funding and technical assistance to support private redevelopment efforts;
- Create a pedestrian-friendly environment, easily accessible from neighboring residential and non-residential areas; and
- Direct development and redevelopment into the Waretown Town Center consistent with the smart growth policies of the State Plan.

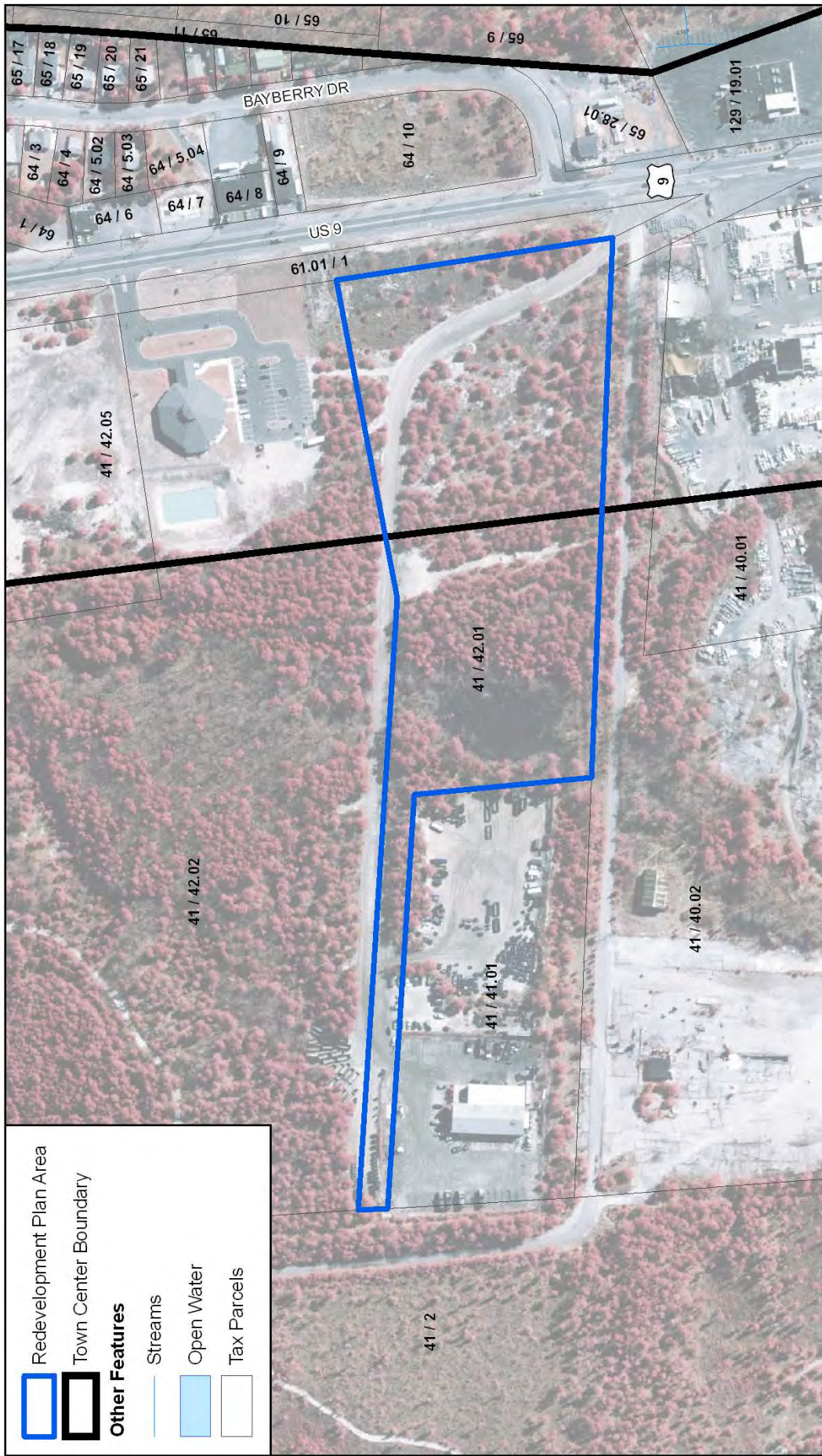







Figure 1: Redevelopment District
Ocean Township
Ocean County, New Jersey



NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State-authorized.

	Redevelopment Plan Area
	Town Center Boundary
Other Features	
	Streams
	Open Water
	Tax Parcels

T&M
 ASSOCIATES
 11 Tindall Road
 Middletown, NJ 07748-2792
 Phone: 732-671-6400
 Fax: 732-671-7365



Prepared by: STK, January 16, 2008
 Source: NJDEP - Open Water; Streams: NJDOT - 2005 Roads;
 Ocean Township Planning - Redevelopment Districts; Town Center; Tax Parcels
 File Path: H:\OTRE\IR00090\GIS\Projects\Figure 1 - Redevelopment District.mxd

ENVIRONMENTAL CONSTRAINTS AND ACCESS

ENVIRONMENTAL CONSTRAINTS

Freshwater wetlands are located outside the Town Center in the Environmental Conservation District. The portion of the Redevelopment Area within the Town Center contains no wetlands, floodplains or no known contaminated sites. The State's Landscape Project mapping identifies the portion of the property within the Town Center as a Category 3 state threatened forest species habitat (See Figure 2).

ACCESS

Access to the site requires crossing Block 61.01, Lot 1, which is a former railway right-of-way that runs parallel to Route 9. Block 61.01, Lot 1, is owned by Ocean County and is planned to be improved as a regional pedestrian path and bikeway. An unpaved driveway traverses the site and provides access to a waste disposal service located on Block 41, Lot 41.01, which is located over 450 feet from the Town Center boundary. This driveway is planned to be relocated along the northerly property line of the subject property ("Access Road"). At the time of the writing of this plan, the final alignment of the proposed Bay Parkway extension into Waretown Center has not been designed. Accordingly, the identified access road could potentially serve as a portion of Bay Parkway Extension or as a connection to Bay Parkway if it is extended from the north.

Access to the residential development proposed in the redevelopment plan is to be accomplished from the access road. No direct access to Route 9 via new driveways other than the intersection with the access road is proposed.

This plan recognizes that the design of the intersection of the access road and Route 9 will need to be designed based upon the final agreed upon location of the proposed Bay Parkway Extension. This may be addressed in the Township's proposed Transportation Improvement District (TID). NJDOT will provide final approval of this intersection. However, the applicant shall provide a crosswalk for the County bike path, as per the County's requirements.

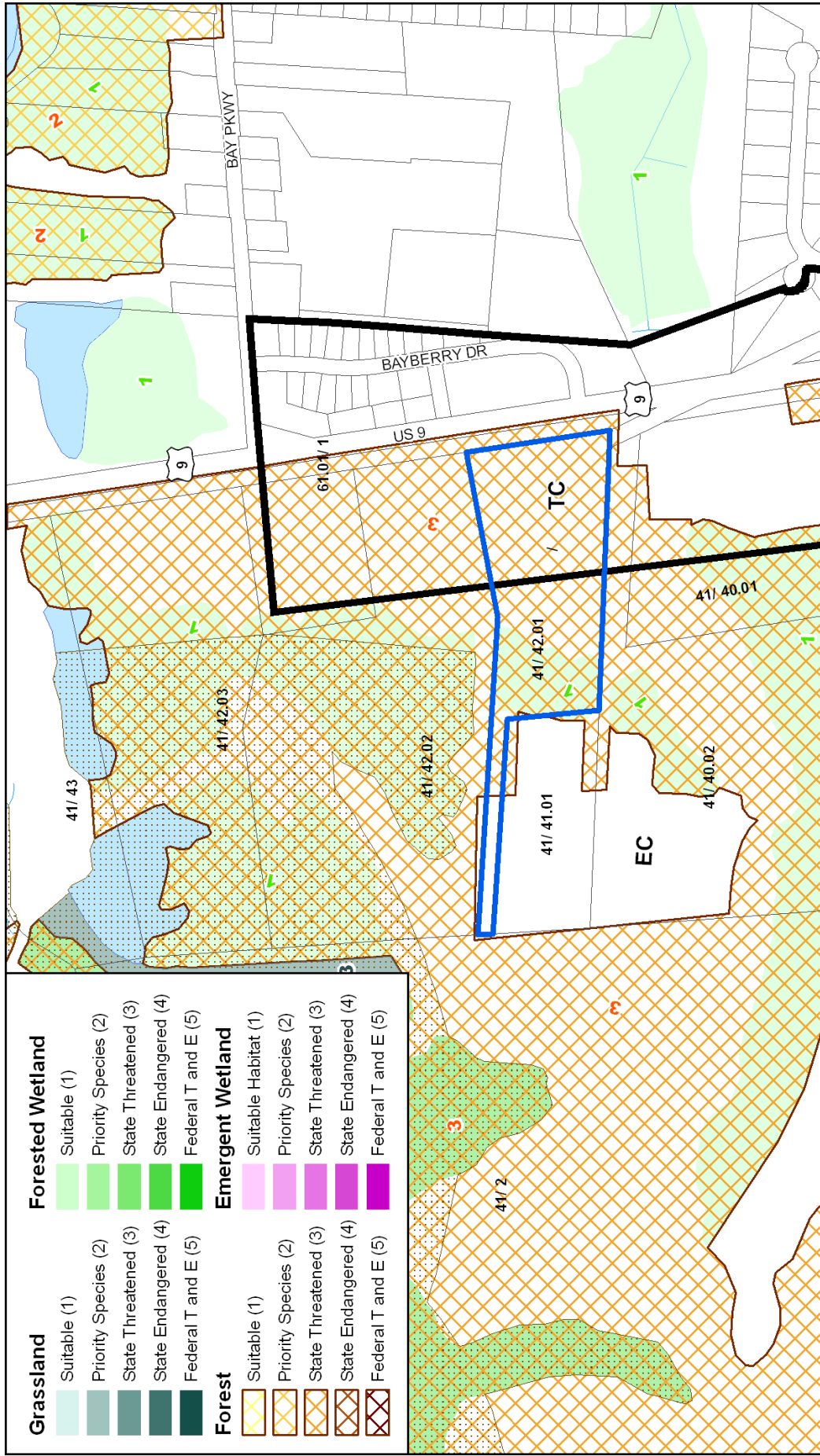


Figure 2: Environmental Constraints
Ocean County, New Jersey

11 Tindall Road
 Middletown, NJ 07748-2792
 Phone: 732-671-6400
 FAX: 732-671-7365
ASSOCIATES

Redevelopment Plan Area
 Town Center Boundary
 Wood Turtle Habitat
 Open Water
 Tax Parcels

Other Features
 Streams

0 225 450 900 Feet

Prepared by: STK, January 16, 2008
 Source: NJDEP - Open Water; Streams, Landscape Project data; NJDOT - 2005 Roads;
 Ocean Township Planning - Redevelopment Districts, Town Center, Tax Parcels
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NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State-authorized.

RELATIONSHIP TO DEFINITE LOCAL OBJECTIVES

MASTER PLAN

The Township of Ocean and its Planning Board have adopted a number of planning documents, reports, and studies through the years. Among these documents are the:

- 1999 Master Plan Update - 1999
- 2000 Economic Redevelopment Plan - June 2000
- 2001 Master Plan Reexamination Report - April 19, 2001
- Community Forestry Plan 2002 – 2007 - January 15, 2002
- 2002 Open Space and Recreation Plan - September 12, 2002
- 2003 Amended Land Use Plan Element - April 21, 2003
- Route 9 – Phase I Redevelopment Plan - July 9, 2004
- Amended Land Use Plan Element, Circulation Plan Element and Master Plan Reexamination – December 14, 2005
- Land Use Element Amendment Environmental Conservation (EC) and Bayfront Conservation (BC) Areas – October 5, 2006
- 2007 Economic Redevelopment Plan Amendments – December 2007
- Zoning Map Amendments – November 13, 2008
- 2008 Housing Element and Fair Share Plan – December 2008
- 2013 TC Town Center District Redevelopment Plan
- Strategic Recovery Planning Report – April 2014
- 2015 Master Plan Reexamination Report – May 2015
- 2015 Floodplain Management Plan – June 2015

Regarding land use issues in the Township, the 2015 Master Plan Reexamination Report reaffirmed the following Community Goals and Objectives from previous plans and recommended several new goals in regards to the Watertown Town Center as follows:

General Goals

- Create an attractive, diverse, and vibrant center consisting of mixed-use development, open space, civic buildings and residential uses; and,
- Create safe trail linkages between the destination nodes in the center, municipal facilities, elementary schools, and the Barnegat Bay (across Route 9).

Land Use Goals

- Create a pedestrian friendly town, easily accessible from neighboring residential areas;
- Provide essential services to residents; and,
- Develop a Center at a density that creates a sense of place, encourages pedestrian activity and uses infrastructure efficiently.

Environmental Goals

- Protect environmentally sensitive lands and direct growth towards areas of Township with existing infrastructure.

Housing

- Encourage a variety of housing types suiting the needs of all income and age levels; and,

- Incorporate low- and moderate-income housing in Centers in accordance with the State Development and Redevelopment Plan and Council on Affordable Housing regulations.

Circulation

- Create pedestrian walkways, bikeways, and other pathways to enhance both the ability and desirability of walking and bicycling; and,
- Establish trails and greenways linking neighborhoods, schools, recreational facilities, community facilities and the Town Center.

Design

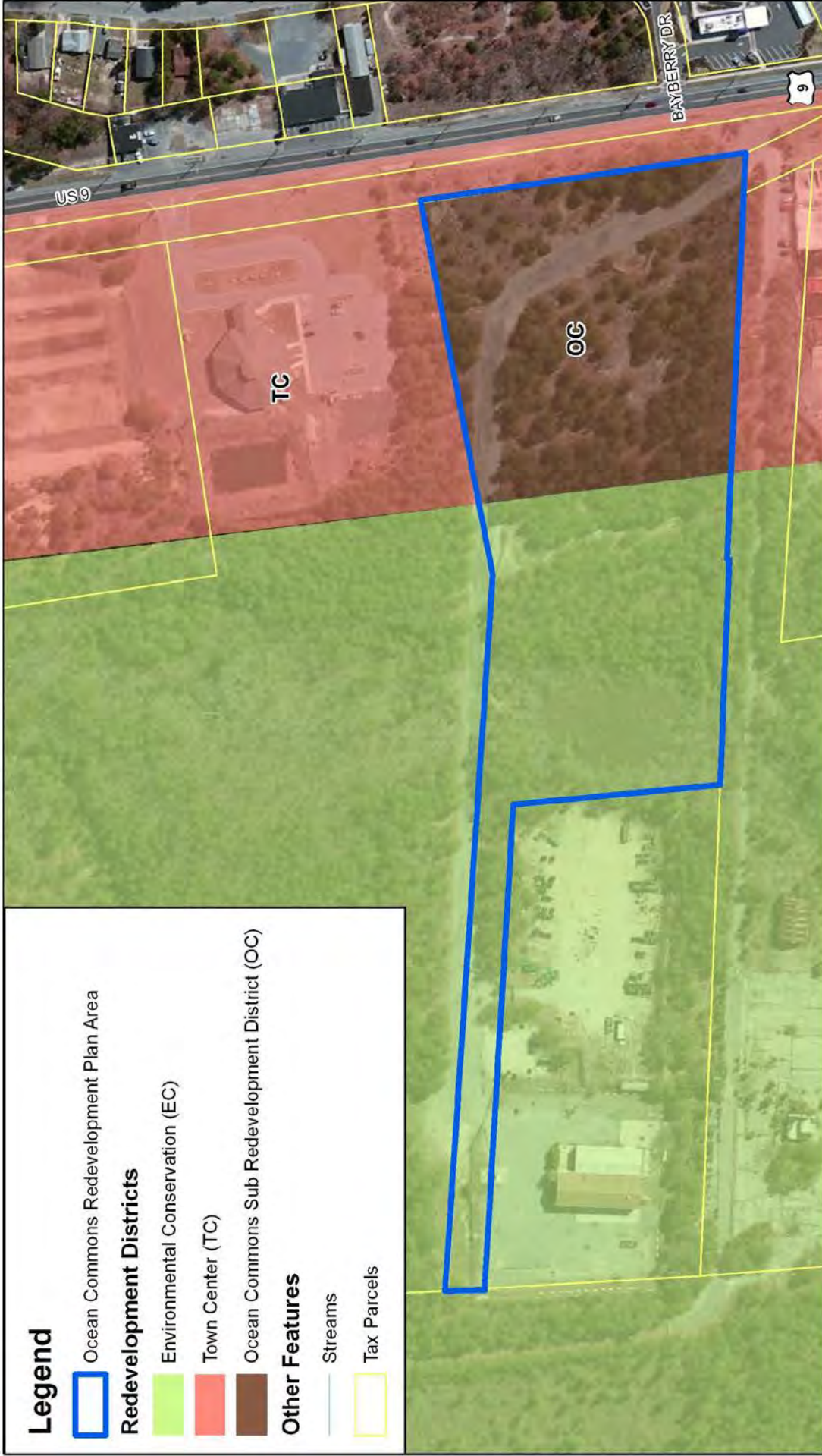
- Create building design that ensures privacy, safety and contributes to the long-term desirability of the community; and,
- Create small-town charm as a key design element for future development.

The goals and objectives of the redevelopment plan are designed to effectuate these overall goals and objectives as stated in the Township’s comprehensive planning documents. Therefore, the redevelopment plan is consistent with the Township’s Master Plan and Master Plan Reexamination Report.


RELATIONSHIP TO TOWNSHIP ZONING AND LAND DEVELOPMENT REGULATIONS

The portion of the Ocean Commons site located in the Town Center is identified as the TC-OC Ocean Commons Town Center Redevelopment Sub District in the currently adopted Zone Map of the Township. The portion of the site outside of the center is in the EC Environmental Conservation District and no changes are proposed in this area of the site. This plan amends the TC-OC District to specify that a maximum of 55 residential units shall be developed in the TC-OC District as part of the comprehensive mixed-use development plan for the Waretown Town Center. Specifically, TC-OC District permits the development of 55 residential units as part of an inclusionary development with 12 units of affordable housing. The TC-OC District also permits a 100-percent multifamily residential affordable housing project financed by means of the US Federal Tax Credit Program authorized by 26 U.S.C. §142 et seq. The TC-OC sub-district and its relationship to adjoining zone districts are shown in Figure 2. This plan also amends the Waretown Town Center Conceptual Development Plan to incorporate the Conceptual Redevelopment Plan for the Ocean Commons site presented in this plan.




The Redevelopment Plan Area delineated shall be redeveloped in accordance with the permitted uses, development requirements, and design standards detailed in this plan. In order to implement the Redevelopment Plan consistent with the goals and objectives herein, this Redevelopment Plan supersedes the use, bulk, and design standards provisions of the Township Land Development Ordinance as they relate to the Area governed herein. Other Township regulations affecting development that are in conflict are also superseded by this Redevelopment Plan. However, existing engineering standards, definitions, and sections of the Land Development Ordinance not covered by the Plan or specified in this plan as being applicable shall apply.





Legend

-  Ocean Commons Redevelopment Plan Area

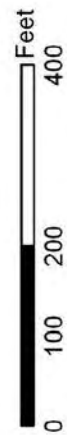
Redevelopment Districts

-  Environmental Conservation (EC)
-  Town Center (TC)
-  Ocean Commons Sub Redevelopment District (OC)

Other Features

-  Streams
-  Tax Parcels

T&M
 ASSOCIATES
 11 Tindall Road
 Middletown, NJ 07748-2792
 Phone: 732-671-6400
 Fax: 732-671-7365



Prepared by: STK, January 16, 2008, Revised by ARR January 10, 2012
 Source: NJDEP - 2007 Aerials, Streams, NJDOT - 2005 Roads;
 Ocean Township Planning - Redevelopment Districts, Town Center, Tax Parcels
 H:\OTRE\0090\GIS\Projects\Figure 3- Ocean Commons Sub District_01102012.mxd

Figure 3: Ocean Commons Redevelopment Sub District
Ocean Township
Ocean County, New Jersey



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Proposed Land Use and Building Requirements

The LHRL requires that the Redevelopment Plan provide the proposed land uses and building requirements for the designated project area. The following are the regulations and design standards for the Ocean Commons Redevelopment area, which will be known as the Ocean Commons (TC-OC) sub district of the Town Center district. The portion of the Ocean Commons site in the EC Environmental Conservation District will be governed by the land use regulations and requirements of the EC District.

DESIGN CONCEPT

Two redevelopment conceptual design plans have been prepared which can form the basis of the future development of the Ocean Commons site in the Waretown Town Center. (See Figures 4 and 5)

The design concept for both options is consistent with the overall vision for the Waretown Town Center and takes its inspiration from the period of time when Waretown was a bayside fishing and ship building village inhabited by a limited year-round population and a large influx of seasonal visitors. Over the past sixty years, Waretown has become a closely knit, year-round community. The objective for the redevelopment plan is to create a multi-family project conveying a sense of an established residential community.

The design concept for this sub area of the Waretown Town Center redevelopment plan as illustrated in Figure 4 provides for 55 townhome units, including 12 affordable units, which will be included in townhome-style flats in the six (6) townhome buildings. The proposed location for the affordable units are identified as "AF" in each of the buildings on the concept plan. Alternatively, in Figure 5, the concept plan for the sub area can provide for a 100-percent affordable project, and utilizing a similar design concept but with five (5) townhome-style (mixture of two-story and single story apartments or "towns over flats") buildings and an office/clubhouse building.

Both concept plans illustrated herein are intended to provide general guidance and establish the key design features, building relationships, and location of site improvements and related open space and public amenities in the design of the redevelopment project. The Township Committee acting as the Redevelopment Entity reserves the right to review specific project proposals as described in the section of this plan governing Administrative and Review Procedures in relation to the proposed project's consistency with the redevelopment plan and may require revisions or approve other approaches to site design that achieve the objectives of the plan before authorizing the designated redeveloper to submit the proposed site plan to the Planning Board for its review. In reviewing the application for the redevelopment project, the Planning Board may permit minor modifications of the Concept Plan as part of site plan review as long as they promote the goals and objectives of this plan and the comprehensive Town Center Plan, and the uses, maximum permitted residential units, and key design concepts of the plan are not altered.

The architecture of the project shall be traditional Jersey Shore housing style. The architecture shall provide for decorative front building facades for all building sides that face roadways and internal driveways. Exterior façades shall be designed in a late 19th – early 20th century worker’s Victorian, foursquare style, or First Period English subject to the approval of the Redevelopment Entity and will incorporate wood clapboard or shingle siding, wide porches, broad gables or cross gables, dormers, windows with grilles and stone foundations. Examples of potential architectural elevations for the 100-percent affordable project are shown in Figure 6. As noted, these will be subject to further review by the Redevelopment Entity and its technical review committee.

Materials chosen for this project shall include self-sealing roof shingles, simulated wood shake, metal roof highlights and synthetic stone veneers. The gazebo, community buildings, office/clubhouse, and accessory buildings shall also employ the same materials. The project shall be designed and utilize energy efficient materials that are recognized by the Leadership in Energy and Environmental Design (LEED).

Bicycle and pedestrian walks will connect the complex to the County rail-to-trails for recreational access. A picnic area with pavilion or gazebo, and open lawn area will also serve the development.

FIGURE 4—REDEVELOPMENT CONCEPTUAL DESIGN PLAN – OPTION 1

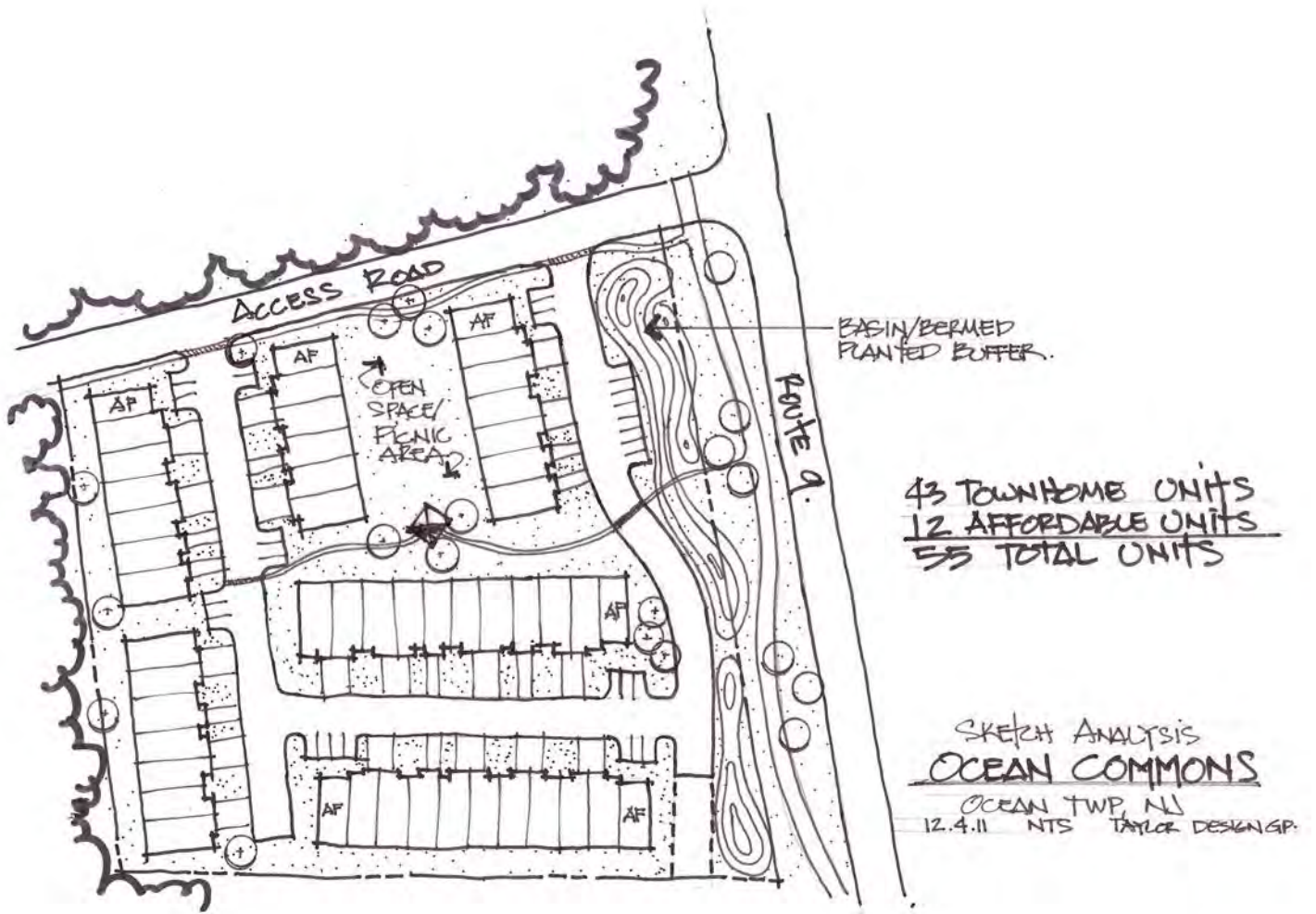


FIGURE 5—REDEVELOPMENT CONCEPTUAL DESIGN PLAN – OPTION 2



FIGURE 6—EXAMPLES OF ARCHITECTURAL ELEVATIONS – OPTION 2



LAND USE AND BUILDING REQUIREMENTS

A. DEFINITIONS AND TERMS EXPLAINED

1. A setback line identifies the minimum horizontal distance between a property line and the nearest point of all structures, in order to ensure a minimum area without buildings.
2. Building frontage. Building frontage is the length of a building façade that faces a street.
3. Townhome Style Flats - Townhouse style flats correspond with proposed 12 affordable units as identified as "AF" on the concept plan in Option 1. Townhome flats are also permitted in a 100-percent affordable housing project. Townhouse style flats are designed to appear as traditional attached townhouses from the exterior. Each unit is located above or beneath another unit.

B. PERMITTED PRINCIPAL USES

1. Option 1: Multifamily residential inclusionary development consisting of:
 - a. Townhomes
 - b. Townhome-style flats in AF building locations pursuant to the Concept Plan illustrated in Figure 4
 - c. Home Occupations may be permitted in individual residential units
2. Option 2: 100-percent multifamily residential affordable housing project financed by means of the US Federal Tax Credit Program authorized by 26 U.S.C. §142 et seq. consisting of:
 - a. Townhomes
 - b. Townhome-style flats

C. PERMITTED CONDITIONAL USES

1. None

D. PERMITTED ACCESSORY USES

1. Uses that are customarily incidental to the permitted use including a clubhouse, gazebos, pool and recreation facilities for the use of the residents and guests of the development.
2. Ancillary storage facilities or structures for bike and recreation equipment and other personal items as approved by the Planning Board.
3. Patios or decks, as approved by the Planning Board.

E. SPECIFICALLY PROHIBITED USES

1. Outdoor storage except that bicycle racks are permitted in association with public recreation areas, office/clubhouse building, and community facilities.

F. GENERAL REQUIREMENTS

Description	Permitted
Minimum Tract Area	9 acres
Maximum Residential Units	55
Minimum affordable-unit setaside	12 units of affordable housing (21.8%) if inclusionary, 100% if entirely affordable
Maximum Impervious Coverage (Town Center)	70%
Minimum Open Space (Town Center)	30%
Maximum Impervious Coverage (EC District)	3% or legally existing impervious coverage pursuant to CAFRA regulations
Minimum Open Space (EC District)	97%

G. BULK REQUIREMENTS

Description	Permitted
Setback to County rail trail ROW	12 to 20 feet
Building length	220 feet
Minimum Rear Yard Setback to common parking lot	24 feet
Minimum Front Yard Setback to common parking lot	12 feet
Maximum Number of Stories	3
Maximum Height	35 feet
Planted Buffer to Adjoining Property	10 feet to the southern and northern property lines
Setback from Access Road	15 feet
Minimum Rear Yard Setback to Town Center Boundary line	25 feet
Minimum Setback to Common Parking Areas	12 feet
Minimum Distance Between Buildings	15% of average building length of adjacent buildings
Maximum Number of Units per Building	14
Maximum Number of Affordable Units per Building	4 for inclusionary and 14 for 100% affordable projects

H. ADDITIONAL REQUIREMENTS

1. Parking area setback to property line: ten (10) feet

2. Off-street parking shall be provided in accordance with the New Jersey Residential Site Improvement Standards. In evaluating the project's consistency with the objectives of the redevelopment plan, the Redevelopment Entity may consider and approve the granting of a de minimus exception for parking based on a parking analysis showing parking utilization at similar developments.
3. Must provide affordable housing in accordance with affordable housing requirements of the Township's Housing Plan Element and regulations of the Department of Community Affairs (DCA) or successor state agency responsible for the regulation of affordable units at the time of an issuance of a certificate of occupancy.

I. ADDITIONAL ACCESSORY USE REQUIREMENTS

1. The minimum distance of accessory buildings to the primary structure shall be ten (10) feet.
2. No accessory building shall be used for human habitation.
3. No accessory building, other than the clubhouse, shall have floor or ground area in excess of five hundred (500) square feet or one-third (1/3) of the floor or ground area of the principal building, whichever is greater.
4. No accessory building or structure, other than the clubhouse shall exceed fifteen (15) feet in height.
5. No accessory building or structure shall be permitted in front of a principal building.
6. Accessory buildings built in a rear or side yard shall be no closer than five (5) feet from any side or rear property line of the lot containing said accessory building; provided, however, that no accessory building shall be located closer than eight (8) feet to said line on any lot which has a rear lot line that serves as a side line of an adjoining property.
7. No accessory building shall be erected on any corner lot closer to any of the lines of the streets abutting said lot than the build-to line requirement from said streets.

J. YARDS

1. Yards required by this Plan shall be free of buildings, structures or parts thereof, unless specifically permitted as part of this plan.
2. Projections and encroachments. No building or structure shall project into any build-to line requirement, front, side, rear yard or buffer required by this plan, nor shall use be made of such yard, except as follows:
 - a. Unenclosed porches, including steps may extend not more than seven (7) feet into the build-to line requirement or three (3) feet into the side yard setback along public streets.
 - b. Building entrances may encroach not more than six (6) feet into the build-to line requirement, side and rear yard setbacks.
 - c. Window wells affording light and air to basement and cellar areas.

- d. Cornices and eaves may project not more than two (2) feet into any required yard or build-to line requirement.
- e. Chimneys may project not more than two (2) feet into any required yard or build-to line requirement.
- f. Driveways providing access to permitted garages or parking areas.
- g. Sills, leaders and similar ornamental or structural features may project not more than six (6) inches into any required yard or build-to line requirement.
- h. Fences and retaining walls, where specifically permitted in this plan.
- i. Residential heating and cooling units, if located in the side yard shall be buffered from adjacent neighbors with evergreen plantings to help mitigate visual appearance, noise and vibration.
- j. A four (4) foot sidewalk shall be permitted within the eastern property buffer as shown on the Concept Plan.

K. ARCHITECTURAL GUIDELINES

- 1. All buildings in their design and layout are to be integrated into the total development scheme. The design intent shall be to achieve the appropriate relationships in scale, form, functional utility as well as appropriateness and relationship to adjoining buildings.
- 2. The purpose is to permit townhome development and six (6) townhome-style flat buildings or in the case of the 100-percent affordable project, five (5) townhome-style (mixture of two-story and single story apartments or “towns over flats”) buildings and an office/clubhouse building. The community is to be designed as a harmonious neighborhood with buildings of a similar and/or compatible scale, massing and use of materials. The goal is to create a comfortable human experience within the community with a continuity of design that allows for individuality of design while still providing a distinct identity for the area.
- 3. All structures shall be situated with proper consideration of their relationship to other buildings, both existing and proposed in terms of light, air and usable open spaces, access to public rights-of-way and off street parking, height and bulk.
- 4. Architectural focal points such as community buildings or gazebos shall be designed to present a harmonious appearance with the rest of the development in terms of building silhouette, architectural style and scale; massing of building form; surface material, finish and texture; decorative features; window and doorway proportions, entryway placement and location, signage and landscaping.
- 5. Exterior building materials shall include self-sealing roof shingles, simulated wood shake, metal roof highlights and synthetic stone veneers subject to approval by the Planning Board. Vinyl siding shall only be permitted upon approval from the Redevelopment Committee. Ideally, fiber cement siding, i.e., Hardie board, is preferred.

6. All buildings shall be designed to have attractive, finished appearances when viewed from all public spaces. Rooflines shall be pitched and varied for architectural interest. All building and unit entrances shall be clearly defined and well lit.
7. Townhome-style flats shall have the appearance of a 2.5 story townhome building.
8. Any third floor living space shall be concealed within the pitch of the roof and dormers to give the appearance of a dormered attic.
9. Porches shall not be enclosed.
10. Building facades facing a public street or right-of-way shall be designed to appear as the front of a building. Each side entry shall include a door(s) and window fenestration and architectural interest typical of the front of a home.
11. Buildings with exterior walls greater than 50 feet in horizontal length shall be constructed using a combination of architectural features and a variety of building materials and landscaping near the walls. Walls which can be viewed from public streets shall be designed using a variety of architectural features and landscaping. Landscaping shall be provided along the building for at least 50% of the wall length.
12. The front elevation of any residential building shall have a minimum of four offsets of no less than four (4) feet each for every 100 feet along the front façade, so long as the distance between any two offsets shall be not greater than 30 feet. A two (2) foot offset shall be permitted if such offset is accompanied by a discernable change in façade materials, design or color.
13. Architectural features include, but are not limited to the following: recesses, projections, wall insets, balconies, window projections, landscape structures or other features that complement the design intent of the structure and are acceptable to the Planning Board.
14. The roofline at the top of the structure should incorporate offsets and jogs to reduce the monotony of any uninterrupted roof plane.
15. Roofs should be designed to reduce the apparent exterior mass of a building, add visual interest and be appropriate to the architectural style of the building. Variations within an architectural style are highly encouraged. Visible rooflines and roofs that project over the exterior wall of a building enough to cast a shadow on the ground are highly encouraged. Overhanging eaves, sloped roofs and multiple roof elements are highly encouraged.
16. Exterior Insulated Finish System (EIFS) materials shall not be permitted.
17. The following exterior finish materials are permitted:
 - a. Building façade: Brick, stone or precast cultured stone, fiber cement board, cedar or Portland cement stucco;

- b. Roof: fiberglass or asphalt shingles; standing seam metal as an accent roof material but not the primary roof material; and
 - c. Vinyl siding shall only be permitted upon approval of the Redevelopment Committee.
18. The development shall have an identifiable edge consisting of a planted buffer no less than ten feet wide at any point along the southerly and westerly property lines.
19. A consistently high quality of architecture shall be used throughout the development. The mass and spatial relationships should emulate traditional towns and local character.
20. Signs. – One monument sign no greater than twelve (12) square feet shall be permitted subject to Planning Board approval. Monument signs shall be faced with a primary building material, i.e., stone veneer.
21. Open space areas where improved, shall be attractively landscaped with grass lawns, trees and shrubs. Provision shall be made for the preservation of existing trees and natural features including those in designated critical areas. All proposed landscaping, including existing and new trees, shrubs and natural screening shall be shown on the site plan submitted to the approving Board for approval and prepared by a certified landscape architect.
22. Streetscape/bikeway improvements are required along the County rails-to-trails frontage, including signage, decorative street lighting, sidewalks, and street trees to provide a decorative and attractive street frontage.

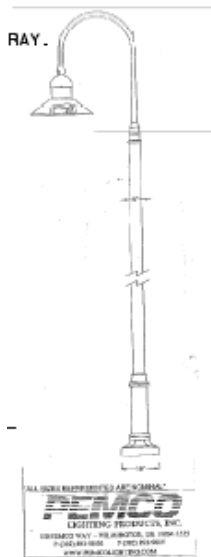
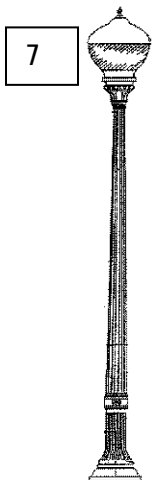
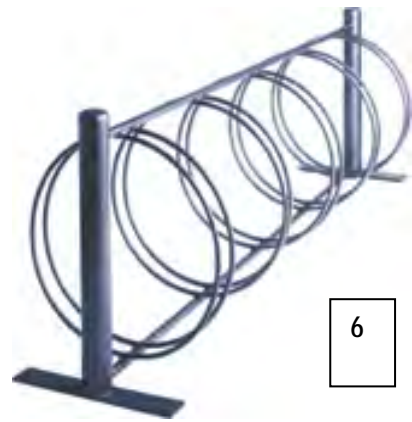
L. LANDSCAPE GUIDELINES

- 1. Landscaping is to be provided as part of all redevelopment and is to be integrated into building arrangements, topography, parking, buffering and other site features. Landscaping may include trees, shrubs, ground cover, berms, flowers, sculpture, art and similar materials, and shall be designed to provide aesthetic, buffering, environmental, ornamental, and other related functions. All landscaping plans shall be prepared by a New Jersey licensed landscape architect, and subject to approval by the Planning Board.
- 2. Landscaping for non-residential uses should define entrances to buildings and parking lots, define the edges of various land uses, provide transition between neighboring properties (buffering), and provide screening for loading and equipment areas.
- 3. Landscaping shall permit adequate site distance for motorists and pedestrians entering and exiting a site and shall not interfere with circulation patterns.
- 4. Landscaping shall be provided adjacent to and within parking areas to screen vehicles from view and to minimize the expansive appearance of parking fields. Trees shall be installed adjacent to roadways and driveways.

5. Trees shall be planted adjacent to roadways and driveways parallel to the street along all streets.
6. Tree spacing adjacent to roadways and driveways shall be determined by species type. Large maturing trees shall be planted a maximum of 40 feet on center. Small and medium maturing trees shall be planted a minimum of 10 feet and a maximum of 30 feet on center.
7. Plantings toward the street shall respect the integrity of the street by not obscuring important buildings and respecting views to and from streets, porches, walks, and public open spaces.

M. STREETScape AND HARDScape STANDARDS

1. The purpose of this section is to establish standards to ensure uniform streetscape elements in the Waretown Town Center.
2. These standards are supplementary to the site plan and subdivision design standards outlined elsewhere in Title 17 and are applicable to all future development in the Waretown Town Center boundary. To provide a uniform design, a specific manufacturer has been identified for various site furnishings and improvements. Other manufacturers providing an exact replica of the identified furnishings may be substituted for the identified furnishings subject to Planning Board approval.
3. Litter Receptacle. DuMor Site Furnishings Model 102-32SH – Thirty two gallon all-steel receptacle with steel shield and tapered flat cover lid. Color – Black.
4. Recycling Receptacle - DuMor Site Furnishings Model 102-32SH – Thirty two gallon all-steel receptacle with steel shield and RC-Recycled Lid “Cans & Bottles Only”. Color – Black.
5. Bollard Bike Rack – Maglin Site Furniture Incorporated Model MBR200 – direct burial bollard style bike rack. Color – Black.
6. Bike Rack – Urban Accessories – Model D – Color - Black. Length – 6 feet or as approved by the reviewing authority.
7. Light Pole and Fixture: King Luminaire – Fixture Model – K-199 “California Style”. Color – Standard Black. Pole – 13 Foot “Cleveland” style decorative fluted fiberglass pole Color – Black or PEMCO Model DAN-D2-FG-R5-80W60C4K-UNV-STD; 18 feet, Black Powder Coat Finish. The Redevelopment Entity may require a combination of the two fixtures to be used where the King Luminaire acorn-style fixture is used along the site frontage for visual consistency with the rest of Route 9 and along public streets within the Town Center.
8. Bench - DuMor Site Furnishings Model 119-60 – Six foot long bench. Color – Black.



N. FENCES OR WALLS

1. Fences or walls in excess of eighteen (18) inches in height shall be considered as accessory uses to a principal permitted use and shall be permitted in accordance with the standards set forth below:

- a. Type of fence or wall.

<u>Solid (90% or more solid)</u>	<u>Semi-Open (25% up to 90%)</u>	<u>Open (Up to 25%)</u>
Solid picket	1x2 wood screen	Split rail
Board	Contemporary picket	Contemporary rail
Board and batten	Block laid on side	Rail and wire mesh
Louver panel		Chain link

Staggered board
 Panel
 1x4 wood screen
 Brick

NOTE: Openness is defined as the total area of solid elements divided by the total area of fence. Translucent, transparent or clear plastic or similar materials shall be considered as solid elements.

- b. Maximum height and location.

Type of Fence	Height (feet)	Location
All	Over 4	Any fence over four (4) feet in height shall not be located closer to the front lot line than the rear building line of the principal structure (excluding minor projections). Such fences may extend to the side and rear property lines.
Solid	Up to 4	Solid fences up to four (4) feet in height shall not be located closer to the build-to line than the front building line of the principal structure (excluding minor projections). Such fences may extend to the side and rear property lines.
Semi-open	Up to 4	Semi-open fences up to four (4) feet in height shall not be closer than ten (10) feet to the street right-of-way line and may extend to the side and rear property lines.
Open	Up to 4	Such fences may be located anywhere on the lot up to the lot lines. Exception: Chain link fences shall not front on a public roadway, right-of-way or internal driveway.

2. General regulations for fences and walls.
 - a. No fence or wall shall be so constructed or installed so as to constitute a hazard to traffic or safety.
 - b. No fence shall be greater than 6 feet in height, except that fences surrounding recreational facilities may be a maximum of 12 feet in height, so long as such facilities are set back 30 feet from a public street or proposed access road and screened from view from the street or road.
 - c. Hedges and other landscaping shall be exempt from the height limitations of this subsection, but shall not be located so as to constitute a hazard to traffic or safety.
 - d. The face or finished side of a fence or wall shall face the adjacent property.
 - e. No fence or wall shall be constructed with barbed wire, metal spikes or other such dangerous material or constructed in such manner as to be dangerous to animals or humans.
 - f. Split rail fences used at property corners as part of a general landscaping or decorative plan shall be exempt from the provisions of this subsection.
 - g. Any fence or wall meeting the above standards may be constructed and maintained without the issuance of any permit therefore.
 - h. Swimming pool fences. Every private swimming pool shall have a fence enclosure which complies with applicable building codes and local ordinances.
 - i. Retaining Wall: Any retaining wall 48 inches or greater in height shall require a building permit and approval of the Planning Board. Appropriate structural calculations must be provided.

O. PARKING AND CIRCULATION

1. A comprehensive pedestrian and bicycle circulation system must link all uses, with the intent of minimizing walking distances and reducing dependence on the private automobile for internal travel within the Center and external access.
2. No parking spaces shall be located closer than ten feet from a residential building, except where parking garages are located in the building.
3. Sidewalks shall be required between parking areas and principal structures, along aisles and driveways and wherever pedestrian traffic occurs, in compliance with the NJ Residential Site Improvement Standards, or as required by the Planning Board. They shall have a minimum of four feet of passable width and shall be raised six inches or more above the parking area except when crossing streets or driveways. Parked vehicles shall not overhang or extend over sidewalk areas unless an additional sidewalk width of 2 feet is provided to accommodate such overhang.

4. On-site parking areas and private roadways shall be paved with asphalt and curbed with granite block as approved by the Planning Board.
5. Decorative lighting shall be provided within all on-site parking areas, roadways and driveways. All parking areas, private roadways and driveways shall be lighted to provide a minimum of 1/2 footcandles throughout the area. The lighting level at any property line shall not exceed the minimum. Such lighting shall be shielded and shall not be a hazard or nuisance to the adjoining properties or the traveling public.
6. Parking spaces, private roadways, driveways and aisles shall be clearly marked with directional signs and double space markings. Certain areas are to be maintained for fire fighting or other emergency purposes, and these areas shall be appropriately designated.
7. Any driveways leading to a garage shall be at least 20 feet in length, measured between the garage door and the curb or between the garage door and a sidewalk, whichever distance is less.
8. All off-street parking areas and internal roadways shall be paved, bounded by permanent curbing and constructed in accordance with the Township of Ocean road specifications; provided, however, that curbing may be waived or modified by the Planning Board when found not to be needed for control of stormwater, protection of pavement and similar purposes.
9. Any off-street parking spaces must be screened from view of any public road, pedestrian path, or bikeway.

P. LIGHTING

1. Lighting fixtures shall be compatible with the streetscape standards.
2. To maintain a pedestrian scale, the lighting fixture poles shall not exceed a maximum of 16 feet in height for acorn-style fixtures or 18 feet for PEMCO fixtures
3. Light fixtures shall be located and shielded to avoid unnecessary skyward glare and light glare shining directly into the residences on the site and on surrounding properties.

Q. TRASH / RECYCLING ENCLOSURES

1. The responsible solid waste generator shall contract for regular solid waste collection service with any person lawfully providing private solid waste collection services; provided, however, that any responsible solid waste generator transporting the solid waste which is generated at his residential premises directly to a solid waste facility shall be exempt. It shall be the responsibility of the owner of the multiple dwelling to provide a sufficient number of appropriate solid waste

containers for the deposit of non-recyclable waste materials to be disposed of as solid waste. The responsible solid waste generator shall arrange for solid waste collection at least twice per week.

2. Trash and recycling receptacles shall be located in trash enclosures constructed out of the primary exterior building material and shall include a pitched roof. Where it is determined that a pitched roof is unpractical based upon the types of vehicles servicing the trash refuge area(s), the Board may waive the requirement of providing pitched roofs.

R. MAINTENANCE OF COMMON ELEMENTS

The developer shall submit proposals for ownership and maintenance of common elements including open space, recreation facilities, meeting rooms, parking areas, driveways, private streets and similar facilities.

PLANNING RELATIONSHIPS

OCEAN TOWNSHIP MASTER PLAN

Pursuant to the LRHL, "all provisions of the redevelopment plan shall be either substantially consistent with the municipal master plan or designed to effectuate the master plan." (N.J.S.A. 40A:12A-7d) As described in the prior sections, the Redevelopment Plan is substantially consistent with the Township's Master Plan and Land Use Plan Element of the Master Plan and is designed to effectuate the goals and objectives of the Master Plan and its Land Use Plan Element.

ADJACENT MUNICIPALITIES

The redevelopment area is centrally located within Ocean Township and does not border adjacent municipalities. Accordingly, no negative impacts are anticipated to adjoining municipalities.

OCEAN COUNTY

The Redevelopment Plan is consistent with the County's Master Plan in that it proposes redevelopment and revitalization of existing developed communities in a manner consistent with the County Master Plan.

STATE DEVELOPMENT AND REDEVELOPMENT PLAN (SDRP)

The TC-OC Redevelopment District and the area proposed for redevelopment pursuant to this plan is located within the Waretown Town Center, which received plan endorsement from the State Planning Commission on December 7, 2005. The remainder of the tract is in the Environmentally Sensitive Planning Area (PA 5).

The SDRP encourages environmentally appropriate redevelopment in existing centers to support center-based development to accommodate growth that would otherwise occur in the environs. The SDRP supports redevelopment in developed communities to attract growth that may otherwise be planned for the environs. The proposed redevelopment plan

is consistent with these concepts and is designed to revitalize the Township of Ocean consistent with the SDRP.

ADMINISTRATIVE AND PROCEDURAL REQUIREMENTS

AMENDING THE REDEVELOPMENT PLAN

Upon compliance with the requirements of applicable law, the Township Committee may amend, revise or modify the Redevelopment Plan in general or for specific properties within the redevelopment area, as circumstances may make such changes appropriate. The review and approval of any proposed amendments shall be undertaken in accordance with the procedures set forth in the LRHL.

REDEVELOPER SELECTION

The Township intends to undertake a developer selection process that will provide a qualified redeveloper(s) to implement the redevelopment plan in a manner that is in the best interest of the Township. The following restrictions and controls on redevelopment are hereby imposed in connection with the selection of a redeveloper(s) for any property or properties included in the Redevelopment Plan and shall apply notwithstanding the provisions of any zoning or building ordinance or other regulations now or hereafter in force.

1. The redeveloper will be obligated to carry out the specified improvements in accordance with the Redevelopment Plan.
2. The redeveloper, its successors or assigns shall develop the property in accordance with the uses and building requirements specified in the Redevelopment Plan.
3. Until the required improvements are completed and a Certificate of Completion is issued, the redeveloper covenants provided for in the LRHL (N.J.S.A. 40A:12A-9) and imposed in any redeveloper agreement, lease, deed or other instruments shall remain in full force and effect.
4. The redeveloper agreement(s) shall include the provision of affordable units or payment in lieu of constructing affordable housing on-site in accordance with state regulations at the time that a certificate of occupancy is issued.
5. The redevelopment agreement(s) shall contain provisions to assure the timely construction of the redevelopment project, the qualifications, financial capability and financial guarantees of the redeveloper(s) and any other provisions necessary to assure the successful completion of the project.

REDEVELOPMENT ENTITY REVIEW PROCESS

The Township Governing Body acting as the Redevelopment Entity shall review all proposed redevelopment projects within the redevelopment area to ensure that such project(s) is consistent with the Redevelopment Plan and relevant redeveloper agreement(s). Such review shall occur prior to the submission of the redevelopment project(s) to the Planning Board. As part of its review, the Redevelopment Entity may

require the redeveloper to submit its proposed project to a technical review committee or subcommittee of the Redevelopment Entity. The technical review committee may include members of the Redevelopment Entity and any other members and/or professionals as determined necessary and appropriate by the Township. The technical review committee shall make its recommendations to the Redevelopment Entity.

In undertaking its review, the Redevelopment Entity shall determine whether the proposal is consistent with this Redevelopment Plan and relevant redeveloper agreement(s) as well as the overall vision and goals and objectives of the Waretown Town Center Redevelopment Plan as this plan is a sub-district of the Town Center (TC) District within the Waretown Town Center. In addition, the review may address the site and building design elements of the project to ensure that the project adequately addresses the goals and objectives of the plan.

PLANNING BOARD REVIEW PROCESS

Pursuant to N.J.S.A. 40A12A-13, all development applications for development of sites governed by the Ocean Commons Redevelopment Plan shall be submitted to the Township's Planning Board for review and approval. The following provisions shall govern review of any proposed redevelopment and rehabilitation projects for the area:

- No building permit shall be issued by the construction or zoning official for any work resulting in a change of density or intensity of development or change of use for any properties or buildings within the area of the Redevelopment Plan without prior review and approval of the work by the Redevelopment Entity and the Planning Board.
- Regular maintenance and minor repair shall not require Planning Board review and approval.
- The Planning Board shall conduct site plan and subdivision review, if applicable, pursuant to N.J.S.A. 40:55D-1 et seq. and the Township's Land Development Ordinance.
- The redeveloper shall furnish performance guarantees pursuant to N.J.S.A. 40:55D-53 and as required in the Township's Land Development Ordinance. The performance guarantees shall be in favor of the Township of Ocean, and the Township Engineer shall determine the amount of any performance guarantees. For a 100% affordable community performance guarantees will be provided for public improvements only.
- Any subdivision of lots or parcels of land within the Ocean Commons Redevelopment Plan area shall be in compliance with the Redevelopment Plan and reviewed by the Planning Board pursuant to the LRHL and N.J.S.A. 40A:55D-1 et seq.
- Once a property has been redeveloped in accordance with the Redevelopment Plan, it may not be converted to any use not expressly permitted in this Redevelopment Plan. No non-conforming use, building, or structure may be expanded or made more non-conforming in nature after adoption of this Redevelopment Plan. A use or structure not conforming to the requirements of this Redevelopment Plan may not be reconstructed

in the event of its destruction. The Planning Board shall determine the issue of whether the non-conforming use or building structure has been “destroyed.”

- No variances, deviations, or waivers may be granted by the Planning Board which will result in permitting a use prohibited or not expressly permitted within this Redevelopment Plan or which will result in a density that exceeds the densities permitted in this Plan or which triggers a type “d” variance in accordance with Section 40:55D-70 of the Municipal Land Use Law.
- The regulations and controls of this Redevelopment Plan shall be implemented, where applicable, by appropriate covenants, or other provisions and through agreements between the redeveloper and municipality pursuant to N.J.S.A. 40A:12A-8 and 40A:12A-9.
- Any and all definitions contained within the Ocean Commons Redevelopment Plan shall prevail. In the absence of a definition, the definition found within the Township’s Zoning Ordinance shall prevail.
- Except for the limitations described herein, the Planning Board may approve modifications or waivers from the building requirements and standards if deemed in the interest of project implementation and in furtherance of the goals and objectives of the Ocean Commons Redevelopment Plan or the Economic Redevelopment Plan that governs the development of the Waretown Town Center, and where such modifications or waivers do not result in a substantial detriment to the public good.
- A redeveloper shall be required to pay all applicable escrow fees and other required charges in accordance with applicable provisions of the Township's Land Development Ordinance and New Jersey law. Additionally, a redeveloper shall be required to pay their proportional share of the cost of any studies, plans, reports, or analysis prepared by the Township or its designated redevelopment entity as part of the Ocean Commons Redevelopment Plan. Any such payments required to reimburse the Township shall be specified in the redeveloper agreement.
- The above provisions are all subject to approval by ordinance and/or resolution according to law. If a Court of competent jurisdiction finds any word, phrase, clause, section, or provision of the Ocean Commons Redevelopment Plan to be invalid, illegal, or unconstitutional, the word, phrase, clause, section, or provision shall be deemed severable, and the remainder of the Redevelopment Plan and implementing ordinances shall remain in full force and effect.



J. — 2017 Master Plan Amendment — Housing Element and Fair Share Plan

Master Plan Amendment Housing Plan Element and Fair Share Plan

Township of Ocean Ocean County, New Jersey

Prepared for:
Ocean Township Planning Board

Prepared by:



T&M Associates
11 Tindall Road
Middletown, NJ 07748

A handwritten signature in black ink, appearing to read 'Stan C. Slachetka'.

Stan C. Slachetka, PP, AICP
NJ Professional Planner No.: 33LI00350800

Adopted on March 14, 2017 by the Ocean Township Planning Board.
Endorsed on March 30, 2017 by the Ocean Township Committee.
Readopted on October 5, 2017 by the Ocean Township Planning Board.
Re-endorsed on October 12, 2017 by the Ocean Township Committee.

*The original of this document has been signed
and sealed in accordance with New Jersey Law.*

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Housing Plan Element

The Township of Ocean, Ocean County, has prepared this Housing Plan Element and Fair Share Plan as an amendment to the municipal master plan in accordance with the New Jersey Municipal Land Use Law (N.J.S.A. 40:55D-1 et seq.) and the New Jersey Fair Housing Act (N.J.S.A. 52:27D-310 et seq.).

The Municipal Land Use Law requires that a municipal master plan include a housing plan element to enable the municipality to exercise the power to zone and regulate land use. The housing plan element is adopted by the municipal planning board and endorsed by the municipal governing body, and is drawn to achieve the goal of meeting the municipal obligation to provide for a fair share of the regional need for affordable housing.

This Housing Plan Element and Fair Share Plan amends the township's master plan to address current affordable housing planning requirements. It addresses the township's cumulative fair share obligation for the period from 1987 through 2025, and supersedes and replaces the Housing Plan Element and Fair Share Plan that was previously adopted by the Ocean Township Planning Board on December 4, 2008 and endorsed by the Ocean Township Committee on December 11, 2008.

The rules and regulations that have been followed to prepare this plan are the applicable provisions of the substantive rules of the New Jersey Council on Affordable Housing (COAH) for the periods beginning on June 6, 1994 (N.J.A.C. 5:93-1.1 et seq.) and on June 2, 2008 (N.J.A.C. 5:97-1.1 et seq.), as impacted and influenced by the March 10, 2015 decision of the New Jersey Supreme Court In the Matter of the Adoption of N.J.A.C. 5:96 and 5:97 by COAH.

Background to Ocean's Housing Plan Element and Fair Share Plan

Ocean Township last prepared a housing plan element and fair share plan in 2008. The 2008 Housing Plan Element and Fair Share Plan addressed the township's cumulative need for affordable housing. Specifically, it addressed: the township's present need, which is a measure of overcrowded and deficient housing that is occupied by low- and moderate-income households and in need of rehabilitation¹; the remaining portion of the township's prospective need for affordable housing for

¹ It is acknowledged that a January 18, 2017 ruling of the New Jersey Supreme Court has modified the definition of "present need" to include "... an analytic component that addresses the affordable housing need of presently existing New Jersey low- and moderate-income households, which formed during the gap period and are entitled to their delayed opportunity to seek affordable housing." However, the historic definition of "present need", which was valid at the time of the 2008 Housing Plan Element and Fair Share Plan, is used in this instance.

the period from 1987 through 1999; and, the township's prospective need for the period from 2004 through 2018.

After the adoption of the 2008 Housing Plan Element and Fair Share Plan, however, COAH's methodology for determining prospective need for the period from 2004 through 2018 was invalidated by an October 2010 Appellate Division decision; In the Matter of the Adoption of N.J.A.C. 5:96 and N.J.A.C. 5:97 by COAH. This decision rendered the prospective need calculation of the 2008 Housing Plan Element and Fair Share Plan invalid.

In 2013, the New Jersey Supreme Court upheld and modified the aforementioned 2010 Appellate Division ruling, which partially invalidated COAH's rules for the period from 2004 through 2018 (viz., N.J.A.C. 5:96 and N.J.A.C. 5:97). As a result, COAH was then charged with the task of adopting new affordable housing rules.

COAH failed to adopt new rules. Due to COAH's failure to adopt new rules, the New Jersey Supreme Court ruled on March 10, 2015 that there no longer exists a legitimate basis to block access to the courts, which was the original intent of the COAH process. The New Jersey Supreme Court's March 10 ruling notes that: "parties concerned about municipal compliance with constitutional affordable housing obligations are [now] entitled to such access, and municipalities that believe they are constitutionally compliant[,] or that are ready and willing to demonstrate ... compliance [with such obligations,] should be able to secure declarations that their housing plans and implementing ordinances are presumptively valid in the event they ... must defend [themselves] against exclusionary zoning litigation."

Under the New Jersey Supreme Court's March 10 ruling, municipalities are afforded an opportunity to file declaratory judgment actions to validate their affordable housing plans as compliant with constitutional affordable housing obligations. On July 8, 2015, the township filed such a declaratory judgment action. The township secured immunity from builder's remedy lawsuits while it prepared this Housing Plan Element and Fair Share Plan. The township has prepared this Housing Plan Element and Fair Share Plan in advance of the expiration of temporary immunity.

Mandatory Contents of the Housing Plan Element

Pursuant to the New Jersey Fair Housing Act, the essential components of a municipal housing plan element are:

- An inventory of the municipality's housing stock by age, condition, purchase or rental value, occupancy characteristics, and type, including the number of units affordable to low- and moderate-income households and substandard housing capable of being rehabilitated;
- A projection of the municipality's housing stock, including the probable future construction of low- and moderate-income housing, for the next six

- years, taking into account, but not necessarily limited to, construction permits issued, approvals of applications for development and probable residential development of lands;
- An analysis of the municipality's demographic characteristics, including but not necessarily limited to, household size, income level, and age;
 - An analysis of the existing and probable future employment characteristics of the municipality;
 - A determination of the municipality's present and prospective fair share for low- and moderate-income housing and its capacity to accommodate its present and prospective housing needs, including its fair share for low- and moderate-income housing; and,
 - A consideration of the lands that are most appropriate for construction of low- and moderate-income housing and of the existing structures most appropriate for conversion to, or rehabilitation for, low- and moderate-income housing, including a consideration of lands of developers who have expressed a commitment to provide low- and moderate-income housing.

This Housing Plan Element and Fair Share Plan addresses these requirements.

Analysis of Demographic, Housing, and Employment Characteristics

As required by N.J.S.A. 52:27D-310, all housing plan elements must contain a discussion of the municipality's demographic, housing, and economic characteristics. The following subsections fulfill this requirement by providing a profile of the Township of Ocean with information from the US Census Bureau (incl., the 2010 US Census and 2010–2014 American Community Survey), the New Jersey Department of Labor and Workforce Development, and the North Jersey Transportation Planning Authority.

Ocean's Demographics

The Township of Ocean had a population of 8,332 residents at the time of the 2010 US Census. This figure represents a 19.1 percent increase over the 2000 US Census population figure of 6,450, which represented a 29.2 percent increase over the 1990 US Census population figure of 5,416. By comparison, Ocean County's population grew by 12.8 percent during the period between 2000 and 2010, and 17.9 percent between 1990 and 2000. Table 1 shows the rate of growth experienced by Ocean Township and Ocean County from 1990 through 2010.

Table 1: Population Trends, 1990-2010

	1990	2000	2010	Percent Change 1990-2000	Percent Change 2000-2010
Township of Ocean	5,416	6,450	8,332	19.1%	29.2%
Ocean County	433,203	510,916	576,567	17.9%	12.8%

Source: US Census Bureau

According to the 2010 US Census, the township’s population is composed of 3,483 households with an average household size of 2.39 members (Table 2). The average household size is smaller than the State of New Jersey’s average of 2.68 persons per household, as well as Ocean County’s average of 2.58 persons per household. The township’s percentage of population over 65 years of age (24.4 percent) is significantly higher than at the county and state levels. This is also reflected in the township’s median age of 49.6 years, which is significantly higher than the county and state median ages of 42.6 years and 39.0 years, respectively

Table 2: Demographic Indicators, 2010

	Number of House-holds	Average Household Size	Median Age	Percent of Population ≥ 65 Years
Township of Ocean	3,483	2.39	49.6	24.4
Ocean County	221,111	2.58	42.6	21.0
New Jersey	3,214,360	2.68	39.0	13.5

Source: US Census Bureau

As shown in Table 3, there were 352 pre-school age residents in 2010, or 4.2 percent of the township’s population. School age children accounted for 1,173 residents, or 14.1 percent of the total population. Working age persons accounted for 57.2 percent of the township’s population, with 4,770 residents. Seniors aged 65 years and older accounted for 24.4 percent of Ocean’s population, with 2,037 residents.

Table 3: Population by Age, 2010

	Number	Percent
Pre-School Age		
Under 5 Years	352	4.2%
School Age		
5 to 9 Years	353	4.2%
10 to 14 Years	388	4.7%
15 to 19 Years	432	5.2%
Working Age		
20 to 24 Years	414	5.0%
25 to 34 Years	788	9.5%
35 to 44 Years	877	10.5%
45 to 54 Years	1,241	14.9%
55 to 59 Years	577	6.9%
60 to 64 Years	873	10.5%
Senior Age		
65 Years and Older	2,037	24.4%

Source: US Census Bureau

Ocean’s Housing Stock

According to 2010 US Census, Ocean had a total of 4,291 housing units (Table 4). This was an increase of 1,310 units since 2000. Of this total, 3,483 units (81.2 percent) were listed as occupied; owners occupied 88.9 percent of these units, and renters occupied 11.1 percent.

Of the total of 3,483 households, the average household size was 2.39 persons and the average family size was 2.76 persons. Of the total number of households, family households accounted for 2,555 units and non-family household accounted for 928 units. Householders 65 years of age or older were present in 1,376 (39.5 percent) of households.

Table 4: Housing Unit Totals and Occupancy Characteristics, 2010

	Number	Percent
I. Housing Units		
Number of units	4,291	100.0
Occupied Housing Units	3,483	81.2
Vacant Housing Units	808	18.8
Number of units (2000)	2,981	100.0
II. Occupancy/Household Characteristics		
Number of Households	3,483	100.0
Average Persons Per Household	2.39	N/A
Average Persons Per Family	2.76	N/A
Family Households	2,555	73.4
Non-Family Households	928	26.6
Householders 65 and over	1,376	39.5

Source: US Census Bureau

With regard to the age of the township’s housing stock, it is noted that a total of 49.1 percent of all housing units was constructed in 1980 or later, and a total of about 41.3 percent of all housing units was constructed in 1990 or later (Table 5). It is also noted that the housing stock has zero (0) units lacking complete plumbing facilities, 15 units lacking complete kitchen facilities, and 30 units exhibiting overcrowded conditions (i.e., having at least 1.01 persons per room). The source of this information is the 2010–2014 American Community Survey of the US Census Bureau.

In addition to the above, it is noted that the 2010–2014 American Community Survey of the US Census Bureau indicates that the median value of the owner-occupied housing units in Ocean is \$280,800. This is higher than the median value of \$264,100 in Ocean County, but lower than the median value of \$319,900 in the State of New Jersey. The 2010–2014 American Community Survey of the US Census Bureau also indicates that Ocean’s median gross rent is \$1,541 per month; this is higher than the median gross rents of \$1,188 in the State of New Jersey and \$1,337 in Ocean County.

Table 5: Housing Physical and Value Characteristics, American Community Survey (2010–2014 Five-Year Estimates)

	Number	Percent
I. Year Structure Built (2010–2014 American Community Survey)		
2010 or Later	176	4.0
2000 to 2009	1,362	31.0
1990 to 1999	276	6.3
1980 to 1989	343	7.8
1970 to 1979	657	15.0
1960 to 1969	695	15.8
1950 to 1959	548	12.5
1940 to 1949	140	3.2
1939 or earlier	194	4.4
II. Condition of Units and Overcrowding (2010–2014 American Community Survey)		
Lacking complete plumbing facilities	0	0.0
Lacking complete kitchen facilities	15	0.4
Overcrowding (units with ≥ 1.01 persons/room)	30	0.8
III. Median Home Value (Owner-Occupied Units; 2010–2014 American Community Survey)		
Median Value	\$280,800	N/A
IV. Median Gross Rent (Renter-Occupied Units; 2010–2014 American Community Survey)		
Median Gross Rent	\$1,541	N/A

Source: US Census Bureau

Ocean’s Employment and Income Characteristics

According to the 2010–2014 American Community Survey of the US Census Bureau, 3,644 of Ocean’s residents aged 16 years and over were employed in the civilian labor force (Table 6). A total of 32.6 percent of those who were employed in the civilian labor force were involved in management, business, science, and arts occupations, while approximately 24.2 percent were employed in sales and office-related occupations. Service occupations employed 20.2 percent of Ocean residents that were employed in the civilian labor force. Natural resources, construction, and maintenance occupations employed 9.1 percent of the township’s residents, whereas production, transportation, and material moving-occupations employed 14.1 percent of the township’s residents.

**Table 6: Occupation of Employed Civilian Population, 16 and Over,
American Community Survey (2010–2014 Five-Year Estimates)**

	Number	Percent
Management, Business, Science, and Arts Occupations	1,188	32.6
Sales and Office Occupations	882	24.2
Service Occupations	737	20.2
Natural Resources, Construction, and Maintenance Occupations	332	9.1
Production, Transportation, and Material Moving Occupations	515	14.1

Source: US Census Bureau

With regard to the number of jobs that are located within the township, it is noted that the New Jersey Department of Labor indicates that there was an average of 1,371 jobs located within the municipality in 2015, which is the latest available data. This is up 291 jobs over the 2005 average of 1,080 jobs. The Department of Labor’s basis for this information is the number of jobs that are covered by public unemployment and disability insurance.

The number of jobs in Ocean is expected to grow in the future. This is indicated by recent projections of the North Jersey Transportation Planning Authority, which projects a total of 2,160 jobs by 2040. When the difference between the average of 1,371 jobs recorded in 2015 and the 2,160 jobs projected for 2040 is divided by the number of years from 2015 through 2040 (i.e., 25 years), it is determined that an annual average increase of approximately 31.5 jobs may be expected, based upon the North Jersey Transportation Planning Authority’s projections.

With regard to household income, it is noted that Ocean’s median household income, as reported by the 2010–2014 American Community Survey of the US Census Bureau, is \$72,821. This was \$26,360 more than the 1999 median household income of \$46,461. After adjusting for inflation, however, this represents an increase in median household income of just \$6,801. Table 7 provides complete information on the income of Ocean’s households.

Table 7: Household Income, American Community Survey (2010–2014 Five-Year Estimates)

	Number	Percent
Less than \$10,000	103	2.9%
\$10,000 to \$14,999	53	1.5%
\$15,000 to \$24,999	319	9.0%
\$25,000 to \$34,999	258	7.3%
\$35,000 to \$49,999	457	12.9%
\$50,000 to \$74,999	644	18.2%
\$75,000 to \$99,999	460	13.0%
\$100,000 to \$149,999	910	25.7%
\$150,000 to \$199,999	227	6.4%
\$200,000 or More	110	3.1%
Median Household Income (Dollars)	\$72,821	N/A

Source: US Census Bureau

Affordable Housing Obligation

The township's affordable housing obligation is described in the following subsections.

Present Need

The present need is a measure of overcrowded and deficient housing that is occupied by low- and moderate-income households². The present need has previously been called "rehabilitation share." As established by a court-approved settlement agreement with the Fair Share Housing Center, Ocean's present need (a.k.a., rehabilitation share) is 28 units.

Prior Round Obligation

The prior round obligation covers the period from 1987 through 1999. The township's prior round obligation is 236 units, as established by a court-approved settlement agreement with the Fair Share Housing Center.

Prospective Need

The prospective need is a measure of low- and moderate-income housing needs, based on development and growth that occurred or is reasonably likely to occur in a region or municipality. The prospective need covers the period from 1999 through 2025. The township's prospective need is 322 units; this is established by a court-approved settlement agreement with Fair Share Housing Center.

Ability to Accommodate Affordable Housing Obligation

Ocean anticipates that future development and growth will occur in Waretown Town Center, which was designated as a center by the New Jersey State Planning Commission on December 7, 2005, and those portions of the township that are located in the Suburban Planning Area (Planning Area 2).

² It is acknowledged that a January 18, 2017 ruling of the New Jersey Supreme Court has modified the definition of "present need" to include "... an analytic component that addresses the affordable housing need of presently existing New Jersey low- and moderate-income households, which formed during the gap period and are entitled to their delayed opportunity to seek affordable housing." However, the township entered into a settlement agreement with the Fair Share Housing Center that was approved by the court before the January 18, 2017 New Jersey Supreme Court ruling. Consequently, this Housing Plan Element and Fair Share Plan continues to define "present need" as a measure of overcrowded and deficient housing that is occupied by low- and moderate-income households and in need of rehabilitation.

Anticipated Land Use Patterns

The anticipated land use patterns in the township are set forth in the township's Master Plan Land Use Element and its Waretown Town Center Plan. This is consistent with the township's plan endorsement approval and the associated Planning and Implementation Agreement that has been approved as part of the township's application for plan endorsement. Ocean anticipated and has planned for higher densities and intensities of development in Waretown Town Center, and those areas of the township that are located in the Suburban Planning Area (Planning Area 2), as identified in the New Jersey State Development and Redevelopment Plan.

Anticipated Demand for Types of Uses Permitted by Zoning, Based on Present and Anticipated Future Demographic Characteristics

As has been previously demonstrated, Ocean's population has grown in the period since 1990. Indeed, in the period from 1990 to 2010, the township's population grew by 2,916 residents, or 53.8 percent. The North Jersey Transportation Planning Authority projects that the township's population could reach 11,900 by 2040, which represents an increase of 3,568 residents, or 42.8 percent, over the population of 8,332 that was reported in the 2010 US Census.

Growth in the township's population will spur demand for an expanded housing stock, as well as non-residential uses to service the local market, and limited regional market. It is anticipated that the township can accommodate this demand through existing planning and zoning initiatives.

Availability of Existing and Planned Infrastructure

Ocean Township has an adopted wastewater management plan that provides for existing and future infrastructure within Waretown Town Center and those areas of the township that are located in the Suburban Planning Area (Planning Area 2). As part of its plan endorsement approval and center designation, the township has limited the extent of its planned sewer service areas to Waretown Town Center and Suburban Planning Area (Planning Area 2). The capacity of existing and planned infrastructure to serve these areas was evaluated as part of the township's application for plan endorsement. This evaluation resulted in the conclusion that planned service areas were adequate to address future growth.

Economic Development Policies

The township's economic development policies are focused on promoting the development of Waretown Town Center and strengthening existing commercial areas along US Route 9.

Constraints on Development

The township contains environmental features that are constraints to development, including: water bodies; flood hazard areas; wetlands; and, forested areas. Generally, these environmentally constrained areas are located along the township's waterways and -bodies, with forested areas being more widely distributed within the Pineland Area. The township also contains areas in the CAFRA Zone and the Pinelands Area, which results in additional regulatory constraints on development the township. Although there are several constraints on development, it is important to note that there are no significant constraints on the affordable housing sites outlined in this Housing Plan Element and Fair Share Plan.

The township's 2015 Master Plan Reexamination Report includes recent mapping of environmental constraints throughout the township.

Identification of Affordable Housing Sites

The township has identified sites for the production of affordable housing to meet its affordable housing obligations. Complete details on each site are provided later in this Housing Plan Element and Fair Share Plan. In addition, the sites are mapped in Appendix A.

It is noted that, during the preparation of this Housing Plan Element and Fair Share Plan, no other affordable housing sites beyond those detailed herein and mapped in Appendix A were offered for consideration by developers who have expressed a commitment to provide low- and moderate-income housing.

Fair Share Plan

The fair share plan outlines the mechanisms by which the township proposes to fulfill its: present need, which is a measure of overcrowded and deficient housing that is occupied by low- and moderate-income households³; prior round obligation; and, prospective need, which is a measure of low- and moderate-income housing needs based on development and growth that occurred or is reasonably likely to occur in a region or municipality. The following subsections provide complete details on the township’s proposals to fulfill its present, prior round, and prospective needs.

Full descriptions of each of the township’s prior round and prospective need compliance mechanisms are provided in the section of this Housing Element and Fair Share Plan that is entitled “Description of Affordable Housing Sites”.

Fulfillment of the Present Need

As has been previously noted, the township’s present need is 28 units. The township’s present need of 28 units is specified in a court-approved settlement agreement with the Fair Share Housing Center.

The township will address its 28-unit present need through a continuation of the Ocean Township Housing Rehabilitation Program, which is a scattered site rehabilitation program that targets low- and moderate-income housing units (incl., owner-occupied and rental units) throughout the township. To manage and administer the Ocean Township Housing Rehabilitation Program, the township has contracted with Community Grants, Planning & Housing (CGP&H). CGP&H is a private consulting firm specializing in the implementation of publicly-funded housing rehabilitation programs.

³ It is acknowledged that a January 18, 2017 ruling of the New Jersey Supreme Court has modified the definition of “present need” to include “... an analytic component that addresses the affordable housing need of presently existing New Jersey low- and moderate-income households, which formed during the gap period and are entitled to their delayed opportunity to seek affordable housing.” Because the township entered into a court-approved settlement agreement with the Fair Share Housing Center before the January 18, 2017 ruling, the historic definition of “present need” is, however, used in this instance.

Fulfillment of the Prior Round Obligation

As has been previously noted, the township’s prior round obligation is 236 units. Associated with this prior round obligation of 236 units is: a senior cap of 59 units; a rental bonus cap of 59 units; and rental obligation of at least 59 units.

To fulfill this prior round obligation, the township applies a total of 177 credits for affordable housing units and 59 rental bonus credits. This is outlined in Table 8 and in Appendix B.

Table 8: Prior Round Compliance Strategy

Compliance Mechanism	Unit Type	Credits for Units Provided	Rental Bonus Credits	Total Credits
Site A — Willows at Waretown	Sr. Rental	59	—	59
Site B — MSC Enterprises	Fam. Rental	2	—	2
Site C — Tradewinds/Diamond Developers	Fam. Rental	29	29	58
Site E — TC Zone/Redevelopment Area	Fam. Rental	50	30	80
Site E — TC Zone/Redevelopment Area	Fam. Sales	37	—	37
Totals	—	177	59	236

As is demonstrated in Table 8, the township fulfills its prior round obligation with: 177 credits for affordable housing units; and, 59 rental bonus credits. The township’s prior round compliance strategy complies with the: senior cap of 59 units (n.b., 59 senior units are provided); rental bonus cap of 59 units (n.b., 59 rental bonus credits are sought); and, rental obligation of at least 59 units (n.b., 140 rental units are provided).

Full descriptions of each of the township’s prior round compliance mechanisms are provided in the section of this Housing Element and Fair Share Plan that is entitled “Description of Affordable Housing Sites”.

Fulfillment of the Prospective Need

As has been previously noted, the township has a prospective need of 322 units. However, the township has prepared and is entitled to a vacant land adjustment. This vacant land adjustment, which is provided in Appendix C, demonstrates that the township’s realistic development potential (“RDP”) is 53 units and its unmet need is 269 units.

Fulfillment of Realistic Development Potential

As has been previously noted, the township’s RDP is 53 units. Associated with this RDP of 53 units are: a senior cap of 13 units; a rental bonus cap of 13 units; and rental obligation of at least 14 units.

To fulfill its RDP of 53 units, the township applies a total of 74 credits for affordable housing units and 13 rental bonus credits. This is outlined in Table 9 and in Appendix B.

Table 9: Realistic Development Potential Compliance Strategy

Compliance Mechanism	Unit Type	Credits for Units Provided	Rental Bonus Credits	Total Credits
Site A — Willows at Waretown	Sr. Rental	13	—	13
Site D — Ocean Commons	Fam. Sales	54	6	60
Site E — TC Zone/Redevelopment Area	Fam. Rental	7	7	14
Totals	—	74	13	87

As is demonstrated in Table 9, the township fulfills and, in fact, exceeds by 34 credits its RDP with: 74 credits for affordable housing units; and, 13 rental bonus credits. The township’s RDP compliance strategy complies with the: senior cap of 13 units (n.b., 13 senior units are provided); rental bonus cap of 13 units (n.b., 13 rental bonus credits are sought); and, rental obligation of at least 14 units (n.b., 74 rental units are provided).

Full descriptions of each of the township’s RDP compliance mechanisms are provided in the section of this Housing Element and Fair Share Plan that is entitled “Description of Affordable Housing Sites”.

Mechanisms to Capture Unmet Need

As has been previously noted, the township’s unmet need is 269 units. Associated with this unmet need of 269 units is a senior cap of 67 units.

To fulfill its unmet need, the township: applies surplus credits from its RDP compliance strategy; applies credits associated with senior rental units on Site A — Willows at Waretown; and, proposes to implement a special program capture additional affordable housing development opportunities. Each of these components is discussed in the following subsections.

Application of Surplus Credits

As has been stated in the section of this Housing Plan Element and Fair Share Plan that is entitled “Fulfillment of Realistic Development Potential”, 87 credits toward the township’s RDP of 53 units have been identified. Thus, there is a surplus of 34 credits, which are associated with family rental units on Site D – Ocean Commons. The township applies these 34 surplus credits toward its unmet need.

Complete details of Site E — TC Zone/Redevelopment Area are provided in the section of this Housing Element and Fair Share Plan that is entitled “Description of Affordable Housing Sites”.

Application of Senior Rental Credits (Site A — Willows at Waretown)

To further fulfill its unmet need, the township applies four credits for senior rental units on Site A — Willows at Waretown.

Complete details of Site A — Willows at Waretown are provided in the section of this Housing Element and Fair Share Plan that is entitled “Description of Affordable Housing Sites”.

Application of Family Rental Credits (Site D — Ocean Commons)

As is described in the section of this Housing Element and Fair Share Plan that is entitled “Description of Affordable Housing Sites”, Site D — Ocean Commons is currently planned as a 100 percent affordable development of 54 family rental units.

Complete details of Site D — Ocean Commons are provided in the section of this Housing Element and Fair Share Plan that is entitled “Description of Affordable Housing Sites”.

Special Program to Capture Additional Affordable Housing Opportunities

In accordance with the court-approved settlement agreement with the Fair Share Housing Center, Ocean will capture additional opportunities to capture unmet need and increase the supply of affordable housing by imposing a mandatory affordable housing set-aside of up to: 15 percent on all new multifamily rental development throughout the township; and, 20 percent on all new multifamily for-sale development throughout the township. When existing regulation requires a higher affordable housing set-aside requirement (e.g. in the TC Town Center District of the Waretown Town Center Redevelopment Plan and other redevelopment plans), the higher affordable housing set-aside requirement shall apply. These set-aside requirements will apply to any multifamily development of at least five units and six units per acre that is created as the result of any: subdivision or site plan approval;

rezoning approval; use variance approval; redevelopment plan; or, rehabilitation plan.

Developers would be able to meet this set-aside requirement by either providing all of the required set-aside onsite; or, at the developer’s option: by providing a minimum of one-third of the required set-aside for multifamily rental development onsite and a payment-in-lieu to fund the construction of a maximum of two-thirds of the required set-aside for multifamily rental development on another site within the township; or, in the case of multifamily for-sale development, by providing one-half of the required set-aside onsite and a payment-in-lieu to fund the construction of a maximum of one-half of the required set-aside on another site within the township. The actual percentage breakdown of payments-in-lieu of construction and on-site set-aside will be determined by the point-based assessment described below.

A developer’s ability to exercise the option to provide a payment-in-lieu would be determined by a point-based assessment of a site’s: proximity to bus stops, schools, parks and open space, emergency service stations (e.g., police, fire and EMS station), and the US Route 9 and Ocean County Route 532 corridors; location within the Waretown Town Center; and, location within the “Coastal A” flood hazard area, which, as described below, results in a loss of points. The higher the number of points, the greater the requirement for the on-site provision of the set-aside would be. The lower the number of points, the lower the requirement for the on-site provision of the set-aside would be.

The point-based graduation between providing one-third of the required set-aside for multifamily rental development onsite (i.e., the equivalent of a 5-percent set-aside onsite) and all of the required, 15-percent set-aside onsite is outlined below.

Onsite Requirement (Multifamily Rental Development)										
5%	6%	7%	8%	9%	10%	11%	12%	13%	14%	15%
↑↓	↑↓	↑↓	↑↓	↑↓	↑↓	↑↓	↑↓	↑↓	↑↓	↑↓
0	0.5	1.0	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0+
Points Accumulated										

The point-based graduation between providing one-half of the required set-aside for multifamily for-sale development onsite (i.e., the equivalent of a 10-percent set-aside onsite) and all of the required, 20-percent set-aside onsite is outlined below.

Onsite Requirement (Multifamily For-Sale Development)										
10%	11%	12%	13%	14%	15%	16%	17%	18%	19%	20%
↑↓	↑↓	↑↓	↑↓	↑↓	↑↓	↑↓	↑↓	↑↓	↑↓	↑↓
0	0.5	1.0	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0+
Points Accumulated										

Points will be accumulated as follows:

1. Bus stop within one-quarter mile: 1.0 point
2. Bus stop within half-mile: 0.50 point
3. Public park, open space area, or other recreational facility within one-half mile: 1.00 point
4. Public school site within one-half mile: 1.00 point
5. Public school site within one-quarter mile: 1.50 points
6. Any portion of development site within one-quarter mile from US Route 9: 1.00 point
7. Any portion of development site within one-half mile from Ocean County Route 532: 0.50 point
8. Site located within Waretown Town Center: 4.00 points
9. Site located within one-half mile of an emergency services station (e.g., police, fire, EMS): 0.50 point
10. Site located within “Coastal A” flood hazard area: loss of 1.00 point (i.e., - 1.00 point)

Notwithstanding the above, please note that sites that are situated outside of the sewer service area or within a “Velocity Zone” flood hazard area shall have no (i.e., zero) accumulated points. In addition, single-family residential districts would not be included. Finally, areas west of the Garden State Parkway that are subject to the Pinelands Comprehensive Plan are not included in the point system allocation.

The following conditions will apply to the provision of points:

1. Multiple points shall not be awarded for more than one bus stop with service on the same route. However, multiple points shall be awarded for bus stops with service on different routes.
2. Distances to bus stops, public parks, open space areas, recreational facilities, and public schools represent walking distances, and must be safely walkable.

The goals of this program are to: capture unmet need; provide developers with a certain degree of flexibility while ensuring that the supply of affordable housing grows; promote smart and sustainable growth in the township in a manner consistent with the Township’s plan endorsement approval by the New Jersey State Planning Commission; be consistent with the goals and objectives for resiliency and recovery set forth in the Township’s recent Master Plan Reexamination Report and related planning documents, including the Township’s Strategic Recovery Planning Report; and channel the development of affordable housing units to areas with access to supporting infrastructure.

In addition to the above, it is noted that the program that is described in this section will be formally separate from and supplementary to existing municipal zoning. Existing standards for multifamily development will remain in place.

Description of Affordable Housing Sites

The following subsections provide complete descriptions of each of the affordable housing sites that will contribute to the fulfillment of the township's fair share obligation. Each of the sites described in the following subsections is mapped in Appendix A.

Site A — Willows at Waretown

Site A — Willows at Waretown consists of Block 41, lots 26.01, 27.01, 28.01, 30 and 36.01, and is located to the west of Town Center Drive at the existing terminus of Memorial Drive. The site contains a total about 7.12 acres.

The site has been developed as a 100-percent affordable senior rental development with a total of 76 units. The development, received preliminary and final major site plan approval in December 2013, and is complete as of the preparation of this Housing Element and Fair Share Plan.

The development was partially funded with federal low-income housing tax credits and a contribution from the township's affordable housing trust fund. The contribution from the affordable housing trust fund was made through payments in lieu of construction by U.S. Homes pursuant to the requirements of the Edgemont Redevelopment Plan.

As has been described in this Housing Plan Element and Fair Share Plan, the township is seeking credit for Site A — Willows at Waretown, as follows: 59 credits toward the prior round obligation; 13 credits toward the RDP; and, four credits toward the unmet need.

Site B — MSC Enterprises

Site B — MSC Enterprises is located on Block 41, Lot 35.02, which is situated at the southeast corner of US Route 9 and Memorial Drive. The site, which contains a total of 4.01 acres is governed by the requirements of the Route 9 Phase 1 Redevelopment Plan, has been developed with a mixed-use development that contains an inclusionary family rental development with six market-rate family rental units and two affordable family rental units.

As has been described in this Housing Plan Element and Fair Share Plan, the township is seeking two units of credit for Site B — MSC Enterprises toward its prior round obligation.

Site C — Tradewinds/Diamond Developers

Site C — Tradewinds/Diamond Developers is located on Block 131, Lot 4, on the eastern side of US Route 9 in the Waretown Town Center. The site, which is

governed by the requirements of the Route 9 Phase 1 Redevelopment Plan, contains a total of 15.27 acres and is planned for a mixed-use development that contains an inclusionary family rental development with 115 market-rate family rental units and 29 affordable family rental units.

As has been described in this Housing Plan Element and Fair Share Plan, the township is seeking 58 units of credit for Site C — Tradewinds/Diamond Developers, as follows: 29 credits toward the prior round obligation; and, 29 rental bonus credits toward the prior round obligation.

A site suitability analysis for Site C — Tradewinds/Diamond Developers is provided in Appendix D.

Site D — Ocean Commons

Site D — Ocean Commons is located on Block 41, Lot 42.01, which has frontage on US Route 9. The site contains a total of 9.32 acres, and is governed by the Ocean Commons Redevelopment Plan. The Ocean Commons Redevelopment Plan contemplates two development options for Site D — Ocean Commons: Development Option 1) an inclusionary development with a total of 55 family for-sale units, including 12 affordable family for-sale units; or, Development Option 2) a 100-percent affordable development with a maximum of 55 family rental units.

Development Option 2, as discussed above, has been included in this Housing Plan Element and Fair Share Plan as a compliance mechanism towards the township's RDP. Walters Homes (a.k.a. The Walters Group) has received a Low Income Housing Tax Credit to fund 54 affordable family rental units. Development in accordance with Development Option 2, as discussed in this Housing Plan Element and Fair Share Plan, is permitted as an option by the Ocean Commons Redevelopment Plan. Because Site D — Ocean Commons is located in a designated redevelopment area and governed by an adopted redevelopment plan, PILOTs and other mechanisms permitted by the Local Redevelopment and Housing Law (N.J.S.A. 40A:12A et seq.) are available to facilitate the development of the site as a 100-percent affordable family rental development.

A site suitability analysis for Site D — Ocean Commons is provided in Appendix E.

Site E — TC (Town Center) Zone/Redevelopment Area

Site E — TC (Town Center) Zone/Redevelopment Area is governed by the TC (Town Center) District Redevelopment Plan, which provides for mixed-use, multifamily, single-family attached and single-family detached development.

As indicated in the TC (Town Center) District Redevelopment Plan, the TC (Town Center) Zone is intended to enable the creation of a variety of housing options that are affordable to households of diverse economic backgrounds. The township,

therefore, anticipates that at least 57 affordable family rental units and 37 affordable family for-sale units will result from future redevelopment activities in the TC (Town Center) Zone. These units will produce a total of 131 units of credit toward the township’s prior round and RDP compliance strategies, as follows: seven credits for affordable family rental units and seven rental bonus credits toward the RDP; 50 credits for affordable family rental units and 30 rental bonus credits toward the prior round obligation; and, 37 credits for affordable family for-sale units toward the prior round obligation.

Fair Share Plan Implementation Schedule

As has been previously stated, Site A — Willows at Waretown and Site B — MSC Enterprises were complete as of the preparation of this Housing Plan Element and Fair Share Plan.

Completion of Site C — Tradewinds/Diamond Developers, Site D — Ocean Commons, and Site E — TC (Town Center) Zone/Redevelopment Area is expected to occur as outlined in Table 10.

Table 10: Fair Share Implementation Schedule

Mechanism	Start	Completion
Site C — Tradewinds/Diamond Developers	2018	2020
Site D — Ocean Commons	2018	2019
Site E — TC (Town Center) Zone/Redevelopment Area	2017	2025

To fulfill its present need obligation, the township will provide for the rehabilitation of a minimum of 28 housing units in accordance with the present need compliance implementation schedule in Table 11.

Table 11: Present Need (Rehabilitation) Implementation Schedule

Year	Approximate Units Completed
2017	3
2018	3
2019	3
2020	3
2021	4
2022	3
2023	3

Table 11: Present Need (Rehabilitation) Implementation Schedule

Year	Approximate Units Completed
2024	3
2025	3

Ocean reserves the right to modify the implementation schedules provided above in accordance with applicable rules and regulations.

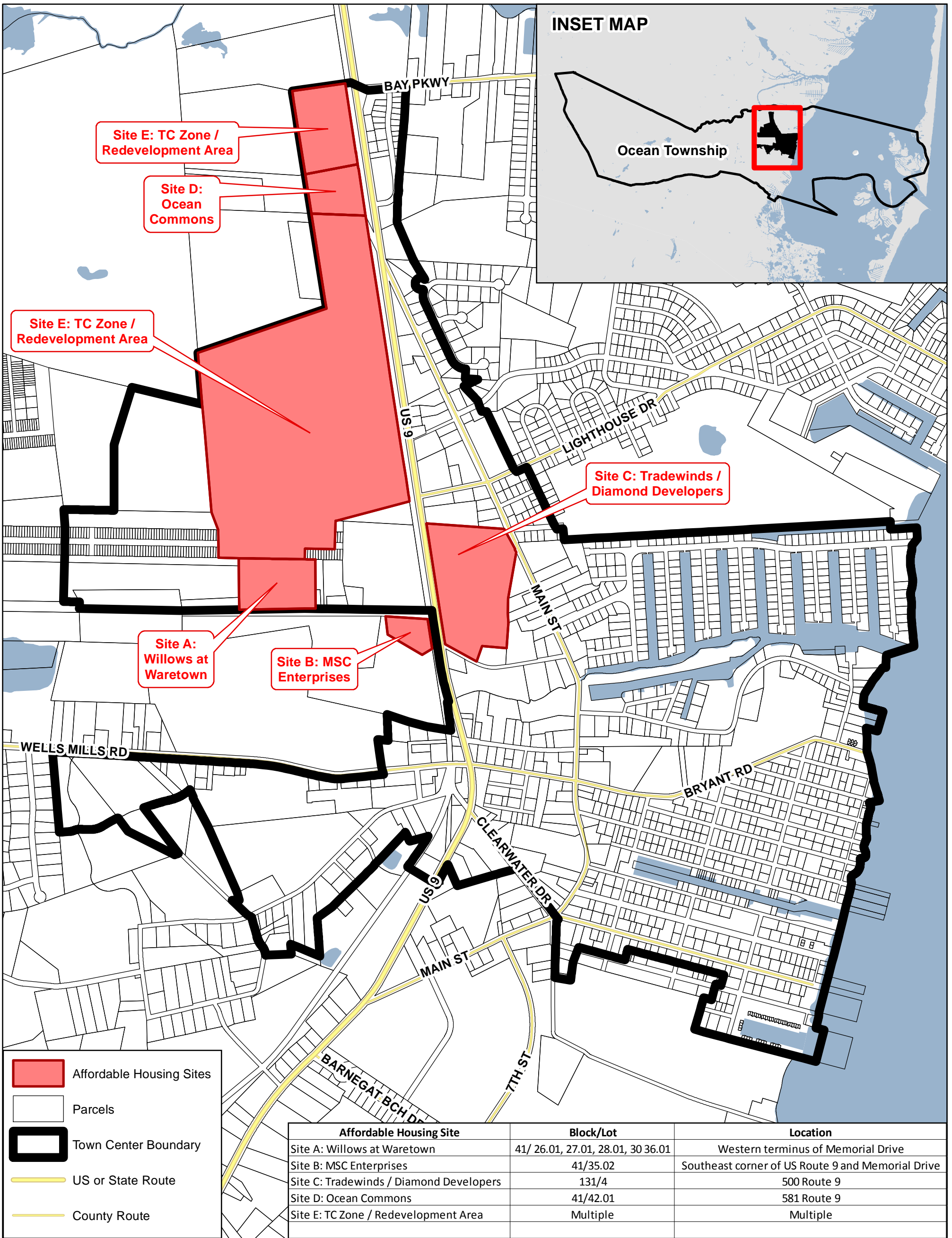
Low Income Housing Requirement

At least 50 percent of the units addressing the affordable housing obligation will be affordable to low-income or very low-income households in accordance with the applicable rules and regulations.

In addition, and in accordance with P.L. 2008, c. 46 and the court-approved settlement agreement with the Fair Share Housing Center, at least 13 percent of all units referenced in this Fair Share Plan shall be affordable to very low-income households with a gross household income of no more than 30 percent of the regional median household income, with half of the very low-income units being available to families. Notable exceptions to this provision include: units constructed as of July 1, 2008; and, units subject to preliminary or final site plan approval as of July 17, 2008.

Compliance with these provisions is outlined in Appendix F.

Appendix A: Affordable Housing Sites Map




 T&M Associates
 11 Tindall Road
 Middletown, NJ 07748
 Phone: 732-671-6400
 Fax: 732-671-7365

Affordable Housing Sites 2017 Housing Element and Fair Share Plan Ocean Township, Ocean County, New Jersey

0 500 1,000 2,000 Feet



Prepared by: JAC, 3/2/2017
 Source: NJDEP; NJDOT; NJGIN; Ocean County; Ocean Township, T&M Associates
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NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State-authorized.

**Appendix B: Tabulation of Credit Allocation for Affordable Housing Sites, per
Round**

Tabulation of Credit Allocation for Affordable Housing Sites, per Round
Ocean Township, Ocean County, New Jersey

PRIOR ROUND		PROSPECTIVE		TOTAL PRIOR + PROSP.	UNMET NEED	
OBLIGATION		OBLIGATION			OBLIGATION	
Prior Round Obligation	236	Prospective Need Obligation	322	558	Unmet Need	269
		Realistic Development Potential (RDP)*	53		(Prospective Need - RDP)	
BONUSES/CAPS		BONUSES/CAPS			BONUSES/CAPS	
Senior Cap	59	Senior Cap	13	72	Senior Cap	67
Rental Bonus Cap	59	Rental Bonus Cap	13	72	Rental Bonus Cap	N/A
Rental Obligation	59	Rental Obligation	14	73	Rental Obligation	N/A
COMPLIANCE MECHANISMS		COMPLIANCE MECHANISMS			COMPLIANCE MECHANISMS	
Senior Rental Units	59	Senior Rental Units	13	72	Senior Rental Units	4
Site A Willows at Waretown	59	Site A Willows at Waretown	13		Site A Willows at Waretown	4
Family Rental Units	81	Family Rental Units	61	142	Family Rental Units	34
Site B MSC Enterprises	2	Site D Ocean Commons	54		Surplus Units from Prospective Need	34
Site C Tradewinds / Diamond Developers	29	Site E TC Zone / Redevelopment Area	7			
Site E TC Zone / Redevelopment Area	50					
Family Sale Units	37	Family Sale Units	0	37	Family Sale Units	0
Site E TC Zone / Redevelopment Area	37		0			
TOTALS		TOTALS		TOTALS	TOTALS	
Total Unit Count	177	Total Unit Count	74	251	Unmet Need	269
Rental Bonus Credits Applied	59	Rental Bonus Credits Applied	13	72	Rental Bonus Credits Applied	N/A
Total Compliance Credits (Units + Bonuses)	236	Total Compliance Credits (Units + Bonuses)	87	323	Total Compliance Credits	38
		Surplus Units (Total Compliance Credits - RDP)	34	N/A	Remaining Unmet Need	231

* Ocean Township's RDP is calculated based on: proposed affordable housing development within the Town Center; vacant land within the Town Center; and, vacant land outside of the Town Center, but within the sewer service area. The RDP is made up of the following components:

- 17 Willows at Waretown (proposed affordable housing development: 17 of the full 76 units)
 - 12 Ocean Commons (required number of affordable housing units in Ocean Commons Redevelopment Plan)
 - 7 Calculation based on vacant land within the TC Zone in the Town Center
 - 8 Calculation based on vacant land outside of the TC Zone, but in the Town Center
 - + 9 Calculation based on vacant land outside of the Town Center, but within the SSA.
-
- 53 Realistic Development Potential (RDP)**

Appendix C: Vacant Land Adjustment

Buildout Analysis Report

Prepared for:

**Ocean Township
Ocean County, New Jersey**

Prepared October 2016,

Revised September 2017 by:



T&M Associates
11 Tindall Road
Middletown, NJ 07748

Introduction

Ocean Township has prepared this buildout analysis in order to analyze the buildout potential within the Township and to determine the capacity for the development of affordable housing in the Township. The Township's capacity for development is expressed as a realistic development potential (RDP). This buildout analysis calculates the RDP in Ocean Township based on: the land within the Waretown Town Center (from both anticipated affordable housing units and from vacant land); and, the land outside of the Waretown Town Center, but within the sewer service area. This document summarizes the approach that Ocean Township used to calculate its RDP.

Identification of Anticipated Affordable Housing Units in the Town Center

There are three sites within the Waretown Town Center (and within redevelopment areas) that provide affordable housing opportunities. Based on either the standards outlined in the redevelopment plans or in recent Township approvals, these sites are required to provide a minimum of affordable housing units, which will serve as each site's RDP, as outlined below and as shown in the mapping in Appendix A:

1. Willows at Waretown: 76 age-restricted units
2. Tradewinds: 29 family rental units
3. Ocean Commons: 12 family rental units¹

The cumulative RDP of these three sites is 117 units. This will be added to the RDP calculation based on vacant land both in and outside of the Waretown Town Center, as explained in the following sections.

Identification of Vacant Land in the Town Center

In addition to the land within the Waretown Town Center (with recent approvals or redevelopment plans designating a set number of affordable units), this buildout calculated an RDP for the remaining land within the Waretown Town Center. This section outlines the approach used to calculate this portion of the RDP.

¹ It is noted that the Ocean Commons Redevelopment Plan provides a design concept for 54 affordable rental units. While the Township is claiming 54 affordable units in its Housing Plan, as the requirements in the Redevelopment Plan are for 12 affordable units, the RDP of the Ocean Commons site will remain at 12 units.

TC Zone / Redevelopment Area

This buildout analysis calculated an RDP for the portions of the TC zone that do not have approvals for affordable housing development. As the current configuration of parcel boundaries within the TC zone are not intended to be developed in this manner, the buildout calculated land based on various “regulating area” boundaries that are outlined in the TC Town Center District Redevelopment Plan. An RDP was calculated for each of the regulating areas that permit residential uses (or mixed-uses with residential above commercial). A density that reflects the permitted bulk and lot standards in each regulating area was applied to the land area of each in order to calculate an RDP. The calculation is broken down by regulating area, as shown in the mapping in Appendix A and the tables in Appendix B. **The RDP of the TC Zone is 94 units.**

C-2, R-1, R-2, R-BH, and WD Zones

This buildout analysis also calculated an RDP on vacant land within the other zone districts of the Waretown Town Center. This portion of the buildout analysis excluded the following areas from contributing to the RDP calculation:

1. Properties within the C-1 commercial zone (where residential uses are not currently permitted)
2. Properties with a 2016 tax assessment property class value of: 2-residential; 3B-farm; 4A; commercial; 15A-public school; or, 15E-cemeteries and graveyards.
3. Properties completely encumbered by environmental constraints (including wetlands, the 100-year floodplain, preserved farmland, and properties on the Recreation and Open Space Inventory)

After the aforementioned exclusions were applied, an RDP was applied to the remaining unencumbered vacant land within zoning districts that currently permit residential uses (the C-2, R-1, R-2, R-BH, and WD zones). A density that reflects the permitted bulk and lot standards in each zoning district was applied to the land area of each property in order to calculate an RDP. The buildout is outlined in Appendix B. **The RDP of the vacant land in the C-2, R-1, R-2, R-BH, and WD zones is 8 units.**

Identification of Vacant Land Outside of the Town Center, but within the Sewer Service Area

Similar to the lands in the C-2, R-1, R-2, R-BH, and WD Zones, this RDP also calculated an RDP for the sewered land outside of the Waretown Town Center. This portion of the buildout analysis excluded the following areas from contributing to the RDP calculation:

1. Properties within the Waretown Town Center
2. Properties outside of the sewer service area.
3. Properties completely encumbered by environmental constraints (including wetlands, the 100-year floodplain, preserved farmland, and properties on the Recreation and Open Space Inventory)

After the aforementioned exclusions were applied, an RDP was applied to the remaining unencumbered vacant land. Where only a small portion of a property (0.80 acres or less) was unencumbered by environmental constraints, that property was removed from the RDP calculation. A density of 10 dwelling units per acre was applied to the remaining acreage. The buildout is further outlined in the tables and mapping in Appendix C. **The RDP of the vacant sewered land outside of the Waretown Town Center is 9 units.**

RDP Calculation and Conclusion

The various buildout analysis components outlined above are combined to yield an initial RDP of 228 units, made up of the following components:

1. 76 (Willows at Waretown, anticipated units)
2. 29 (Tradewinds, anticipated units)
3. 12 (Ocean Commons, anticipated units)
4. 94 (Calculation based on vacant land in TC Redevelopment Area)
5. 8 (Calculation based on vacant land in C-2, R-1, R-2, R-BH, and WD zones)
6. 9 (Calculation based on vacant and sewered land outside of the Town Center)

This number of 228 does not serve as the Township's final RDP. This is because some of the units contributing to the calculation of the initial RDP are included in the Township's Housing Plan and are being allocated to addressing the Prior Round Obligation. For this reason, the following 175 credits are removed from the final RDP calculation:

1. 59 (Willows at Waretown)

2. 29 (Tradewinds)
3. 87 (TC Zone)

The removal of the 175 credits listed above decreases the Township's final RDP. **The Township's final RDP is 53**, made up of the following components:

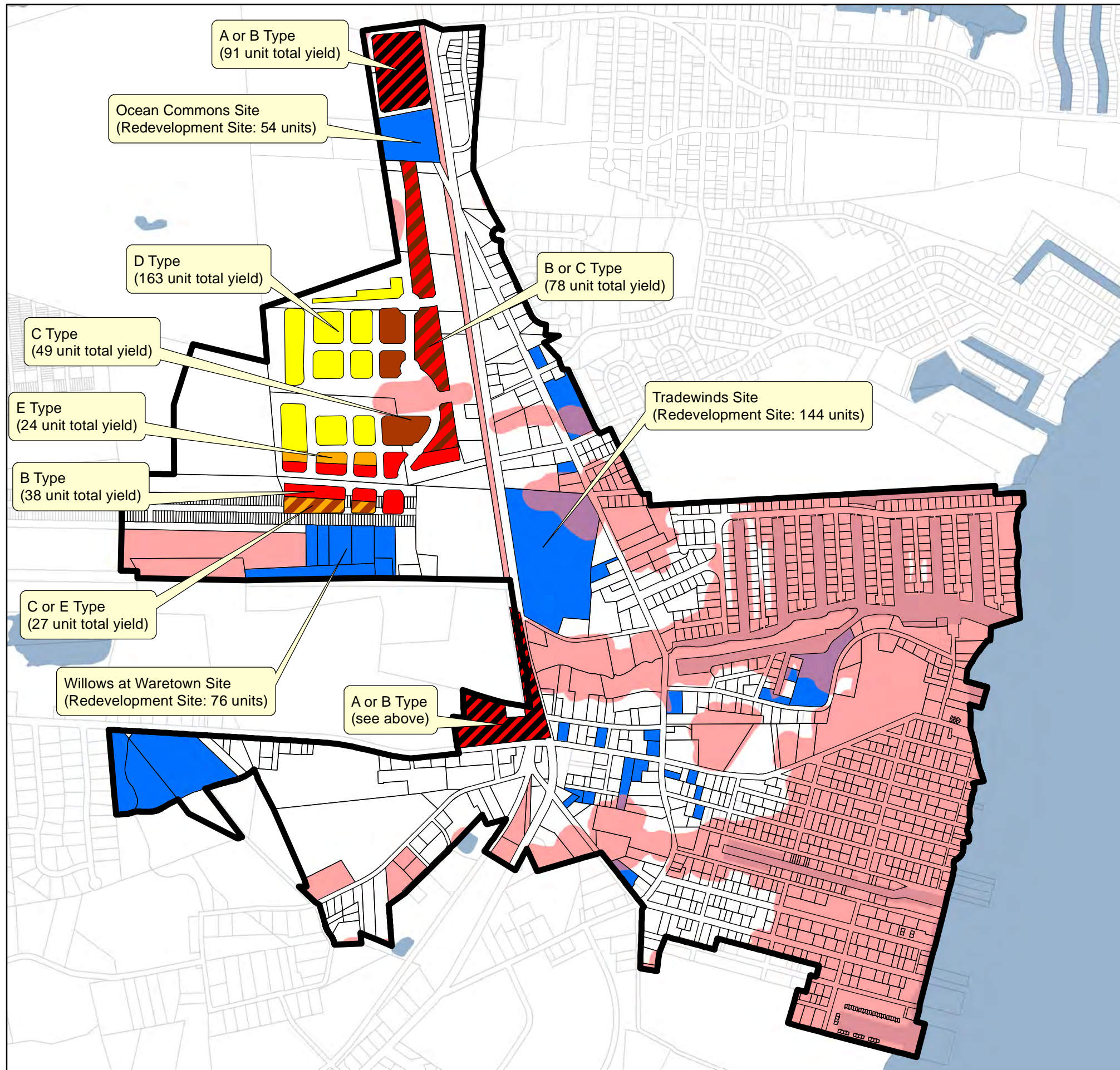
1. 17 (Willows at Waretown)
2. 12 (Ocean Commons)
3. 7 (Calculation based on vacant land in the TC Redevelopment Area)
4. 8 (Calculation based on vacant land in C-2, R-1, R-2, R-BH, and WD zones)
5. 9 (Calculation based on vacant and sewered land outside of the Town Center)

As the RDP is applied to the Township's third round obligation (1999-2025), the Township is responsible for complying with 53 units of credit. Additional units remaining after addressing the RDP will yield the Borough's unmet need.

Appendix A: Mapping of Residential Buildout Analysis – Town Center



Residential Buildout Analysis - Town Center Ocean Township, Ocean County, New Jersey



- Town Center Boundary
- Parcel Boundary
- Environmental Encumbrance
- Buildout Property

Buildout Property - TC Zone Regulating Plan

- A or B Type (91 unit yield)
- B Type (38 unit yield)
- B or C Type (78 unit yield)
- C Type (49 unit yield)
- C or E Type (27 unit yield)
- D Type (163 unit yield)
- E Type (24 unit yield)



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T&M Associates
11 Tindall Road
Middletown, NJ 07748
Phone: 732-671-6400
Fax: 732-671-7365

Prepared by: JAC, 6/27/2016
Source: FEMA; NJDEP; NJDOT; NJGIN;
Ocean County; Ocean Township, T&M Associates
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NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State-authorized.

Appendix B: Ocean Township Town Center Buildout Analysis



Ocean Township Town Center Buildout Analysis

ZONE DISTRICT	TOTAL BUILDOUT CALCULATION PER ZONE DISTRICT	BUILDOUT DEVELOPMENT POTENTIAL (AFFORDABLE UNITS, ANTICIPATED/PROPOSED)	BUILDOUT DEVELOPMENT POTENTIAL (AFFORDABLE UNITS, BASED ON VACANT LAND)	NOTES/COMMENTS
BC	0	0	8	See "Buildout Detail" Tab, Column "Reason for Adjusting Unencumbered Acreage and Excluding from Buildout"
C-1	0			See "Buildout Detail" Tab, Column "Reason for Adjusting Unencumbered Acreage and Excluding from Buildout"
C-2	20			See "Buildout Detail" Tab, Column "Reason for Adjusting Unencumbered Acreage and Excluding from Buildout"
R-1	1			See "Buildout Detail" Tab, Column "Reason for Adjusting Unencumbered Acreage and Excluding from Buildout"
R-1A	0			See "Buildout Detail" Tab, Column "Reason for Adjusting Unencumbered Acreage and Excluding from Buildout"
R-2	7			See "Buildout Detail" Tab, Column "Reason for Adjusting Unencumbered Acreage and Excluding from Buildout"
R-BH	1			See "Buildout Detail" Tab, Column "Reason for Adjusting Unencumbered Acreage and Excluding from Buildout"
R-SC	0			See "Buildout Detail" Tab, Column "Reason for Adjusting Unencumbered Acreage and Excluding from Buildout"
WD	7			See "Buildout Detail" Tab, Column "Reason for Adjusting Unencumbered Acreage and Excluding from Buildout"
WVRG	0			Subject to standards outlined in the Waretown Village Residential Gateway District Redevelopment Plan.
TC	546	76	94	Subject to standards outlined in the TC Town Center District Redevelopment Plan
TC-MXD	144	29	0	Subject to standards outlined in both the Route 9 Phase 1 and the Tradewinds at Waretown Redevelopment Plans. The Tradewinds Redevelopment Plan and the HEFSP envision a total of 144 residential units, with 29 affordable family rental units.
TC-OC	54	54	0	Subject to standards outlined in the Ocean Commons Redevelopment Plan. The Redevelopment Plan and the township's HEFSP envision 55 residential units in the Redevelopment Area.
261			TOTAL TOWN CENTER BUILDOUT DEVELOPMENT POTENTIAL	

Ocean Township Buildout Analysis

Zone District	BLOCK	LOT	Property Class	Acreage	Acreage Unencumbered	Residential Yield	Comments
C-2	127	2	1	1.27	0.69	2	Split zoned (C-2 and R-1)
C-2	129	14.04	1	0.41	0.41	1	
C-2	131	3.02	1	0.36	0.31	1	
C-2	131	5.03	1	0.51	0.51	1	
C-2	190	2	1	0.19	0.19	1	
C-2	190	3	1	0.21	0.21	1	
C-2	191	29.03	1	0.61	0.49	1	
C-2	193.01	1	15D	0.3	0.3	1	
C-2	193.01	2	15D	0.32	0.32	1	
C-2	193.02	1	1	0.34	0.34	1	
C-2	193.02	6	15F	0.34	0.34	1	
C-2	194	3	15D	0.46	0.46	1	
C-2	194	4	15D	0.86	0.64	2	
C-2	194	12.01	1	0.61	0.38	1	
C-2	194	16	1	0.18	0.18	1	
C-2	194	17.01	1	0.22	0.22	1	
C-2	194	18	1	0.24	0.24	1	
C-2	200	1.02	1	0.22	0.22	1	
R-1	127	2	1	1.71	0.92	1	Split zoned (C-2 and R-1)
R-2	52.01	21	15C	7.05	7.05	4	
R-2	52.01	22	15C	3.24	3.24	2	
R-2	53	2	15C	2.49	2.49	1	
R-BH	190	17	1	0.16	0.16	1	
TC	A or B Type		-	6.25	6.25	91	
TC	B or C Type		-	8.33	8.33	78	
TC	B Type		-	6.25	6.25	38	
TC	C or E Type		-	12.99	12.99	27	
TC	C or E Type		-	22.69	22.69	76	Willows at Waretown Site in HEFSP - 76 age-restricted affordable units
TC	C Type		-	10.42	10.42	49	
TC	D Type		-	11.77	11.77	163	
TC	E Type		-	15.56	15.56	24	
TC-MXD	131	4		17.62	13.86	144	Tradewinds Site in HEFSP- 29 affordable units (144 total)
TC-OC	41	42.01		4.72	4.72	12	Ocean Commons Site in HEFSP- 12 aff. units required in redev. plan
WD	169	6	1	0.49	0.41	1	
WD	169	8.01	1	3.87	1.36	5	
WD	169	13	1	0.28	0.16	1	

738 Total Town Center (sum of affordable and market-rate units)

Redevelopment Area	Regulating Area Building Type	ACREAGE	Square Footage	RESIDENTIAL PERMITTED?	Lot Size Minimum Sq Ft in Building Type Regulating Area	Density	Residential Yield	Comment	
TC	A or B Type	14.48	630,646.06	YES	10,000	6.25	91		
TC	A Type	11.61	505,788.67	NO	20,000	0	0		
TC	B or C Type	9.36	407,834.66	YES	10,000	8.33	78		
TC	B Type	6.04	263,248.44	YES	10,000	6.25	38		
TC	C or E Type	2.09	90,821.76	YES	6,400	12.99	27		
TC	C Type	4.74	206,197.11	YES	10,000	10.42	49		
TC	D Type	13.82	601,898.82	YES	3,700	11.77	163		
TC	E Type	1.53	66,762.69	YES	2,800	15.56	24		
TC	Parks and Open Space	25.51	1,111,097.80	NO	0	0	0		
TC	C or E Type	3.35	146,068.22	YES	-	22.69	76	Willows at Waretown Site in HEFSP - 76 age-restricted affordable units	
							546	TOTAL TC ZONE	

Redevelopment Area	BLOCK	LOT	Acreage	Square Footage	Acre_Encum	Sqft_Encu	Ac_Unencum	SF_Unencum	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Comment
TC-MXD	131	4	17.62	767,542.02	3.76	163,679.53	13.86	603,862.49	Yes	-	-	13.86	8.17	144	Tradewinds Site in HEFSP- 29 affordable units (144 total)
TC-MXD	41	29.04	0.71	30,920.82	0	0	0.71	30,920.82	Yes	-	-	0	0	0	Developed as ShopeRite shopping center
TC-MXD	41	29.05	0.53	22,952.67	0	0	0.53	22,952.67	Yes	-	-	0	0	0	Developed as ShopeRite shopping center
TC-MXD	41	29.06	1.46	63,610.06	0	0	1.46	63,610.06	Yes	-	-	0	0	0	Developed as ShopeRite shopping center
TC-MXD	41	35.01	0.42	18,225.14	0	0	0.42	18,225.14	Yes	-	-	0.42	0.00	0	Most of the property located outside of the Town Center
TC-MXD	41	36	11.94	519,997.61	0	0	11.94	519,997.61	Yes	-	-	0	0	0	Developed as ShopeRite shopping center
TC-MXD	41	39.04	1.72	74,774.52	0	0	1.72	74,774.52	Yes	-	-	0	0	0	Developed as ShopeRite shopping center
TC-MXD	61.02	3	0.91	39,793.35	0.91	39,793.35	0	0	Yes	-	-	0	0	0	Completely encumbered-Trail ROW
													144	TOTAL TC-MXD	

Redevelopment Area	BLOCK	LOT	Acreage	Square Footage	Acre_Encum	Sqft_Encu	Ac_Unencum	SF_Unencum	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Comment
TC-OC	41	42.01	4.72	205,620.04	0	0	4.72	205,620.04	Yes	9	392,040	4.72	2.54	12	Ocean Commons Site in HEFSP- 12 affordable units required
													12	TOTAL TC-OC	

Redevelopment Area	BLOCK	LOT	Acreage	Square Footage	Acre_Encum	Sqft_Encu	Ac_Unencum	SF_Unencum	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Comment
WVRG	41	32.03	3.97	173,120.22	3.97	173,120.22	0	0	Yes	0	0	0	0	0	Completely encumbered (ROSI)
													0	TOTAL WVRG	

	TC Zone					TC-MXD Zone
	Building Type A	Building Type B	Building Type C	Building Type D	Building Type E	
RESIDENTIAL TYPE	—	RESI ON UPPER FLOORS	MULTIFAMILY	SFD	TOWNHOME	
HEIGHT (FOR RESIDENTIAL USE)	—	1.5	2.5	—	—	2
MIN LOT SIZE	20,000	10,000	10,000	2,400	2,000	
MAX LOT SIZE	—	—	—	5,000	3,600	
ASSUMED AVG LOT SIZE	—	—	—	3,700	2,800	
ASSUMED AVG DENSITY	—	—	—	11.77	15.56	
MAX IMP. COVER	0.7	0.7	0.7	0.7	0.7	0.6
ASSUMED AVG. BUILDING COVER	0.5	0.5	0.5	—	—	0.3
ASSUMED BUILDING FLOOR AREA FOR RESIDENTIAL USE	0	7,500	12,500	—	—	0.25
ASSUMED AVERAGE SQ. FT./UNIT	0	1,200	1,200	—	—	1,200
EST. DENSITY MULTIPLIER	0	6.25	10.42	—	—	0.00021
ALLOWABLE BUILDING COVERAGE AREA	—	—	—	—	—	0.126

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreage	Sq Ft	Acreage Encumbered	Sq Ft Encumbered	Acreage Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
191	14.01		15C	BRYANT ROAD	11.8	514,142.70	11.8	514,142.70	0	0	BC	No	10	435,600	0	0.1	0	Completely encumbered
191	16		15C	BRYANT ROAD	0.31	13,345.56	0.31	13,310.37	0	35.18	BC	No	10	435,600	0	0.1	0	Residential not permitted for size of lot in BC zone
129	19.01		4A	562 ROUTE 9	1.48	64,391.48	0.11	4,664.91	1.37	59,726.57	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
130	1		4A	544 ROUTE 9	0.89	38,784.88	0	0	0.89	38,784.88	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
130	2		4A	542 ROUTE 9	1.02	44,366.18	0	0	1.02	44,366.18	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
130	4		2	175 MAIN STREET	0.35	15,048.92	0	0	0.35	15,048.92	C-1	No	0.69	30,000	0	1.452	0	Assessed as residential use; no new residential permitted in C-1 Zone
130	5		4A	171 MAIN STREET	1.77	77,105.42	0	0	1.77	77,105.42	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
130	6.02		4A	526 ROUTE 9	0.26	11,239.69	0	0	0.26	11,239.69	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
130	6.03		4A	528 ROUTE 9	0.22	9,452.85	0	0	0.22	9,452.85	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
130	6.04		4A	530 ROUTE 9	0.22	9,410.25	0	0	0.22	9,410.25	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
130	6.05		2	167 MAIN STREET	0.63	27,551.57	0	0	0.63	27,551.57	C-1	No	0.69	30,000	0	1.452	0	Assessed as residential use; no new residential permitted in C-1 Zone
130	6.06		1	165 MAIN STREET	0.51	22,014.80	0	0	0.51	22,014.80	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
130	6.07		2	163 MAIN STREET	0.64	27,811.27	0	0	0.64	27,811.27	C-1	No	0.69	30,000	0	1.452	0	Assessed as residential use; no new residential permitted in C-1 Zone
130	7		4A	522 ROUTE 9	1.07	46,406.24	0.35	15,303.77	0.71	31,102.47	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
130	8.01		2	159 MAIN STREET	0.32	13,906.18	0	0	0.32	13,906.18	C-1	No	0.69	30,000	0	1.452	0	Assessed as residential use; no new residential permitted in C-1 Zone
130	8.02		1	157 MAIN STREET	0.48	20,855.41	0.02	980.57	0.46	19,874.85	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
130	9.01		4A	151 MAIN STREET	0.41	18,001.28	0.39	16,988.40	0.02	1,012.88	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
130	9.02		4A	516 ROUTE 9	2.07	90,341.25	0.84	36,435.34	1.24	53,905.91	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
130	9.03		4A	7 LIGHTHOUSE DRIVE	0.4	17,495.29	0	6.87	0.4	17,488.42	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
131	1.01		1	8 LIGHTHOUSE DRIVE	0.48	20,839.27	0	0	0.48	20,839.27	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
131	1.02		1	LIGHTHOUSE & ROUTE 9	0.59	25,614.15	0	0	0.59	25,614.15	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
131	3.01		4A	510 ROUTE 9	2.17	94,673.46	0.75	32,847.69	1.42	61,825.76	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
195	1.01		4A	446 ROUTE 9	0.81	35,125.15	0	0.00	0.81	35,125.15	C-1	No	0.34	15,000	0	2.904	0	Assessed as commercial use
195	1.04		15D		1.07	46,751.32	0.5	21,780.00	0.57	24,971.32	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
46	2.01		4A	WELLS MILLS ROAD	0.11	4,803.21	0	0	0.11	4,803.21	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
46	2.02		1	ROUTE 9	0.02	883.39	0	0	0.02	883.39	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
47	1.01		4A	443 ROUTE 9	0.6	26,260.50	0	0	0.6	26,260.50	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
47	1.02		4A	ROUTE 9	0.13	5,471.60	0	0	0.13	5,471.60	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
47	1.03		15C	RAILROAD AVENUE	0.19	8,298.40	0	0	0.19	8,298.40	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
47	2		15C	RAILROAD AVENUE W S	0.39	16,865.26	0.39	16,865.26	0	0	C-1	No	0.69	30,000	0	1.452	0	Completely encumbered
47	3		2	437 ROUTE 9	1	43,674	1	43,674	0	0	C-1	No	0.69	30,000	0	1.452	0	Assessed as residential use; no new residential permitted in C-1 Zone
47	5		4A	405 ROUTE 9	0.8	34,669	0.8	34,669	0	0	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
51	1		4A	115 WELLS MILLS ROAD	0.4	17,628.61	0	0	0.4	17,628.61	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
51	2.01		2	113 WELLS MILLS ROAD	0.31	13,538	0	0	0.31	13,538	C-1	No	0.69	30,000	0	1.452	0	Assessed as residential use; no new residential permitted in C-1 Zone
51	2.02		2	5 CORLISS STREET	0.36	15,519.44	0	0	0.36	15,519.44	C-1	No	0.69	30,000	0	1.452	0	Assessed as residential use; no new residential permitted in C-1 Zone
52.01	1.01		15F	117 WELLS MILLS ROAD	0.77	33,372.60	0	0	0.77	33,372.60	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
52.01	1.03		15C	ROUTE 532	0.32	13,951.09	0	0	0.32	13,951.09	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
52.01	2		15C	50 RAILROAD AVENUE	1.64	71,462.12	0	0	1.64	71,462.12	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
52.01	3		2	58 RAILROAD AVENUE	0.11	4,890.70	0	0	0.11	4,890.70	C-1	No	0.69	30,000	0	1.452	0	Assessed as residential use
52.01	4		4A	121 WELLS MILLS ROAD	0.28	11,980.88	0	0	0.28	11,980.88	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
52.01	5		1	123 WELLS MILLS ROAD	0.31	13,634.51	0	0	0.31	13,634.51	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
64	1		1	2 BAY PARKWAY	0.66	28,852.25	0	0	0.66	28,852.25	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
64	10		1	13 BAYBERRY DRIVE	1.52	66,072.48	0	0	1.52	66,072.48	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
64	2		2	35 BAYBERRY DRIVE	0.14	5,959.24	0	0	0.14	5,959.24	C-1	No	0.69	30,000	0	1.452	0	Assessed as residential use; no new residential permitted in C-1 Zone
64	3		2	33 BAYBERRY DRIVE	0.15	6,547.05	0	0	0.15	6,547.05	C-1	No	0.69	30,000	0	1.452	0	Assessed as residential use; no new residential permitted in C-1 Zone
64	4		2	31 BAYBERRY DRIVE	0.16	6,877.29	0	0	0.16	6,877.29	C-1	No	0.69	30,000	0	1.452	0	Assessed as residential use; no new residential permitted in C-1 Zone
64	5.01		1	21 BAYBERRY DRIVE	0.22	9,740.39	0	0	0.22	9,740.39	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
64	5.02		2	29 BAYBERRY DRIVE	0.14	6,182.79	0	0	0.14	6,182.79	C-1	No	0.69	30,000	0	1.452	0	Assessed as residential use; no new residential permitted in C-1 Zone
64	5.03		2	27 BAYBERRY DRIVE	0.13	5,725.45	0	0	0.13	5,725.45	C-1	No	0.69	30,000	0	1.452	0	Assessed as residential use; no new residential permitted in C-1 Zone
64	5.04		1	25 BAYBERRY DRIVE	0.24	10,361.75	0	0	0.24	10,361.75	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
64	6		4A	586 ROUTE 9	0.25	10,986.86	0	0	0.25	10,986.86	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
64	7		1	582 ROUTE 9	0.18	7,769.53	0	0	0.18	7,769.53	C-1	No	0.69	30,000	0	1.452	0	Residential not permitted in C-1 Zone
64	8		4A	580 ROUTE 9	0.18	7,900.99	0	0	0.18	7,900.99	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
64	9		4A	578 ROUTE 9	0.2	8,799.18	0	0	0.2	8,799.18	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
65	28.01		4A	564 ROUTE 9	0.77	33,534.19	0	0	0.77	33,534.19	C-1	No	0.69	30,000	0	1.452	0	Assessed as commercial use
127	1.02		2	164 MAIN STREET	0.18	7,825.48	0	0	0.18	7,825.48	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
127	2		1	MAIN STREET	1.27	55,115.41	0.58	25,264.80	0.69	29,850.61	C-2	Yes	0.34	15,000	1	2.904	2	
129	14.03		2	170 MAIN STREET	0.56	24,472.72	0	0	0.56	24,472.72	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
129	14.04		1	166 MAIN STREET	0.41	18,042.31	0	0	0.41	18,042.31	C-2	Yes	0.34	15,000	0.41	2.904	1	
130	9.01		4A	151 MAIN STREET	1.126	49,048.46	0.48	20,908.80	0.646	28,139.66	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as commercial use
131	10		2	17 BIRDSALL STREET	1.9	82,716.44	0.07	2,869.17	1.83	79,847.27	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
131	11		2	11 BIRDSALL STREET	0.93	40,393.04	0.11	4,899.60	0.81	35,493.44	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
131	2		2	149 MAIN STREET	0.38	16,444.22	0	0	0.38	16,444.22	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use

Ocean Township Buildout Analysis

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreage	Sq Ft	Acreage Encumbered	Sq Ft Encumbered	Acreage Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
131	3.02		1	147 MAIN STREET	0.36	15,790.62	0.05	2,151.70	0.31	13,638.93	C-2	Yes	0.34	15,000	0.31	2.904	1	
131	3.03		1	145 MAIN STREET	0.41	18,043.36	0.41	17,921.46	0	121.9	C-2	Yes	0.34	15,000	0	2.904	0	
131	3.04		1	143 MAIN STREET	0.36	15,852.82	0.36	15,852.82	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
131	5.01		2	125 MAIN STREET	0.62	26,864.56	0	0	0.62	26,864.56	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
131	5.02		2	133 MAIN STREET	1.02	44,373.96	0.11	4,676.95	0.91	39,697.01	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
131	5.03		1	129 MAIN STREET	0.51	22,011.09	0	0	0.51	22,011.09	C-2	Yes	0.34	15,000	0.51	2.904	1	
131	6		2	127 MAIN STREET	0.27	11,913.14	0	0	0.27	11,913.14	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
131	7		2	123 MAIN STREET	0.23	9,812.66	0	0	0.23	9,812.66	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
131	8		2	121 MAIN STREET	0.64	27,917.32	0	0	0.64	27,917.32	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
131	9.02		2	119 MAIN STREET	0.4	17,510.82	0	0	0.4	17,510.82	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
131	9.03		2	23 BIRDSALL STREET	0.51	22,319.46	0	0	0.51	22,319.46	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
131	9.04		2	21 BIRDSALL STREET	0.39	16,933.51	0	0	0.39	16,933.51	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
132	1		2	148 MAIN STREET	0.16	7,141.83	0	0	0.16	7,141.83	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
132	2.02		2	16 LIGHTHOUSE DRIVE	0.07	3,182.36	0	0	0.07	3,182.36	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
132	5		1	3 HOLIDAY PLACE	0.08	3,303.24	0.02	823.55	0.061094	2,479.69	C-2	Yes	0.34	15,000	0	2.904	0	
132	6		2	146 MAIN STREET	0.16	7,103.50	0.02	1,018.54	0.14	6,084.96	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
133	1		15C	2 HOLIDAY PLACE	0.16	7,115.54	0.16	7,115.54	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
133	5		1	1 NAVIGATOR DRIVE	0.18	7,717.10	0.18	7,717.10	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
133	6		1	3 NAVIGATOR DRIVE	0.09	3,975.06	0.09	3,975.06	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
133	9		1	4 HOLIDAY PLACE	0.09	3,957.65	0.09	3,957.65	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
141	5.01		1		0.14	5,981.24	0.14	5,981.24	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
141	8		15C		0.17	7,197.84	0.17	7,197.84	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
144	2		15C	MAIN STREET	0.78	33,871.32	0.78	33,871.32	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
144	3		2	126 MAIN STREET	0.25	10,723.95	0.23	10,018.80	0.02	705.15	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
144	4.01		2	122 MAIN STREET	0.24	10,305.96	0.07	3,049.20	0.17	7,256.76	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
144	4.02		1	124 MAIN STREET	0.28	12,015.49	0.27	11,749.40	0.010271	266.09	C-2	Yes	0.34	15,000	0	2.904	0	
144	5		15C	128 MAIN STREET	0.27	11,845.21	0.27	11,845.21	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
165	8		2	120 MAIN STREET	0.27	11,890.84	0	0.00	0.27	11,890.84	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
166	11		2	4 SKIPPERS BOULEVARD	0.15	6,599.02	0	0	0.15	6,599.02	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
166	12		2	2 SKIPPERS BOULEVARD	0.19	8,314.30	0	0	0.19	8,314.30	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
166	18.01		15C	112 MAIN STREET	0.83	36,113.29	0.15	6,319.42	0.684926	29,793.87	C-2	Yes	0.34	15,000	0	2.904	0	Waretown Branch Library
166	18.02		15C	MAIN STREET	0.38	16,691.60	0.38	16,691.60	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
190	1.01		2	32 BRYANT ROAD	0.15	6,735.66	0	0	0.15	6,735.66	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
190	1.02		2	30 BRYANT ROAD	0.18	7,908.30	0	0	0.18	7,908.30	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
190	18		2	49 ILLINOIS AVENUE	0.16	6,960.17	0	0	0.16	6,960.17	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
190	19		2	47 ILLINOIS AVENUE	0.17	7,317.21	0	0	0.17	7,317.21	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
190	2		1	80 MAIN STREET	0.19	8,320.76	0	0	0.19	8,320.76	C-2	Yes	0.34	15,000	0.19	2.904	1	
190	20		2	45 ILLINOIS AVENUE	0.4	17,362.71	0	0	0.4	17,362.71	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
190	3		1	34 BRYANT ROAD	0.21	9,158.21	0	0	0.21	9,158.21	C-2	Yes	0.34	15,000	0.21	2.904	1	
191	29.02		2	4 PENNSYLVANIA AVENUE	0.35	15,271.76	0	0	0.35	15,271.76	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
191	29.03		1	2 PENNSYLVANIA AVENUE	0.61	26,721.64	0.12	5,385.55	0.49	21,336.09	C-2	Yes	0.34	15,000	0.49	2.904	1	
191	30		4A	94 MAIN STREET	0.44	19,367.74	0.00	123.58	0.437163	19,244.16	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as commercial use
191	33.02		4A	94 MAIN STREET	0.12	5,241	0.02	950.26	0.1	4,290.74	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as commercial use
191	34		2	90 MAIN STREET	0.09	3,702.90	0	0	0.09	3,702.90	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
191	35		2	88 MAIN STREET	0.5	21,811.75	0.05	2,134.37	0.45	19,677.38	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
191	36		2	33 BRYANT ROAD	0.94	40,842.27	0	0.00	0.94	40,842.27	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
192	1.01		1	BIRDSALL STREET	4.07	177,110.84	4.07	177,110.84	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
192	1.02		15C	18 BIRDSALL STREET	1.47	64,143.46	1.12	48,835.94	0.35	15,307.53	C-2	Yes	0.34	15,000	0	2.904	0	Water Tower
192	1.06		2		1.33	58,084.26	1.3	56,807.32	0.03	1,276.95	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
192	10		2	23 CHAPEL STREET	0.37	15,962.16	0.08	3,477.40	0.29	12,484.77	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
192	11		2	25 CHAPEL STREET	0.37	16,309.07	0.05	2,183.31	0.32	14,125.77	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
192	12.01		1	99 MAIN STREET	2.63	114,376.60	2.51	109,357.73	0.12	5,018.87	C-2	Yes	0.34	15,000	0.12	2.904	0	
192	12.02		2	97 MAIN STREET	1.24	53,900.62	0.14	6,043.18	1.1	47,857.44	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
192	13		2	27 CHAPEL STREET	0.38	16,595.64	0	0	0.38	16,595.64	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
192	14		2	31 CHAPEL STREET	0.24	10,316.69	0	0	0.24	10,316.69	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
192	15		2	95 MAIN STREET	0.67	29,366	0	0	0.67	29,366	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
192	2		2	480 ROUTE 9	0.57	24,686.53	0.57	24,686.53	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
192	3		1	ROUTE 9	0.88	38,360.27	0.78	34,143.93	0.1	4,216.34	C-2	Yes	0.34	15,000	0.1	2.904	0	
192	4		2	468 ROUTE 9	0.13	5,449.19	0.08	3,683.09	0.04	1,766.10	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
192	5		4A	466 ROUTE 9	0.29	12,500.05	0	0	0.29	12,500.05	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as commercial use
192	6		2	15 CHAPEL STREET	0.21	9,206.82	0	0	0.21	9,206.82	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
192	7		2	17 CHAPEL STREET	1.11	48,326.26	0.67	29,076.07	0.44	19,250.19	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
192	8		2	19 CHAPEL STREET	1.86	81,106.25	1.39	60,536.21	0.47	20,570.04	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use

Ocean Township Buildout Analysis

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreage	Sq Ft	Acreage Encumbered	Sq Ft Encumbered	Acreage Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
192	9		2	21 CHAPEL STREET	0.46	20,163.71	0.08	3,604.22	0.38	16,559.49	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
193.01	1		15D	87 MAIN STREET	0.3	13,062.40	0	0	0.3	13,062.40	C-2	Yes	0.34	15,000	0.3	2.904	1	
193.01	2		15D	85 MAIN STREET	0.32	13,849.78	0	0	0.32	13,849.78	C-2	Yes	0.34	15,000	0.32	2.904	1	
193.01	3		15D	27 BRYANT ROAD	0.62	27,043.19	0	0	0.62	27,043.19	C-2	Yes	0.34	15,000	0	2.904	0	Existing church and parking lot
193.01	4		15D	25 BRYANT ROAD	0.27	11,801.39	0	0	0.27	11,801.39	C-2	Yes	0.34	15,000	0	2.904	0	Parking associated with adjacent church
193.01	5		2	28 CHAPEL STREET	0.15	6,635.30	0	0	0.15	6,635.30	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
193.01	6		2	23 BRYANT ROAD	0.32	13,773.58	0	0	0.32	13,773.58	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
193.02	1		1		0.34	14,833.42	0	0	0.34	14,833.42	C-2	Yes	0.34	15,000	0.34	2.904	1	
193.02	2		2		0.17	7,552.86	0	0	0.17	7,552.86	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
193.02	3		2		0.13	5,763.28	0	0	0.13	5,763.28	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
193.02	4		2		0.3	13,182.23	0	0	0.3	13,182.23	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
193.02	5		2		0.3	12,998.63	0	0	0.3	12,998.63	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
193.02	6		15F		0.34	14,769.67	0	0	0.34	14,769.67	C-2	Yes	0.34	15,000	0.34	2.904	1	
193.02	7		4A		0.21	9,191.93	0	0	0.21	9,191.93	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as commercial use
194	1		2	28 BRYANT ROAD	0.17	7,325.50	0	0	0.17	7,325.50	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	10		2	59 MAIN STREET	0.33	14,376.17	0	0	0.33	14,376.17	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	11.01		2	57 MAIN STREET	0.68	29,777.30	0.27	11,765.75	0.41	18,011.55	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	12.01		1		0.61	26,647.96	0.23	9,928.37	0.38	16,719.59	C-2	Yes	0.34	15,000	0.38	2.904	1	
194	13.01		2		0.44	19,269.18	0	0	0.44	19,269.18	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	14		1	25 CLEARWATER DRIVE	1.29	56,031.65	1.29	56,031.65	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
194	15.01		2	19 CLEARWATER DRIVE	0.81	35,235.08	0.34	14,958.14	0.47	20,276.94	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	15.02		2	15 CLEARWATER DRIVE	0.33	14,588.17	0	0	0.33	14,588.17	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	16		1	13 CLEARWATER DRIVE	0.18	7,718.56	0	0	0.18	7,718.56	C-2	Yes	0.34	15,000	0.18	2.904	1	
194	17.01		1	4 OAK STREET	0.22	9,553.50	0	0	0.22	9,553.50	C-2	Yes	0.34	15,000	0.22	2.904	1	
194	17.02		4A	450 ROUTE 9	0.27	11,814.96	0	0	0.27	11,814.96	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as commercial use
194	18		1	8 OAK STREET	0.24	10,573.01	0	0	0.24	10,573.01	C-2	Yes	0.34	15,000	0.24	2.904	1	
194	19		2	10 OAK STREET	0.12	5,285.10	0.01	653.22	0.11	4,631.89	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	2		2	79 MAIN STREET	0.33	14,463.27	0	0	0.33	14,463.27	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	20		2	12 OAK STREET	0.12	5,284.06	0.05	2,181.08	0.07	3,102.98	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	21		2	14 OAK STREET	0.12	5,283.20	0.06	2,612.37	0.06	2,670.83	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	22		2	16 OAK STREET	0.12	5,283.74	0.09	4,086.18	0.03	1,197.56	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	23		2	2 AUGUSTA AVENUE	0.27	11,891.65	0	0	0.27	11,891.65	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	24		2	4 AUGUSTA AVENUE	0.48	20,992.60	0	0	0.48	20,992.60	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	25		2	20 BRYANT ROAD	0.28	12,000.13	0	0	0.28	12,000.13	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	26.01		4A	4 OAK STREET	1.86	80,866.13	0	0	1.86	80,866.13	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as commercial use
194	28		2	3 AUGUSTA AVENUE	0.23	10,127.10	0	0	0.23	10,127.10	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	29		2	1 AUGUSTA AVENUE	0.25	10,779.67	0	0	0.25	10,779.67	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	3		15D	26 BRYANT ROAD	0.46	19,915.61	0	0	0.46	19,915.61	C-2	Yes	0.34	15,000	0.46	2.904	1	
194	30		2	7 OAK STREET	0.1	4,509.48	0	0	0.1	4,509.48	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	31		2	3 OAK STREET	0.2	8,918.69	0	0	0.2	8,918.69	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	32		2	1 OAK STREET	0.12	5,255.50	0	0	0.12	5,255.50	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	4		15D	24 BRYANT ROAD	0.86	37,570.59	0.22	9,509.30	0.64	28,061.29	C-2	Yes	0.34	15,000	0.64	2.904	2	
194	5		2	77 MAIN STREET	0.72	31,295.50	0	9.82	0.72	31,285.68	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	6		2	75 MAIN STREET	0.6	26,286.01	0.09	3,707.86	0.52	22,578.15	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	7		2	71 MAIN STREET	0.67	29,202.68	0.28	12,287.34	0.39	16,915.34	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	8		2	67 MAIN STREET	4.08	177,891.69	3.51	153,040.46	0.57	24,851.24	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
194	9		2	61 MAIN STREET	0.72	31,312.03	0.5	21,602.18	0.22	9,709.85	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
195	1.01		4A	446 ROUTE 9	1.28	55,828.05	1.14	49,658.40	0.14	6,169.65	C-2	Yes	0.69	30,000	0	1.452	0	Assessed as commercial use
195	1.04		15D		1.1	47,714.08	1.02	44,431.20	0.08	3,282.88	C-2	Yes	0.34	15,000	0	2.904	0	
195	2		1	24 CLEARWATER DRIVE	0	0.62	0	0.62	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
200	1.02		1	50 ILLINOIS AVENUE	0.22	9,494.54	0	0	0.22	9,494.54	C-2	Yes	0.34	15,000	0.22	2.904	1	
200	1.04		2	51 OREGON AVENUE	0.21	9,115.69	0	3.7	0.21	9,112	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
200	1.07		2		0.21	8,934.45	0	0	0.21	8,934.45	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
200	1.08		2		0.28	12,391.18	0	0	0.28	12,391.18	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
200	1.09		2		0.49	21,166.10	0	0	0.49	21,166.10	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
200	7.01		2	66 MAIN STREET	0.75	32,843.88	0.54	23,355.35	0.22	9,488.53	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
200	7.03		2	56 OREGON AVENUE	0.62	27,144.68	0.62	27,144.68	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
201	1		1	62 MAIN STREET	0.17	7,390.33	0.17	7,390.33	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
201	7		1	53 ATLANTIC AVENUE	0.22	9,593.92	0.21	8,999.84	0.01	594.08	C-2	Yes	0.34	15,000	0.01	2.904	0	
201	8		1	MAIN STREET	0.05	2,311.13	0.05	2,311.13	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
201	9		1	60 MAIN STREET	0.11	4,904.06	0.11	4,904.06	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
202	1.01		4A		0.36	15,673.81	0	0	0.36	15,673.81	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as commercial use
202	10		4A	50 MAIN STREET	0.34	14,741.82	0	0	0.34	14,741.82	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as commercial use

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreege	Sq Ft	Acreege Encumbered	Sq Ft Encumbered	Acreege Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreege	Density	Residential Yield	Reason for Adjusting Unencumbered Acreege and Excluding from Buildout
203	1		2	46 CLEARWATER DRIVE	0.57	25,015.67	0	0	0.57	25,015.67	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
211	10		1	81 PACIFIC AVENUE	0	0.27	0	0.27	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Completely encumbered
46	2.01		4A	WELLS MILLS ROAD	0.35	15,260.52	0	0	0.35	15,260.52	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as commercial use
65	9		2	8 BAYBERRY DRIVE	0	0.21	0	0.21	0	0	C-2	Yes	0.34	15,000	0	2.904	0	Assessed as residential use
127	1.01		2	4 LETTS LANDING ROAD	0.23	10,097.60	0	0	0.23	10,097.60	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
127	2		1	MAIN STREET	1.71	74,560.92	0.79	34,412.40	0.92	40,148.52	R-1	Yes	1	43,560	1	1	1	
129	14.05		2	3 LETTS LANDING ROAD	0.34	14,991.68	0	0	0.34	14,991.68	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
129	15.22		2	10 SO OLYMPIA DR	0.41	17,770.97	0	0	0.41	17,770.97	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
129	15.23		2	8 SO OLYMPIA DR	0.38	16,541.30	0	0	0.38	16,541.30	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
129	15.24		2	6 SO OLYMPIA DR	0.35	15,403.09	0	0	0.35	15,403.09	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
129	15.25		2	4 SO OLYMPIA DR	0.36	15,657.28	0	0	0.36	15,657.28	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
129	15.26		2	2 SO OLYMPIA DR	0.34	14,786.48	0	0	0.34	14,786.48	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
129	15.27		2	1 NO OLYMPIA DR	0.37	15,970.83	0	0	0.37	15,970.83	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
129	15.28		2	3 NO OLYMPIA DR	0.31	13,675.54	0	0	0.31	13,675.54	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
129	15.29		2	5 NO OLYMPIA DR	0.43	18,724.32	0	0	0.43	18,724.32	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
129	15.3		2	7 ZEUS CT	0.8	35,037.89	0	0	0.8	35,037.89	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
129	15.31		2	9 ZEUS CT	0.68	29,525.71	0	0	0.68	29,525.71	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
132	2.01		2	18 LIGHTHOUSE DRIVE	0.28	12,171.65	0	0	0.28	12,171.65	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
132	2.02		2	16 LIGHTHOUSE DRIVE	0.07	3,012.57	0	0	0.07	3,012.57	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
132	3		2	22 LIGHTHOUSE DRIVE	0.23	10,218.90	0	0	0.23	10,218.90	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
132	4.01		1	7 HOLIDAY PLACE	0.14	5,973.87	0	0	0.14	5,973.87	R-1	Yes	1	43,560	0.14	1	0	
132	4.02		1	5 HOLIDAY PLACE	0.14	6,197.26	0.01	341.5	0.13	5,855.75	R-1	Yes	1	43,560	0.13	1	0	
132	4.03		15C	9 HOLIDAY PLACE	0.12	5,199.69	0	0	0.12	5,199.69	R-1	Yes	1	43,560	0.12	1	0	
132	4.04		1	11 HOLIDAY PLACE	0.12	5,133.19	0.01	395.93	0.11	4,737.25	R-1	Yes	1	43,560	0.11	1	0	
132	5		1	3 HOLIDAY PLACE	0.07	2,891.46	0.01	616.55	0.055846	2,274.91	R-1	Yes	1	43,560	0	1	0	
133	10.01		1	6 WINDWARD DRIVE	0.13	5,809.41	0.13	5,809.41	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
133	10.02		1	8 WINDWARD DRIVE	0.13	5,802.10	0.13	5,802.10	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
133	2		2	8 HOLIDAY PLACE	0.17	7,359.44	0.16	7,023.48	0.01	335.96	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
133	3		1	12 WINDWARD DRIVE	0.14	6,029.97	0.14	6,029.97	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
133	4		1	NAVIGATOR DRIVE	0.4	17,610.67	0.4	17,610.67	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
133	6		1	3 NAVIGATOR DRIVE	0.07	3,011.40	0.07	3,011.40	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
133	7		1	10 WINDWARD DRIVE	0.14	6,239.14	0.14	6,239.14	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
133	8		15C	5 NAVIGATOR DRIVE	0.19	8,328.20	0.19	8,328.20	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
133	9		1	4 HOLIDAY PLACE	0.24	10,582.70	0.24	10,582.70	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
141	5.02		1		0.14	6,015.91	0.14	6,015.91	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
141	6		1		0.14	6,050.44	0.14	6,050.44	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
141	7		1		0.14	5,959.21	0.14	5,959.21	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
141	9		15C		0.28	12,204.83	0.28	12,204.83	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
168	1		2	2 CEDAR AVENUE	0.13	5,589.44	0	0	0.13	5,589.44	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
168	2		2	4 CEDAR AVENUE	0.25	10,887.64	0	0	0.25	10,887.64	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
168	5		2	17 PENNSYLVANIA AVENUE	0.25	10,912.82	0	0	0.25	10,912.82	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
168	6.01		2	6 CEDAR AVENUE	0.25	11,044.81	0	0	0.25	11,044.81	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
168	7		2	3 ACORN STREET	0.21	8,942.18	0.01	491.13	0.19	8,451.05	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	1		2	15 VESSEL ROAD	0.12	5,253.40	0.12	5,253.40	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	10		2	68 PENNSYLVANIA AVENUE	0.2	8,804.18	0.2	8,804.18	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	11		2	66 PENNSYLVANIA AVENUE	0.11	4,858.76	0.11	4,858.76	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	13		1	PENNSYLVANIA AVENUE	0.61	26,537.92	0.61	26,537.92	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
191	14.02		2		0.54	23,626.20	0.54	23,626.21	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	14.03		1	59 BRYANT ROAD	1.36	59,443.67	1	43,745.19	0.36	15,698.48	R-1	Yes	1	43,560	0.36	1	0	
191	14.04		2	65 BRYANT ROAD	1.07	46,551.91	0.74	32,284.33	0.33	14,267.58	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	14.05		2	44 PENNSYLVANIA AVENUE	1.07	46,525.79	0.74	32,206.48	0.33	14,319.31	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	14.06		2	5 VESSEL ROAD	0.47	20,350.05	0.47	20,350.05	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	14.07		2	1 VESSEL ROAD	0.47	20,383.73	0.47	20,383.73	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	17.01		2		0.38	16,394.30	0.07	3,072.88	0.31	13,321.41	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	19		2	30 PENNSYLVANIA AVENUE	0.42	18,297.98	0	0	0.42	18,297.98	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	2		2	13 VESSEL ROAD	0.24	10,494.73	0.24	10,494.73	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	20		2	28 PENNSYLVANIA AVENUE	0.24	10,638.01	0	0	0.24	10,638.01	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	21.01		2	26 PENNSYLVANIA AVENUE	0.31	13,537.48	0	94.65	0.31	13,442.83	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	22.01		2		0.2	8,680.42	0.09	4,084.80	0.11	4,595.62	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	23		2	20 PENNSYLVANIA AVENUE	0.28	12,051.98	0.2	8,568.42	0.08	3,483.56	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	24		2	18 PENNSYLVANIA AVENUE	0.15	6,495.84	0.11	4,762.59	0.04	1,733.26	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	26		2	14 PENNSYLVANIA AVENUE	0.39	17,195.51	0.23	9,878.58	0.17	7,316.93	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	27.01		2		0.41	17,661.54	0.19	8,367.12	0.21	9,294.43	R-1	Yes	1	43,560	0	1	0	Assessed as residential use

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreage	Sq Ft	Acreage Encumbered	Sq Ft Encumbered	Acreage Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
191	29.01		2	6 PENNSYLVANIA AVENUE	0.3	13,153.27	0.01	612.72	0.29	12,540.55	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	29.02		2	4 PENNSYLVANIA AVENUE	0.22	9,791.42	0	0	0.22	9,791.42	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	3		2	11 VESSEL ROAD	0.12	5,051.01	0.12	5,051.01	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	30		4A	94 MAIN STREET	1.45	62,980.38	1.31	57,063.60	0.14	5,916.78	R-1	Yes	1	43,560	0	1	0	Assessed as commercial use
191	31		2	57 BRYANT ROAD	0.43	18,554.79	0.22	9,672.20	0.2	8,882.60	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	32		15E	51 BRYANT ROAD	3	130,536.94	0.41	17,661.20	2.59	112,875.74	R-1	Yes	1	43,560	0	1	0	Cemetery
191	33.01		1	41 BRYANT ROAD	3.35	145,787.77	3.35	145,787.77	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
191	36		2	33 BRYANT ROAD	0.3	13,186.05	0.22	9,413.66	0.083892	3,772.39	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	4		2	9 VESSEL ROAD	0.24	10,237.28	0.24	10,237.28	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	5		2	7 VESSEL ROAD	0.23	9,897.31	0.23	9,897.31	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	6		1	VESSEL ROAD IN REAR	0.13	5,852.87	0.13	5,852.87	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
191	7		2	74 PENNSYLVANIA AVENUE	0.19	8,393.28	0.19	8,393.28	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
191	8.01		15C		0.26	11,513.40	0.26	11,513.40	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
201	2.02		1	56 BALTIC AVENUE	0.23	10,070.46	0.23	10,070.46	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
201	3		1	58 BALTIC AVENUE	0.18	7,783.75	0.18	7,783.75	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
201	4		2	59 ATLANTIC AVENUE	0.18	7,728.84	0.09	3,836.81	0.09	3,892.03	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
201	5		2	57 ATLANTIC AVENUE	0.23	10,012.18	0.09	3,877.60	0.14	6,134.58	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
201	6		2	55 ATLANTIC AVENUE	0.28	12,235.15	0.22	9,543.59	0.06	2,691.57	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
202	3		2	54 ATLANTIC AVENUE	0.11	4,807.72	0	0	0.11	4,807.72	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
202	4		2	56 ATLANTIC AVENUE	0.22	9,595.82	0	0	0.22	9,595.82	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
202	5		2	58 ATLANTIC AVENUE	0.22	9,640.07	0	0	0.22	9,640.07	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
202	6		2	59 CLEARWATER DRIVE	0.11	4,984.73	0	0	0.11	4,984.73	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
202	7		2	57 CLEARWATER DRIVE	0.12	5,030	0	0	0.12	5,030	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
202	8		2	55 CLEARWATER DRIVE	0.23	10,007.52	0	0	0.23	10,007.52	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
202	9		2	53 CLEARWATER DRIVE	0.23	9,937.56	0	0	0.23	9,937.56	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
203	1		2	46 CLEARWATER DRIVE	0.18	7,811.33	0	0	0.18	7,811.33	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
203	2		2	50 CLEARWATER DRIVE	0.34	14,910.63	0	0	0.34	14,910.63	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
203	3		2	52 CLEARWATER DRIVE	0.44	19,190.41	0.03	1,101.31	0.42	18,089.10	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
203	4		2	54 CLEARWATER DRIVE	0.16	6,769.26	0	0	0.16	6,769.26	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
203	5		2	56 CLEARWATER DRIVE	0.11	4,934.83	0	0	0.11	4,934.83	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
203	6		2	58 CLEARWATER DRIVE	0.43	18,737.37	0.08	3,337.48	0.35	15,399.90	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
204	1		2	5 WESTCOTT AVENUE	0.37	16,269.15	0.02	829.4	0.35	15,439.75	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
206	1		2	60 CLEARWATER DRIVE	0.34	14,860.83	0	0.03	0.34	14,860.80	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
206	10		1	74 CLEARWATER DRIVE	0.23	9,901.03	0.23	9,901.03	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
206	2		2	62 CLEARWATER DRIVE	0.34	14,835.07	0	54.02	0.34	14,781.05	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
206	3.01		2		0.17	7,380.77	0	0	0.17	7,380.77	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
206	5		1	66 CLEARWATER DRIVE	0.17	7,358.60	0	22.8	0.17	7,335.80	R-1	Yes	1	43,560	0.17	1	0	
206	7		2	68 CLEARWATER DRIVE	0.11	4,893.15	0.01	472.27	0.1	4,420.88	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
206	8		2	70 CLEARWATER DRIVE	0.16	7,160.17	0.03	1,410.70	0.13	5,749.47	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
206	9		2	72 CLEARWATER DRIVE	0.17	7,255.58	0.15	6,555.26	0.02	700.33	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
207	1		2	60 ATLANTIC AVENUE	0.11	4,917.99	0	0	0.11	4,917.99	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
207	11		2	71 CLEARWATER DRIVE	0.17	7,361.43	0	0	0.17	7,361.43	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
207	12		2	69 CLEARWATER DRIVE	0.22	9,428.01	0	0	0.22	9,428.01	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
207	13		2	67 CLEARWATER DRIVE	0.12	5,093.51	0	0	0.12	5,093.51	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
207	14		2	65 CLEARWATER DRIVE	0.11	4,947.44	0	0	0.11	4,947.44	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
207	15		2	61 CLEARWATER DRIVE	0.29	12,429.50	0	0	0.29	12,429.50	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
207	2		2	62 ATLANTIC AVENUE	0.12	5,045.19	0	0	0.12	5,045.19	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
207	3		2	64 ATLANTIC AVENUE	0.11	4,932.97	0	0	0.11	4,932.97	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
207	4		2	66 ATLANTIC AVENUE	0.29	12,432.56	0	0	0.29	12,432.56	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
207	5.01		2		0.33	14,373.99	0	0	0.33	14,373.99	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
207	7		2	75 CLEARWATER DRIVE	0.52	22,553.96	0.03	1,146.86	0.49	21,407.10	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
207	8		2	59 JEFFERSON STREET	0.17	7,456.55	0.02	1,088.63	0.15	6,367.92	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
207	9		2	77 CLEARWATER DRIVE	0.17	7,356.27	0.06	2,597.14	0.11	4,759.13	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	1		1	60 BALTIC AVENUE	0.17	7,516.37	0.17	7,516.37	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
208	10		2	71 ATLANTIC AVENUE	0.17	7,214.18	0.02	972.18	0.14	6,242.01	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	11		2	67 ATLANTIC AVENUE	0.12	5,157.97	0	0	0.12	5,157.97	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	12		2	65 ATLANTIC AVENUE	0.16	6,979.70	0	0	0.16	6,979.70	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	13		2	63 ATLANTIC AVENUE	0.12	5,247.31	0.03	1,090.98	0.1	4,156.33	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	14		2	61 ATLANTIC AVENUE	0.11	4,689.14	0.04	1,948.50	0.06	2,740.64	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	2		2	62 BALTIC AVENUE	0.17	7,281.20	0.1	4,183.01	0.07	3,098.19	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	3		2	64 BALTIC AVENUE	0.18	8,004.47	0.02	798.83	0.17	7,205.64	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	4.01		2	69 ATLANTIC AVENUE	0.21	9,197.05	0	0	0.21	9,197.05	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	4.02		2	66 BALTIC AVENUE	0.16	7,051.28	0.03	1,294.46	0.13	5,756.83	R-1	Yes	1	43,560	0	1	0	Assessed as residential use

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreege	Sq Ft	Acreege Encumbered	Sq Ft Encumbered	Acreege Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
208	5.01		2	72 BALTIC AVENUE	0.19	8,172.41	0.18	7,981.36	0	191.04	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	5.02		2	68 BALTIC AVENUE	0.16	6,797.13	0.15	6,341.97	0.01	455.16	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	5.03		2	70 BALTIC AVENUE	0.13	5,649.07	0.13	5,649.07	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	6		2	74 BALTIC AVENUE	0.1	4,426.28	0.1	4,266.20	0	160.08	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	7		2	76 BALTIC AVENUE	0.13	5,611.13	0.13	5,591.85	0	19.27	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	8		2	75 ATLANTIC AVENUE	0.22	9,647.20	0.1	4,245.35	0.12	5,401.85	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
208	9		2	73 ATLANTIC AVENUE	0.24	10,303.90	0.01	223.67	0.23	10,080.23	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
211	1.01		2	78 CLEARWATER DRIVE	0.22	9,478.92	0.22	9,478.92	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
211	1.02		2	80 CLEARWATER DRIVE	0.17	7,393.25	0.17	7,393.25	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
211	2.01		2		0.17	7,204.22	0.17	7,204.22	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
211	3		2	84 CLEARWATER DRIVE	0.11	4,794.25	0.11	4,794.25	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
211	4		2	90 CLEARWATER DRIVE	0.11	4,769.68	0.11	4,769.68	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
211	5.01		2	92 CLEARWATER DRIVE	0.25	10,921.13	0.25	10,921.13	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
211	5.02		1	93 PACIFIC AVENUE	0.32	13,721.58	0.32	13,721.58	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
211	7		1	CLEARWATER DRIVE	0.06	2,465.90	0.06	2,465.90	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
211	9.01		1		0.27	11,954.74	0.27	11,954.74	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
211	9.03		1	83 PACIFIC AVENUE	0	0.35	0	0.35	0	0	R-1	Yes	1	43,560	0	1	0	Completely encumbered
212	3.01		2	3 LIBERTY STREET	0.16	7,122.49	0.16	7,122.49	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
212	3.02		2	51 WASHINGTON STREET	0.16	6,885.51	0.16	6,885.51	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
212	3.03		2	90 PACIFIC AVENUE	0.16	7,163.97	0.16	7,163.97	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
220	1		2	9 WESTCOTT AVENUE	0.48	20,982.31	0.19	8,362.20	0.29	12,620.11	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
220	2		2	11 WESTCOTT AVENUE	0.16	7,149.07	0.16	7,038.70	0	110.37	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
220	4		2	1 LIBERTY STREET	0.07	2,887.62	0.07	2,887.62	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
220	5		2	3 LIBERTY STREET	0.17	7,458.39	0.17	7,458.39	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
220	6		2	5 LIBERTY STREET	0.09	4,067.97	0.09	4,067.97	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
220	7		2	7 LIBERTY STREET	0.07	2,883.92	0.07	2,883.92	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
220	8		2	9 LIBERTY STREET	0.12	5,423.01	0.12	5,423.01	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
220	9.01		2	8 LIBERTY STREET	0.42	18,274.58	0.42	18,274.58	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
220	9.02		2	6 LIBERTY STREET	0.41	18,024.14	0.41	18,024.14	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
220	9.03		2	4 LIBERTY STREET	0.41	17,944.75	0.41	17,944.75	0	0	R-1	Yes	1	43,560	0	1	0	Assessed as residential use
65	11	QFARM	3B	BAY PARKWAY, OFF OF	0	8.48	0	0	0	8.48	R-1A	Yes	0.29	12,500	0	3.4848	0	Completely encumbered (preserved farmland)
65	15		2	8 BAY PARKWAY	0.23	9,998.62	0	0	0.23	9,998.62	R-1A	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
65	16		2	32 BAYBERRY DRIVE	0.15	6,347.63	0	0	0.15	6,347.63	R-1A	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
65	17		2	30 BAYBERRY DRIVE	0.15	6,390.71	0	0	0.15	6,390.71	R-1A	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
65	18		2	28 BAYBERRY DRIVE	0.14	6,259.57	0	0	0.14	6,259.57	R-1A	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
65	19		2	26 BAYBERRY DRIVE	0.15	6,588.40	0	0	0.15	6,588.40	R-1A	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
65	20		2	24 BAYBERRY DRIVE	0.15	6,549.12	0	0	0.15	6,549.12	R-1A	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
65	21.01		2		0.13	5,653.89	0	0	0.13	5,653.89	R-1A	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
65	22.01		2	18 BAYBERRY DRIVE	0.11	4,657.17	0	0	0.11	4,657.17	R-1A	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
65	22.02		2	16 BAYBERRY DRIVE	0.11	4,770.22	0	0	0.11	4,770.22	R-1A	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
65	22.03		1		0.11	4,833.27	0	0	0.11	4,833.27	R-1A	Yes	0.29	12,500	0.11	3.4848	0	
65	23		2	14 BAYBERRY DRIVE	0.1	4,488.35	0	0	0.1	4,488.35	R-1A	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
65	24		2	12 BAYBERRY DRIVE	0.12	5,054.85	0	0	0.12	5,054.85	R-1A	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
65	25		1	10 BAYBERRY DRIVE	0.04	1,903.96	0	0	0.04	1,903.96	R-1A	Yes	0.29	12,500	0.04	3.4848	0	
50.01	1		2	45 RAILROAD AVENUE	1.2	52,146.78	0	0	1.2	52,146.78	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.01	10.01		2	73 RAILROAD AVENUE	0.48	20,973.16	0	0	0.48	20,973.16	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.01	12.01		2	77 RAILROAD AVENUE	0.34	14,874.30	0	0	0.34	14,874.30	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.01	13		2	79 RAILROAD AVENUE	0.21	9,098.27	0	0	0.21	9,098.27	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.01	14		2	81 RAILROAD AVENUE	0.21	9,205.74	0	0	0.21	9,205.74	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.01	15		2	83 RAILROAD AVENUE	0.18	7,888.09	0	0	0.18	7,888.09	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.01	16		2	53 JOHNSON STREET	0.2	8,635.96	0	0	0.2	8,635.96	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.01	17		1	JOHNSON STREET (OFF OF)	0.22	9,370.92	0	0	0.22	9,370.92	R-2	Yes	2	87,120	0.22	0.5	0	
50.01	18		1	JOHNSON ST (OFF OF)	0.21	8,953.70	0	0	0.21	8,953.70	R-2	Yes	2	87,120	0.21	0.5	0	
50.01	19		1	55 JOHNSON STREET	0.22	9,656.25	0	0	0.22	9,656.25	R-2	Yes	2	87,120	0.22	0.5	0	
50.01	2		2	51 RAILROAD AVENUE	0.72	31,416.99	0	0	0.72	31,416.99	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.01	20		2	57 JOHNSON STREET	1.01	44,155.24	0.21	9,030.77	0.81	35,124.48	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.01	4		2	53 RAILROAD AVENUE	0.65	28,327.14	0	0	0.65	28,327.14	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.01	6.02		2	59 RAILROAD AVENUE	0.3	13,105.57	0	0	0.3	13,105.57	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.01	6.05		2	55 RAILROAD AVENUE	1.88	81,965	0.27	11,651.53	1.61	70,313.47	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.01	6.07	QFARM	3B	9 ROBERTS ROAD	1.16	50,537.20	1.16	50,537.20	0	0	R-2	Yes	2	87,120	0	0.5	0	Completely encumbered (preserved farmland)
50.01	6.09	QFARM	3B	65 RAILROAD AVENUE	0.48	20,974.47	0.48	20,974.47	0	0	R-2	Yes	2	87,120	0	0.5	0	Completely encumbered (preserved farmland)
50.01	6.1	QFARM	3B	8 ROBERTS ROAD	0.47	20,611.03	0.47	20,611.03	0	0	R-2	Yes	2	87,120	0	0.5	0	Completely encumbered (preserved farmland)
50.01	7		2	69 RAILROAD AVENUE	1.73	75,267.65	0.09	3,733.65	1.64	71,534	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreage	Sq Ft	Acreage Encumbered	Sq Ft Encumbered	Acreage Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
50.01	8		2	71 RAILROAD AVENUE	1.13	49,186.80	0	0	1.13	49,186.80	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.02	6.03		2	63 RAILROAD AVENUE	0.3	13,280.43	0	0	0.3	13,280.43	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.02	6.04		2	61 RAILROAD AVENUE	0.48	21,053.53	0	0	0.48	21,053.53	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
50.02	6.08		1	ROBERTS ROAD	0.76	32,965.29	0	0	0.76	32,965.29	R-2	Yes	2	87,120	0.76	0.5	0	
52.01	10		2	143 WELLS MILLS ROAD	0.13	5,619.56	0	0	0.13	5,619.56	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
52.01	11		2	145 WELLS MILLS ROAD	0.27	11,874.53	0	0	0.27	11,874.53	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
52.01	12		2	147 WELLS MILLS ROAD	0.27	11,849.29	0	0	0.27	11,849.29	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
52.01	13		2	149 WELLS MILLS ROAD	0.3	12,978	0	0	0.3	12,978	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
52.01	14		1	151A WELLS MILLS ROAD	0.26	11,523.77	0	0	0.26	11,523.77	R-2	Yes	2	87,120	0.26	0.5	0	
52.01	15		2	151 WELLS MILLS ROAD	0.4	17,459.98	0	0	0.4	17,459.98	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
52.01	16		2	153 WELLS MILLS ROAD	0.66	28,597.46	0	0	0.66	28,597.46	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
52.01	17		2	155 WELLS MILLS ROAD	0.85	37,084.74	0	0	0.85	37,084.74	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
52.01	18		2	157 WELLS MILLS ROAD	0.19	8,097.49	0	0	0.19	8,097.49	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
52.01	19		2	159 WELLS MILLS ROAD	0.19	8,256.08	0	0	0.19	8,256.08	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
52.01	20		2	161 WELLS MILLS ROAD	0.92	40,246.82	0	0	0.92	40,246.82	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
52.01	21		15C	163 WELLS MILLS ROAD	7.05	307,214.99	0	0	7.05	307,214.99	R-2	Yes	2	87,120	7.05	0.5	4	
52.01	22		15C	RAILROAD AVENUE	3.24	141,169.03	0	2.23	3.24	141,166.80	R-2	Yes	2	87,120	3.24	0.5	2	
52.01	23.01		2		2.08	90,478.38	0	0	2.08	90,478.38	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
52.01	25.01		15A	RAILROAD AVENUE	15.08	656,842.63	0	0	15.08	656,842.63	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
52.01	25.02		15C	RAILROAD AVENUE	2.03	88,597	2.03	88,597	0	0	R-2	Yes	2	87,120	0	0.5	0	Completely encumbered
52.01	3		2	58 RAILROAD AVENUE	0.48	20,883.59	0	0	0.48	20,883.59	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
52.01	6		4A	127 WELLS MILLS ROAD	0.41	17,925.02	0	0	0.41	17,925.02	R-2	Yes	2	87,120	0	0.5	0	Assessed as commercial use
52.01	7		4A	129 WELLS MILLS ROAD	0.33	14,235.93	0	0	0.33	14,235.93	R-2	Yes	2	87,120	0	0.5	0	Assessed as commercial use
52.01	8.01		15F	131 WELLS MILLS ROAD	2.31	100,640.77	0	0	2.31	100,640.77	R-2	Yes	2	87,120	0	0.5	0	Albert Music Hall
52.01	8.02		15A	139 WELLS MILLS ROAD	11.15	485,650.25	0	0	11.15	485,650.25	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
52.01	9		2	141 WELLS MILLS ROAD	0.13	5,487.20	0	0	0.13	5,487.20	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
53.01	1		2	177 WELLS MILLS ROAD	0	0.25	0	0.25	0	0	R-2	Yes	2	87,120	0	0.5	0	Assessed as residential use
53	1		15C	163 WELLS MILLS ROAD	0.07	3,261.19	0	0	0.07	3,261.19	R-2	Yes	2	87,120	0.07	0.5	0	
53	2		15C	WELLS MILLS ROAD	2.49	108,602.55	0	8.1	2.49	108,594.44	R-2	Yes	2	87,120	2.49	0.5	1	
54	13		15C	ROUTE 532	0	0	0	0	0	0	R-2	Yes	2	87,120	0	0.5	0	Completely encumbered
171	1		1	92 SHERIDAN STREET	0.33	14,253.43	0.33	14,253.43	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
172	1.01		2		0.09	4,097.25	0.09	4,097.25	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
172	3		2	86 SHERIDAN STREET	0.17	7,533.30	0.17	7,533.30	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
173	1		2	84 SHERIDAN STREET	0.2	8,771.63	0.2	8,771.63	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
173	2		2	82 SHERIDAN STREET	0.15	6,620.61	0.15	6,620.61	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
174	1		2	80 SHERIDAN STREET	0.16	7,178.20	0.16	7,178.20	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
174	2		2	78 SHERIDAN STREET	0.13	5,670.31	0.13	5,670.31	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
174	3		2	117 ADRIATIC AVENUE	0.16	6,981.38	0.16	6,981.38	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
175	1		2	76 SHERIDAN STREET	0.17	7,288.28	0.17	7,288.28	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
175	2		2	74 SHERIDAN STREET	0.18	7,722.72	0.18	7,722.72	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
176	1		2	100 ADRIATIC AVENUE	0.17	7,285.52	0.17	7,285.52	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
176	2		2	101 ILLINOIS AVENUE	0.17	7,280.12	0.17	7,280.12	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
176	3.01		2	102 ADRIATIC AVENUE	0.26	11,325.94	0.26	11,325.94	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
176	3.02		2	104 ADRIATIC AVENUE	0.26	11,324.32	0.26	11,324.32	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
176	4.01		2		0.28	12,136.45	0.28	12,136.45	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
176	4.02		2		0.28	12,111.19	0.28	12,111.19	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
176	5.01		2	110 ADRIATIC AVENUE	0.19	8,078.29	0.19	8,078.29	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
176	6.01		2	114 ADRIATIC AVENUE	0.2	8,874.93	0.2	8,874.93	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
176	7.02		2	113 ILLINOIS AVENUE	0.22	9,696.64	0.22	9,696.64	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
176	8		2	111 ILLINOIS AVENUE	0.17	7,270.54	0.17	7,270.54	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
177	1.01		2	100 MICHIGAN AVENUE	0.18	7,875.47	0.18	7,875.47	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
177	10		2	103 ADRIATIC AVENUE	0.22	9,436.97	0.22	9,436.97	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
177	11		2	99 ADRIATIC AVENUE	0.27	11,799.65	0.27	11,799.65	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
177	2.01		2	104 MICHIGAN AVENUE	0.14	6,293.51	0.14	6,293.51	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
177	3		2	106 MICHIGAN AVENUE	0.16	7,077.07	0.16	7,077.07	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
177	4		2	108 MICHIGAN AVENUE	0.16	7,073.68	0.16	7,073.68	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
177	5		2	110 MICHIGAN AVENUE	0.16	7,070.40	0.16	7,070.40	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
177	6.01		1	114 MICHIGAN AVENUE	0.16	7,067.17	0.16	7,067.17	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
177	6.02		1	113 ADRIATIC AVENUE	0.16	7,067.14	0.16	7,067.14	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
177	7		2	81 SHERIDAN STREET	0.11	4,700.64	0.11	4,700.64	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
177	8		2	79 SHERIDAN STREET	0.11	4,718.42	0.11	4,718.42	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
177	9.01		1	107 ADRIATIC AVENUE	0.16	7,073.82	0.16	7,073.82	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
177	9.02		1	109 ADRIATIC AVENUE	0.16	7,070.47	0.16	7,070.47	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreage	Sq Ft	Acreage Encumbered	Sq Ft Encumbered	Acreage Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
178	1.01		2	100 OCEAN AVENUE	0.16	7,104.39	0.16	7,104.39	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
178	1.02		2	102 OCEAN AVENUE	0.16	7,108.96	0.16	7,108.96	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
178	1.03		2	104 OCEAN AVENUE	0.16	7,116.77	0.16	7,116.77	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
178	2		2	108 OCEAN AVENUE	0.18	7,922.39	0.18	7,922.39	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
178	4		2	114 OCEAN AVENUE	0.31	13,482.87	0.31	13,482.87	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
178	5		2	83 SHERIDAN STREET	0.16	7,152.67	0.16	7,152.67	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
178	6.01		2	111 MICHIGAN AVENUE	0.16	7,129.63	0.16	7,129.63	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
178	6.02		2	109 MICHIGAN AVENUE	0.22	9,497.81	0.22	9,497.81	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
178	6.03		2	113 MICHIGAN AVENUE	0.16	7,137.45	0.16	7,137.45	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
178	7		1	105 MICHIGAN AVENUE	0.22	9,487.18	0.22	9,487.18	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
178	8		1	101 MICHIGAN AVENUE	0.27	11,836.29	0.27	11,836.29	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
179	1		2	100 DOLLMORE AVENUE	0.11	4,840.85	0.11	4,840.85	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
179	10.01		2	107 OCEAN AVENUE	0.19	8,452.01	0.19	8,452.01	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
179	10.02		2	109 OCEAN AVENUE	0.19	8,446.59	0.19	8,446.59	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
179	2		2	102 DOLLMORE AVENUE	0.11	4,837.21	0.11	4,837.21	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
179	3		2	99 OCEAN AVENUE	0.22	9,674.32	0.22	9,674.32	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
179	4.02		2	106 DOLLMORE AVENUE	0.11	4,833.80	0.11	4,833.80	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
179	4.03		2	108 DOLLMORE AVENUE	0.11	4,831.96	0.11	4,831.96	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
179	4.04		2	104 DOLLMORE AVENUE	0.11	4,835.51	0.11	4,835.51	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
179	4.05		2	103 OCEAN AVENUE	0.17	7,252.66	0.17	7,252.66	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
179	4.06		2	105 OCEAN AVENUE	0.17	7,248.68	0.17	7,248.68	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
179	5		2	110 DOLLMORE AVENUE	0.15	6,440.09	0.15	6,440.09	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
179	6		2	114 DOLLMORE AVENUE	0.18	8,045.87	0.18	8,045.87	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
179	7		2	116 DOLLMORE AVENUE	0.11	4,825.23	0.11	4,825.23	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
179	8		2	118 DOLLMORE AVENUE	0.11	4,817.42	0.11	4,817.42	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
179	9		2	113 OCEAN AVENUE	0.17	7,241.87	0.17	7,241.87	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
180	1.01		2	101 DOLLMORE AVENUE	0.22	9,683.04	0.22	9,683.04	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
180	10		2	113 DOLLMORE AVENUE	0.11	4,925.39	0.11	4,925.39	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
180	11		2	112 DEMMY AVENUE	0.11	4,925.23	0.11	4,925.23	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
180	12.01		2	115 DOLLMORE AVENUE	0.22	9,747.70	0.22	9,747.70	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
180	12.02		2	117 DOLLMORE AVENUE	0.23	9,967.44	0.23	9,967.44	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
180	12.03		1	116 DEMMY AVENUE	0.23	10,004.47	0.23	10,004.47	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
180	2		2	102 DEMMY AVENUE	0.11	4,855.49	0.11	4,855.49	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
180	3.01		2		0.22	9,738.91	0.22	9,738.91	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
180	4		15C	106 DEMMY AVENUE	0.11	4,883.38	0.11	4,883.38	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
180	6		1	103 DOLLMORE AVENUE	0.11	4,855.53	0.11	4,855.53	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
180	8		1	107 DOLLMORE AVENUE	0.34	14,678.26	0.34	14,678.26	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
180	9		2	110 DEMMY AVENUE	0.23	9,822.75	0.23	9,822.75	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
181.01	1		2	82 BRYANT ROAD	0.21	9,311.45	0.21	9,311.45	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
181.01	10		2	107 DEMMY AVENUE	0.11	4,582.97	0.11	4,582.97	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
181.01	2		1	84 BRYANT ROAD	0.23	9,881.37	0.23	9,881.37	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
181.01	3		2	105 DEMMY AVENUE	0.23	9,907.06	0.23	9,907.06	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
181.01	4		2	88 BRYANT ROAD	0.12	5,349.80	0.12	5,349.80	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
181.01	5		2	90 BRYANT ROAD	0.12	5,324.67	0.12	5,324.67	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
181.01	6		1	92 BRYANT ROAD	0.05	2,032.77	0.05	2,032.77	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
181.01	7		4A	96 BRYANT ROAD	0.34	14,714.33	0.34	14,714.33	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as commercial use
181.01	8		2	113 DEMMY AVENUE	0.42	18,240.91	0.42	18,240.91	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
181.01	9		2	109 DEMMY AVENUE	0.1	4,572.91	0.1	4,572.91	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
181.02	1		2	80 BRYANT ROAD	0.15	6,559.98	0.15	6,559.98	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
182	1.01		2	96 DEMMY AVENUE	0.26	11,393.74	0.26	11,393.74	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
182	1.02		2	93 KENNEDY DRIVE	0.16	7,150.91	0.16	7,150.91	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
182	2		2	91 KENNEDY DRIVE	0.11	4,997.29	0.11	4,997.29	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
182	3		2	97 DOLLMORE AVENUE	0.11	4,829.68	0.11	4,829.68	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
182	4		1	95 DOLLMORE AVENUE	0.11	4,812.52	0.11	4,812.52	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
182	5		2	93 DOLLMORE AVENUE	0.11	4,795.14	0.11	4,795.14	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
182	6		2	91 DOLLMORE AVENUE	0.19	8,250.80	0.19	8,250.80	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
183	1		2	81 OCEAN AVENUE	0.25	11,082.19	0.25	11,082.19	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
183	10		2	95 OCEAN AVENUE	0.22	9,550.66	0.22	9,550.66	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
183	11		2	97 OCEAN AVENUE	0.23	10,133.60	0.23	10,133.60	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
183	12		2	92 DOLLMORE AVENUE	0.16	6,807.45	0.16	6,807.45	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
183	3		2	88 DOLLMORE AVENUE	0.2	8,730.49	0.2	8,730.49	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
183	4		2	90 DOLLMORE AVENUE	0.16	6,814.95	0.16	6,814.95	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
183	5		2	85 OCEAN AVENUE	0.12	5,020.05	0.12	5,020.05	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreage	Sq Ft	Acreage Encumbered	Sq Ft Encumbered	Acreage Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
183	6		2	87 OCEAN AVENUE	0.12	5,020	0.12	5,020	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
183	7		2	89 OCEAN AVENUE	0.17	7,530.07	0.17	7,530.07	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
183	8		2	91 OCEAN AVENUE	0.17	7,530.05	0.17	7,530.05	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
183	9		2	94 DOLLMORE AVENUE	0.22	9,554.25	0.22	9,554.25	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
184	1		2	82 OCEAN AVENUE	0.22	9,488.75	0.22	9,488.75	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
184	10		2	91 MICHIGAN AVENUE	0.11	4,645.34	0.11	4,645.34	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
184	11		2	89 MICHIGAN AVENUE	0.11	4,641.98	0.11	4,641.98	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
184	12		1	87 MICHIGAN AVENUE	0.11	4,638.67	0.11	4,638.67	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
184	13		2	85 MICHIGAN AVENUE	0.11	4,635.27	0.11	4,635.27	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
184	14		2	83 MICHIGAN AVENUE	0.22	9,526.72	0.22	9,526.72	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
184	2		2	86 OCEAN AVENUE	0.21	9,273.16	0.21	9,273.16	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
184	3		1	88 OCEAN AVENUE	0.11	4,641.64	0.11	4,641.64	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
184	4		1	92 OCEAN AVENUE	0.21	9,293.45	0.21	9,293.45	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
184	5		2	94 OCEAN AVENUE	0.11	4,651.69	0.11	4,651.69	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
184	6		1	96 OCEAN AVENUE	0.21	9,310.55	0.21	9,310.55	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
184	7		15C	98 OCEAN AVENUE	0.11	4,904.57	0.11	4,904.57	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
184	8		2	99 MICHIGAN AVENUE	0.11	4,911.49	0.11	4,911.49	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
184	9		1	95 MICHIGAN AVENUE	0.21	9,300.75	0.21	9,300.75	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
185	1		2	81 ADRIATIC AVENUE	0.22	9,457.63	0.22	9,457.63	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
185	10		2	91 ADRIATIC AVENUE	0.11	4,719.96	0.11	4,719.96	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
185	11		2	93 ADRIATIC AVENUE	0.11	4,718.52	0.11	4,718.52	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
185	12		2	97 ADRIATIC AVENUE	0.22	9,437.52	0.22	9,437.52	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
185	2		2	83 ADRIATIC AVENUE	0.33	14,180.89	0.33	14,180.89	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
185	3		2	85 ADRIATIC AVENUE	0.22	9,450.29	0.22	9,450.29	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
185	4		2	86 MICHIGAN AVENUE	0.16	7,084.92	0.16	7,084.92	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
185	5.01		2		0.22	9,442.89	0.22	9,442.89	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
185	6		2	92 MICHIGAN AVENUE	0.32	14,155.30	0.32	14,155.30	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
185	7		2	96 MICHIGAN AVENUE	0.11	4,710.53	0.11	4,710.53	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
185	8		2	87 ADRIATIC AVENUE	0.16	7,084.77	0.16	7,084.77	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
186	1		2	79 ILLINOIS AVENUE	0.22	9,736.22	0.22	9,736.22	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
186	10.02		2	96 ADRIATIC AVENUE	0.11	4,858.15	0.11	4,858.15	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
186	10.03		2	94 ADRIATIC AVENUE	0.11	4,859.46	0.11	4,859.46	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
186	11		2	97 ILLINOIS AVENUE	0.22	9,713.81	0.22	9,713.81	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
186	2.03		2	81 ILLINOIS AVENUE	0.22	9,733.90	0.22	9,733.90	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
186	3		2	84 ADRIATIC AVENUE	0.11	4,865.72	0.11	4,865.72	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
186	4		2	83 ILLINOIS AVENUE	0.11	4,865.68	0.11	4,865.68	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
186	5		2	85 ILLINOIS AVENUE	0.22	9,728.89	0.22	9,728.89	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
186	6		2	87 ILLINOIS AVENUE	0.22	9,726.23	0.22	9,726.23	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
186	7		2	89 ILLINOIS AVENUE	0.22	9,723.84	0.22	9,723.84	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
186	8		2	91 ILLINOIS AVENUE	0.22	9,721.22	0.22	9,721.22	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
186	9		2	93 ILLINOIS AVENUE	0.22	9,717.44	0.22	9,717.44	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	1.04		2		0.33	14,383.53	0	0	0.33	14,383.53	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	10		2	75 ILLINOIS AVENUE	0.11	4,785.20	0.11	4,785.20	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	11		2	73 ILLINOIS AVENUE	0.11	4,786.40	0.11	4,786.40	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	12		2	71 ILLINOIS AVENUE	0.11	4,787.67	0.1	4,175.79	0.01	611.88	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	13		2	69 ILLINOIS AVENUE	0.16	7,183.81	0.05	2,295.24	0.11	4,888.58	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	14		2	67 ILLINOIS AVENUE	0.16	7,186.41	0.01	304.33	0.16	6,882.09	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	15		2	65 ILLINOIS AVENUE	0.11	4,792.54	0	0	0.11	4,792.54	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	2		2	62 ADRIATIC AVENUE	0.11	4,793.64	0	0	0.11	4,793.64	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	3		2	64 ADRIATIC AVENUE	0.22	9,583.83	0	0	0.22	9,583.83	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	4		2	70 ADRIATIC AVENUE	0.22	9,578.78	0	0	0.22	9,578.78	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	5		2	72 ADRIATIC AVENUE	0.11	4,787.65	0.01	252.88	0.1	4,534.77	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	6		2	74 ADRIATIC AVENUE	0.11	4,786.47	0.08	3,665.98	0.03	1,120.49	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	7		2	76 ADRIATIC AVENUE	0.11	4,785.21	0.11	4,785.21	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	8		2	78 ADRIATIC AVENUE	0.12	5,407.21	0.12	5,407.21	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
187	9		2	77 ILLINOIS AVENUE	0.12	5,365.89	0.12	5,365.89	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
188	1		2	56 BRYANT ROAD	0.15	6,374.25	0	0	0.15	6,374.25	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
188	2.03		2	73 ADRIATIC AVENUE	0.31	13,523.88	0.05	2,324.77	0.26	11,199.11	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
188	3		2	74 MICHIGAN AVENUE	0.11	4,736.14	0.11	4,736.14	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
188	4		2	78 MICHIGAN AVENUE	0.23	9,950.28	0.23	9,950.28	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
188	5		2	77 ADRIATIC AVENUE	0.12	5,114.62	0.12	5,114.62	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
188	6.01		2	77 ADRIATIC AVENUE	0.11	4,628.27	0.11	4,628.27	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
188	6.02		2	75 ADRIATIC AVENUE	0.11	4,610.53	0.09	3,737.33	0.02	873.19	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use

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188	7		2	69 ADRIATIC AVENUE	0.21	9,132.32	0	0	0.21	9,132.32	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
188	9		2	65 ADRIATIC AVENUE	0.48	20,763.43	0	0	0.48	20,763.43	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
189	1.01		1	75 MICHIGAN AVENUE	0.3	13,045.58	0.25	10,901.98	0.05	2,143.60	R-BH	Yes	0.11	4,800	0.05	9.075	0	
189	1.02		2	77 MICHIGAN AVENUE	0.33	14,236.71	0.33	14,236.71	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
190	10		2	46 BRYANT ROAD	0.19	8,127.12	0	0	0.19	8,127.12	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
190	11		2	48 BRYANT ROAD	0.19	8,438.59	0	0	0.19	8,438.59	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
190	12		2	59 ILLINOIS AVENUE	0.13	5,742.15	0	0	0.13	5,742.15	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
190	13		2	57 ILLINOIS AVENUE	0.13	5,767.13	0	0	0.13	5,767.13	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
190	14		2	55 ILLINOIS AVENUE	0.21	9,240.08	0	0	0.21	9,240.08	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
190	16		2	53 ILLINOIS AVENUE	0.21	9,255.22	0	0	0.21	9,255.22	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
190	17		1	51 ILLINOIS AVENUE	0.16	6,951.31	0	0	0.16	6,951.31	R-BH	Yes	0.11	4,800	0.16	9.075	1	
190	5.01		2	38 BRYANT ROAD	0.21	9,360.65	0	0	0.21	9,360.65	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
190	7.01		2	42 BRYANT ROAD	0.22	9,625.04	0	0	0.22	9,625.04	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
190	8.01		2	44 BRYANT ROAD	0.18	7,677.22	0	0	0.18	7,677.22	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	1		2	60 ILLINOIS AVENUE	0.11	4,596.87	0.04	1,624.35	0.07	2,972.52	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	10		2	78 ILLINOIS AVENUE	0.11	4,949.64	0.11	4,949.64	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	11		2	79 OREGON AVENUE	0.11	4,903	0.11	4,903	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	12		2	77 OREGON AVENUE	0.11	4,763.28	0.11	4,763.28	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	13		2	75 OREGON AVENUE	0.11	4,756.57	0.11	4,756.57	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	14		2	73 OREGON AVENUE	0.11	4,779.92	0.11	4,779.92	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	15		2	71 OREGON AVENUE	0.11	4,743.56	0.11	4,743.56	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	16		2	67 OREGON AVENUE	0.11	4,678.28	0.11	4,678.28	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	17.03		2		0.22	9,425.43	0.22	9,425.43	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	18		2	61 OREGON AVENUE	0.1	4,572.45	0.1	4,572.45	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	2		2	62 ILLINOIS AVENUE	0.12	5,161.41	0.07	3,123.69	0.05	2,037.72	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	3		2	64 ILLINOIS AVENUE	0.11	4,908.09	0.1	4,287.99	0.01	620.1	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	4		2	66 ILLINOIS AVENUE	0.11	4,698.45	0.11	4,698.45	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	5		2	68 ILLINOIS AVENUE	0.22	9,546.17	0.22	9,546.17	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	6		2	70 ILLINOIS AVENUE	0.11	4,775.45	0.11	4,775.45	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	7		2	72 ILLINOIS AVENUE	0.11	4,808.29	0.11	4,808.29	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	8		2	74 ILLINOIS AVENUE	0.11	4,767.23	0.11	4,767.23	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
196	9		2	76 ILLINOIS AVENUE	0.11	4,785.12	0.11	4,785.12	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
197	1		2	80 ILLINOIS AVENUE	0.11	4,587.87	0.11	4,587.87	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
197	11		2	97 OREGON AVENUE	0.17	7,224.04	0.17	7,224.04	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
197	12		2	95 OREGON AVENUE	0.16	7,117.73	0.16	7,117.73	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
197	14.01		2	89 OREGON AVENUE	0.17	7,272.06	0.17	7,272.06	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
197	15		2	87 OREGON AVENUE	0.17	7,221.83	0.17	7,221.83	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
197	16		2	85 OREGON AVENUE	0.16	7,013.10	0.16	7,013.10	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
197	2		2	82 ILLINOIS AVENUE	0.11	4,933.92	0.11	4,933.92	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
197	3		2	84 ILLINOIS AVENUE	0.11	4,716.37	0.11	4,716.37	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
197	4		2	86 ILLINOIS AVENUE	0.11	4,713.45	0.11	4,713.45	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
197	5		2	90 ILLINOIS AVENUE	0.23	9,854.96	0.23	9,854.96	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
197	6.01		2	92 ILLINOIS AVENUE	0.17	7,346.39	0.17	7,346.39	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
197	7		2	96 ILLINOIS AVENUE	0.17	7,349.44	0.17	7,349.44	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
197	8		2	103 OREGON AVENUE	0.17	7,319.51	0.17	7,319.51	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
197	9.01		2	99 OREGON AVENUE	0.22	9,409.67	0.22	9,409.67	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
198	1		15C	KENNEDY DRIVE & ILLINOIS	0.23	10,186.51	0.23	10,186.51	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
198	11		2	123 OREGON AVENUE	0.23	9,911.50	0.23	9,911.50	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
198	12		2	121 OREGON AVENUE	0.11	4,879.13	0.11	4,879.13	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
198	13		2	119 OREGON AVENUE	0.11	4,915.19	0.11	4,915.19	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
198	14		4A	117 OREGON AVENUE	0.11	4,761.83	0.11	4,761.83	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as commercial use
198	15		4A	115 OREGON AVENUE	0.11	4,995.98	0.11	4,995.98	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as commercial use
198	2		4A	100 ILLINOIS AVENUE	0.34	14,888.95	0.34	14,888.95	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as commercial use
198	3.01		1	104 ILLINOIS AVENUE	0.12	5,067.58	0.12	5,067.58	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
198	3.02		4A	102 ILLINOIS AVENUE	0.11	4,916.31	0.11	4,916.31	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as commercial use
198	4		4A	106 ILLINOIS AVENUE	0.11	4,841.76	0.11	4,841.76	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as commercial use
198	5.01		1	110 ILLINOIS AVENUE	0.12	5,009.42	0.12	5,009.42	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
198	5.02		4A	108 ILLINOIS AVENUE	0.12	5,033.64	0.12	5,033.64	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as commercial use
198	7		2	114 ILLINOIS AVENUE	0.22	9,693.72	0.22	9,693.72	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
198	8		2	73 SHERIDAN STREET	0.12	5,023.98	0.12	5,023.98	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
198	9		2	71 SHERIDAN STREET	0.11	4,845.20	0.11	4,845.20	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
199	1.01		2	70 SHERIDAN STREET	0.17	7,210.91	0.17	7,210.91	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
199	1.02		2	72 SHERIDAN STREET	0.16	7,185.67	0.16	7,185.67	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreege	Sq Ft	Acreege Encumbered	Sq Ft Encumbered	Acreege Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
200	10.01		1	80 OREGON AVENUE	0.04	1,616.72	0.04	1,616.72	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
200	10.02		1	OREGON AVENUE	0.04	1,616.72	0.04	1,616.72	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
200	11.01		1	OREGON AVENUE	0.04	1,616.80	0.04	1,616.80	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
200	11.02		1	OREGON AVENUE	0.04	1,616.79	0.04	1,616.79	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
200	12		1	84 OREGON AVENUE	0.07	3,233.49	0.07	3,233.49	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
200	13.01		1	86 OREGON AVENUE	0.04	1,616.80	0.04	1,616.80	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
200	13.02		1	OREGON AVENUE	0.04	1,616.74	0.04	1,616.74	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
200	15		2	88 OREGON AVENUE	0.15	6,467.11	0.15	6,467.11	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	16		2	90 OREGON AVENUE	0.07	3,233.51	0.07	3,233.51	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	18.01		2		0.22	9,700.61	0.22	9,700.61	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	19		2	98 OREGON AVENUE	0.11	4,850.30	0.11	4,850.30	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	2.01		2		0.3	13,049.45	0.05	2,280.34	0.25	10,769.11	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	20.02		2	100 OREGON AVENUE	0.15	6,467.02	0.15	6,467.02	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	21.01		2		0.3	12,934.04	0.3	12,934.04	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	22		2	108 OREGON AVENUE	0.06	2,425.18	0.06	2,425.18	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	23		2	110 OREGON AVENUE	0.06	2,425.05	0.06	2,425.05	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	24		4A	114 OREGON AVENUE	0.22	9,700.64	0.22	9,700.64	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as commercial use
200	25.01		4A	116 OREGON AVENUE	0.18	7,936.38	0.18	7,936.38	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as commercial use
200	25.02		4A	OREGON AVENUE	0	141.87	0	141.87	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as commercial use
200	26.01		4A	BALTIC AVENUE	1.13	49,165.72	1.13	49,165.72	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as commercial use
200	28		1	107 BALTIC AVENUE	0.19	8,193.91	0.19	8,193.91	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
200	29		2	105 BALTIC AVENUE	0.09	4,096.95	0.09	4,096.95	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	30		4A	101 BALTIC AVENUE	0.4	17,617.08	0.4	17,617.08	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as commercial use
200	31		2	97 BALTIC AVENUE	0.05	2,048.51	0.05	2,048.51	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	32		2	95 BALTIC AVENUE	0.11	4,916.32	0.11	4,916.32	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	33		2	93 BALTIC AVENUE	0.08	3,277.51	0.08	3,277.51	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	34		1	91 BALTIC AVENUE	0.14	6,145.48	0.14	6,145.48	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
200	35		2	89 BALTIC AVENUE	0.09	4,096.98	0.09	4,096.98	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	36		2	87 BALTIC AVENUE	0.09	4,097.02	0.09	4,097.02	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	37		2	85 BALTIC AVENUE	0.09	4,096.92	0.09	4,096.92	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	38		2	83 BALTIC AVENUE	0.09	4,096.97	0.09	4,096.97	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	39		2	81 BALTIC AVENUE	0.05	2,048.47	0.05	2,048.47	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	4.01		2		0.23	10,052.10	0.05	2,341.93	0.18	7,710.18	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	40		2	79 BALTIC AVENUE	0.09	4,096.93	0.09	4,096.93	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	41		2	77 BALTIC AVENUE	0.17	7,374.52	0.17	7,374.52	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	42		2	75 BALTIC AVENUE	0.09	4,097	0.09	4,097	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	43		2	73 BALTIC AVENUE	0.09	4,096.94	0.09	4,096.94	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	5		2	57 OREGON AVENUE	0.11	4,794.13	0.11	4,688.75	0	105.38	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	6.02		2	59 OREGON AVENUE	0.11	4,908.57	0.11	4,908.57	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	7.04		2	58 OREGON AVENUE	0.34	14,845.02	0.34	14,845.02	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
200	8		4A	76 OREGON AVENUE	2.23	97,169.57	2.23	97,169.57	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as commercial use
200	9		2	78 OREGON AVENUE	0.11	4,850.39	0.11	4,850.39	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
209	1		2		0.29	12,803.66	0.29	12,803.66	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
209	3		2	84 BALTIC AVENUE	0.29	12,498.41	0.29	12,498.41	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
209	5		1	88 BALTIC AVENUE	0.23	10,052.10	0.23	10,052.10	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
209	6.01		4A	90 BALTIC AVENUE	1.9	82,851.60	1.9	82,851.60	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as commercial use
210	1		2	58 JEFFERSON STREET	0.18	7,688.70	0.18	7,688.70	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
210	10		2	85 CLEARWATER DRIVE	0.36	15,476.90	0.36	15,476.90	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
210	11		2	81 CLEARWATER DRIVE	0.18	7,700.10	0.18	7,700.10	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
210	12		2	79 CLEARWATER DRIVE	0.24	10,250.96	0.24	10,250.96	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
210	2		2	80 ATLANTIC AVENUE	0.23	10,160.68	0.23	10,160.68	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
210	5.01		2	82 ATLANTIC AVENUE	0.25	10,897.40	0.25	10,897.40	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
210	5.02		2	86 ATLANTIC AVENUE	0.25	10,886.52	0.25	10,886.52	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
210	5.03		2	88 ATLANTIC AVENUE	0.25	10,921.33	0.25	10,921.33	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
210	5.04		2	90 ATLANTIC AVENUE	0.24	10,487.35	0.24	10,487.35	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
210	8		2	93 CLEARWATER DRIVE	0.17	7,190.35	0.17	7,190.35	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
210	9.01		2	87 CLEARWATER DRIVE	0.23	10,132.49	0.23	10,132.49	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
210	9.02		2	91 CLEARWATER DRIVE	0.24	10,355.33	0.24	10,355.33	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
214	1.02		2	96 CLEARWATER DRIVE	0.19	8,375.23	0.19	8,375.23	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
214	1.03		2	98 CLEARWATER DRIVE	0.17	7,338.31	0.17	7,338.31	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
214	10.01		1	95 GRAND BAY HARBOR DRIVE	0.19	8,450.35	0.19	8,450.35	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
214	10.02		2	97 GRAND BAY HARBOR DRIVE	0.17	7,338.24	0.17	7,338.24	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
214	2.01		2	100 CLEARWATER DRIVE	0.29	12,631.81	0.29	12,631.81	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreage	Sq Ft	Acreage Encumbered	Sq Ft Encumbered	Acreage Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
214	3		2	102 CLEARWATER DRIVE	0.17	7,328.88	0.17	7,328.88	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
214	4		2	104 CLEARWATER DRIVE	0.12	5,019.43	0.12	5,019.43	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
214	5		2	106 CLEARWATER DRIVE	0.23	9,892.14	0.23	9,892.14	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
214	6.01		2	110 CLEARWATER DRIVE	0.83	36,099.47	0.83	36,099.47	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
214	7.02		2	108 CLEARWATER DRIVE	0.11	4,656.43	0.11	4,656.43	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
214	8.01		2	107 PACIFIC AVENUE	0.22	9,777.68	0.22	9,777.68	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
214	9		1	99 PACIFIC AVENUE	0.63	27,291.72	0.63	27,291.72	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
215	1		2	94 ATLANTIC AVENUE	0.12	5,093.48	0.12	5,093.48	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
215	11		2	107 CLEARWATER DRIVE	0.11	4,984.35	0.11	4,984.35	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
215	12		2	105 CLEARWATER DRIVE	0.12	5,279.47	0.12	5,279.47	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
215	13		2	103 CLEARWATER DRIVE	0.3	13,159.76	0.3	13,159.76	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
215	14		2	97 CLEARWATER DRIVE	0.23	9,985.45	0.23	9,985.45	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
215	16		2	95 CLEARWATER DRIVE	0.17	7,596.40	0.17	7,596.40	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
215	2		1	ATLANTIC AVENUE	0.23	10,011.38	0.23	10,011.38	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
215	2.01		1	ATLANTIC AVENUE	0.23	10,005.22	0.23	10,005.22	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
215	2.02		1	ATLANTIC AVENUE	0.23	9,979.08	0.23	9,979.08	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
215	3		2	102 ATLANTIC AVENUE	0.12	5,012.39	0.12	5,012.39	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
215	4.01		2		0.24	10,624.22	0.24	10,624.22	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
215	6.01		2	110 ATLANTIC AVENUE	0.11	4,984.50	0.11	4,984.50	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
215	6.02		1	108 ATLANTIC AVENUE	0.12	5,279.64	0.12	5,279.64	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
215	7		2	112 ATLANTIC AVENUE	0.12	5,048.76	0.12	5,048.76	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
215	8		2	59 CUSTER DRIVE	0.12	5,014.96	0.12	5,014.96	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
215	9.01		2		0.23	10,151.58	0.23	10,151.58	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
216	1.01		2	108 BALTIC AVENUE	0.34	14,742.89	0.34	14,742.89	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
216	10		1	99 ATLANTIC AVENUE	0.22	9,744.28	0.22	9,744.28	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
216	11		2	95 ATLANTIC AVENUE	0.23	10,132.14	0.23	10,132.14	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
216	12		2	97 ATLANTIC AVENUE	0.22	9,689.42	0.22	9,689.42	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
216	2.01		2	110 BALTIC AVENUE	0.21	9,355.50	0.21	9,355.50	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
216	3		1	114 BALTIC AVENUE	0.31	13,710.93	0.31	13,710.93	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
216	4		2	116 BALTIC AVENUE	0.26	11,448.85	0.26	11,448.85	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
216	5		2	120 BALTIC AVENUE	0.45	19,565.71	0.45	19,565.71	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
216	6		1	ATLANTIC AVENUE	0.66	28,757.19	0.66	28,757.19	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
216	6.01		2	105 ATLANTIC AVENUE	0.02	829.19	0.02	829.19	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
216	6.02		2	107 ATLANTIC AVENUE	0.02	829.17	0.02	829.17	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
216	6.03		2	109 ATLANTIC AVENUE	0.02	829.16	0.02	829.16	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
216	6.04		2	111 ATLANTIC AVENUE	0.02	829.16	0.02	829.16	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
216	9		2	103 ATLANTIC AVENUE	0.17	7,344.02	0.17	7,344.02	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
217	1		1	60 CUSTER DRIVE	0.1	4,302.81	0.1	4,302.81	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
217	2		15C	58 CUSTER DRIVE	0.2	8,605.52	0.2	8,605.52	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
217	3		1	56 CUSTER DRIVE	0.2	8,605.68	0.2	8,605.68	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
219	1		1	GRAND BAY HARBOR DR	0.24	10,281.65	0.24	10,281.65	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
220	10		1	GRAND BAY HARBOR	6.47	281,751.12	6.47	281,751.12	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
220	10.01		2	1 GRAND BAY HARBOR	0.01	626.07	0.01	626.07	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.02		2	2 GRAND BAY HARBOR	0.01	629.16	0.01	629.16	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.03		2	3 GRAND BAY HARBOR	0.01	621.07	0.01	621.07	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.04		2	4 GRAND BAY HARBOR	0.01	629.17	0.01	629.17	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.05		2	5 GRAND BAY HARBOR	0.01	621.07	0.01	621.07	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.06		2	6 GRAND BAY HARBOR	0.01	629.16	0.01	629.16	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.07		2	7 GRAND BAY HARBOR	0.01	626.07	0.01	626.07	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.08		2	8 GRAND BAY HARBOR	0.01	629.13	0.01	629.13	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.09		2	9 GRAND BAY HARBOR	0.01	621.05	0.01	621.05	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.1		2	10 GRAND BAY HARBOR	0.01	629.14	0.01	629.14	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.11		2	11 GRAND BAY HARBOR	0.01	621.07	0.01	621.07	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.12		2	12 GRAND BAY HARBOR	0.01	629.15	0.01	629.15	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.13		2	13 GRAND BAY HARBOR	0.01	626.02	0.01	626.02	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.14		2	14 GRAND BAY HARBOR	0.01	629.14	0.01	629.14	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.15		2	15 GRAND BAY HARBOR	0.01	621.07	0.01	621.07	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.16		2	16 GRAND BAY HARBOR	0.01	629.11	0.01	629.11	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.17		2	17 GRAND BAY HARBOR	0.01	621.11	0.01	621.11	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.18		2	18 GRAND BAY HARBOR	0.01	629.15	0.01	629.15	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.19		2	19 GRAND BAY HARBOR	0.01	626.06	0.01	626.06	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.2		2	20 GRAND BAY HARBOR	0.01	629.16	0.01	629.16	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.21		2	21 GRAND BAY HARBOR	0.01	621.07	0.01	621.07	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreage	Sq Ft	Acreage Encumbered	Sq Ft Encumbered	Acreage Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
220	10.22		2	22 GRAND BAY HARBOR	0.01	629.13	0.01	629.13	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.23		2	23 GRAND BAY HARBOR	0.01	621.07	0.01	621.07	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.24		2	24 GRAND BAY HARBOR	0.01	629.15	0.01	629.15	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.25		2	25 GRAND BAY HARBOR	0.02	668.23	0.02	668.23	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.26		15F	26 GRAND BAY HARBOR	0.02	677.76	0.02	677.76	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Completely encumbered
220	10.27		2	27 GRAND BAY HARBOR	0.02	669.67	0.02	669.67	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.28		2	28 GRAND BAY HARBOR	0.01	644.84	0.01	644.84	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.29		2	29 GRAND BAY HARBOR	0.02	668.26	0.02	668.26	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.3		2	30 GRAND BAY HARBOR	0.02	677.77	0.02	677.77	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.31		2	31 GRAND BAY HARBOR	0.02	669.65	0.02	669.65	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.32		2	32 GRAND BAY HARBOR	0.01	644.87	0.01	644.87	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.33		2	33 GRAND BAY HARBOR	0.02	668.26	0.02	668.26	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.34		2	34 GRAND BAY HARBOR	0.02	677.77	0.02	677.77	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.35		2	35 GRAND BAY HARBOR	0.02	669.67	0.02	669.67	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.36		2	36 GRAND BAY HARBOR	0.01	644.84	0.01	644.84	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.37		2	37 GRAND BAY HARBOR	0.02	668.25	0.02	668.25	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.38		2	38 GRAND BAY HARBOR	0.02	677.76	0.02	677.76	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.39		2	39 GRAND BAY HARBOR	0.02	669.69	0.02	669.69	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
220	10.4		2	40 GRAND BAY HARBOR	0.01	644.82	0.01	644.82	0	0	R-BH	Yes	0.11	4,800	0	9.075	0	Assessed as residential use
144	2		15C	MAIN STREET	1.22	53,259.79	1.22	53,259.79	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Completely encumbered
144	3		2	126 MAIN STREET	0.58	25,409.97	0.58	25,264.80	0	145.17	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
144	4.01		2	122 MAIN STREET	0.15	6,625.51	0.09	3,920.40	0.06	2,705.11	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
144	4.02		1	124 MAIN STREET	0.18	8,039.20	0.18	7,840.80	0	198.40	R-SC	Yes	0.15	6,500	0	6.701538462	0	
144	4.04		2	12 STEVENSON ST	0.52	22,463.92	0.3	12,950.86	0.22	9,513.06	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
144	4.05		2	10 STEVENSON ST	0.64	28,058.27	0.49	21,443.88	0.15	6,614.40	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
144	4.06		2	100 HORNBLLOWER DRIVE	1.09	47,363.84	0.94	41,053.11	0.14	6,310.73	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
144	5		15C	128 MAIN STREET	0.55	23,807.63	0.55	23,807.63	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Completely encumbered
146	1		2	1 HORNBLLOWER DRIVE	0.25	11,081.85	0.09	3,802.96	0.17	7,278.89	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
146	2		2	3 HORNBLLOWER DRIVE	0.16	6,860.48	0.03	1,504.53	0.12	5,355.95	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
146	3		2	5 HORNBLLOWER DRIVE	0.16	6,886.58	0.04	1,525.33	0.12	5,361.25	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
146	4		2	7 HORNBLLOWER DRIVE	0.18	7,902.37	0.04	1,549.72	0.15	6,352.65	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
146	5		2	9 HORNBLLOWER DRIVE	0.23	9,910.10	0.03	1,267.03	0.2	8,643.07	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
147	1		2	11 HORNBLLOWER DRIVE	0.24	10,418.43	0.05	2,085.15	0.19	8,333.28	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
147	10		2	29 HORNBLLOWER DRIVE	0.16	7,065.27	0.16	7,065.27	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
147	11		2	31 HORNBLLOWER DRIVE	0.24	10,617.48	0.24	10,617.48	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
147	2		2	13 HORNBLLOWER DRIVE	0.16	6,956.71	0.08	3,400.27	0.08	3,556.44	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
147	3		2	15 HORNBLLOWER DRIVE	0.16	6,983.97	0.14	6,049.96	0.02	934.01	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
147	4		2	17 HORNBLLOWER DRIVE	0.16	7,009.04	0.16	7,009.04	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
147	5		2	19 HORNBLLOWER DRIVE	0.16	7,020.43	0.16	7,020.43	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
147	6		2	21 HORNBLLOWER DRIVE	0.16	7,029.36	0.16	7,029.36	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
147	7		2	23 HORNBLLOWER DRIVE	0.16	7,038.32	0.16	7,038.32	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
147	8		2	25 HORNBLLOWER DRIVE	0.16	7,047.31	0.16	7,047.31	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
147	9		2	27 HORNBLLOWER DRIVE	0.16	7,056.34	0.16	7,056.34	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	1		2	33 HORNBLLOWER DRIVE	0.22	9,725.09	0.22	9,725.09	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	10		2	55 HORNBLLOWER DRIVE	0.15	6,593.33	0.15	6,593.33	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	11		2	57 HORNBLLOWER DRIVE	0.15	6,590.86	0.15	6,590.86	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	12		2	59 HORNBLLOWER DRIVE	0.15	6,568.56	0.15	6,568.56	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	13		2	61 HORNBLLOWER DRIVE	0.15	6,537.54	0.15	6,537.54	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	14		2	63 HORNBLLOWER DRIVE	0.15	6,505.73	0.15	6,505.73	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	15		2	65 HORNBLLOWER DRIVE	0.15	6,477.61	0.15	6,477.61	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	16		2	67 HORNBLLOWER DRIVE	0.15	6,476.74	0.15	6,476.74	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	17		2	69 HORNBLLOWER DRIVE	0.15	6,482.08	0.15	6,482.08	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	18		2	71 HORNBLLOWER DRIVE	0.15	6,486.98	0.15	6,486.98	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	19		2	73 HORNBLLOWER DRIVE	0.15	6,492.08	0.15	6,492.08	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	2		2	35 HORNBLLOWER DRIVE	0.17	7,391.14	0.17	7,391.14	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	20		2	75 HORNBLLOWER DRIVE	0.18	7,996.98	0.18	7,996.97	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	21		2	77 HORNBLLOWER DRIVE	0.22	9,506.16	0.22	9,506.16	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	3.01		2	41 HORNBLLOWER DRIVE	0.14	6,047.10	0.14	6,047.10	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	3.02		4A	HORNBLLOWER DRIVE	0.16	6,853.99	0.16	6,853.99	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as commercial use
148	4		2	43 HORNBLLOWER DRIVE	0.14	5,984.47	0.14	5,984.47	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	5		2	45 HORNBLLOWER DRIVE	0.14	6,250.09	0.14	6,250.09	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	6		2	47 HORNBLLOWER DRIVE	0.15	6,597.40	0.15	6,597.40	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	7		2	49 HORNBLLOWER DRIVE	0.15	6,598.32	0.15	6,598.32	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreage	Sq Ft	Acreage Encumbered	Sq Ft Encumbered	Acreage Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
148	8		2	51 HORNBLOWER DRIVE	0.15	6,596.69	0.15	6,596.69	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
148	9		2	53 HORNBLOWER DRIVE	0.15	6,595.01	0.15	6,595.01	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
149	1		2	11 BLUEBEARD DRIVE	0.29	12,670.70	0.29	12,670.70	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
149	2		2	13 BLUEBEARD DRIVE	0.26	11,267.36	0.26	11,267.36	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
149	3		2	15 BLUEBEARD DRIVE	0.26	11,370.27	0.26	11,370.27	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
149	4		2	19 BLUEBEARD DRIVE	0.25	10,955.17	0.25	10,955.17	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
149	5		2	21 BLUEBEARD DRIVE	0.24	10,596.69	0.24	10,596.69	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
149	6		2	23 BLUEBEARD DRIVE	0.23	9,861.77	0.23	9,861.77	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
149	7		2	25 BLUEBEARD DRIVE	0.41	17,922.87	0.41	17,922.87	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
149	8		4A	5 BLUEBEARD DRIVE	1.27	55,410.47	1.27	55,410.47	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as commercial use
150	1		2	2 BLUEBEARD DRIVE	0.17	7,379.06	0.17	7,379.06	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
150	10		2	20 BLUEBEARD DRIVE	0.15	6,623.73	0.15	6,623.73	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
150	11		2	22 BLUEBEARD DRIVE	0.15	6,669.65	0.15	6,669.65	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
150	12		2	24 BLUEBEARD DRIVE	0.22	9,657.12	0.22	9,657.12	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
150	2		2	4 BLUEBEARD DRIVE	0.15	6,471.37	0.15	6,471.37	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
150	3		2	6 BLUEBEARD DRIVE	0.15	6,468.47	0.15	6,468.47	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
150	4		2	8 BLUEBEARD DRIVE	0.15	6,465.62	0.15	6,465.62	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
150	5		2	10 BLUEBEARD DRIVE	0.15	6,462.66	0.15	6,462.66	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
150	6		2	12 BLUEBEARD DRIVE	0.15	6,459.97	0.15	6,459.97	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
150	7		2	14 BLUEBEARD DRIVE	0.15	6,485.53	0.15	6,485.53	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
150	8		2	16 BLUEBEARD DRIVE	0.15	6,531.53	0.15	6,531.53	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
150	9		2	18 BLUEBEARD DRIVE	0.15	6,577.55	0.15	6,577.55	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
151	1		2	1 JOLLY ROGER WAY	0.18	7,939.71	0.18	7,939.71	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
151	10		2	19 JOLLY ROGER WAY	0.34	14,743.78	0.34	14,743.78	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
151	2		2	3 JOLLY ROGER WAY	0.15	6,543.42	0.15	6,543.42	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
151	3		2	5 JOLLY ROGER WAY	0.15	6,517.89	0.15	6,517.89	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
151	4		2	7 JOLLY ROGER WAY	0.15	6,492.18	0.15	6,492.18	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
151	5		2	9 JOLLY ROGER WAY	0.15	6,466.54	0.15	6,466.54	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
151	6		2	11 JOLLY ROGER WAY	0.15	6,440.89	0.15	6,440.89	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
151	7.01		2		0.29	12,836.35	0.29	12,836.35	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
151	9		2	17 JOLLY ROGER WAY	0.15	6,416.81	0.15	6,416.81	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
152	1		2	2 JOLLY ROGER WAY	0.17	7,535.01	0.17	7,535.01	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
152	10		2	20 JOLLY ROGER WAY	0.16	6,930.49	0.16	6,930.49	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
152	2		2	4 JOLLY ROGER WAY	0.15	6,402.99	0.15	6,402.99	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
152	3		2	6 JOLLY ROGER WAY	0.15	6,428.69	0.15	6,428.69	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
152	4		2	8 JOLLY ROGER WAY	0.15	6,454.35	0.15	6,454.35	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
152	5		2	10 JOLLY ROGER WAY	0.15	6,480	0.15	6,480	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
152	6		2	12 JOLLY ROGER WAY	0.15	6,505.60	0.15	6,505.60	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
152	7		2	14 JOLLY ROGER WAY	0.15	6,527.18	0.15	6,527.18	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
152	8		2	16 JOLLY ROGER WAY	0.15	6,529.69	0.15	6,529.69	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
152	9		2	18 JOLLY ROGER WAY	0.15	6,529.79	0.15	6,529.79	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
153	1		2	1 CUTLASS WAY	0.25	10,726.54	0.25	10,726.54	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
153	2		2	3 CUTLASS WAY	0.15	6,652.94	0.15	6,652.94	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
153	3		2	5 CUTLASS WAY	0.15	6,625.91	0.15	6,625.91	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
153	4		2	7 CUTLASS WAY	0.15	6,599.20	0.15	6,599.20	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
153	5		2	9 CUTLASS WAY	0.15	6,572.23	0.15	6,572.23	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
153	6		2	11 CUTLASS WAY	0.15	6,545.49	0.11	4,574.11	0.05	1,971.38	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
153	7		2	13 CUTLASS WAY	0.15	6,518.69	0.08	3,417.50	0.07	3,101.19	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
153	8		2	15 CUTLASS WAY	0.17	7,488.36	0.1	4,428.60	0.07	3,059.76	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
153	9		2	17 CUTLASS WAY	0.18	7,936.16	0.18	7,936.16	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
154	1		2	2 CUTLASS WAY	0.23	10,009.37	0.23	10,009.37	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
154	2		2	4 CUTLASS WAY	0.14	6,293.60	0.14	6,293.60	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
154	3		2	6 CUTLASS WAY	0.15	6,320.57	0.15	6,320.57	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
154	4		2	8 CUTLASS WAY	0.15	6,347.30	0.15	6,347.30	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
154	5		2	10 CUTLASS WAY	0.15	6,374.21	0.12	5,106.57	0.03	1,267.63	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
154	6		2	12 CUTLASS WAY	0.15	6,400.84	0.1	4,434.85	0.05	1,965.99	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
154	7		2	14 CUTLASS WAY	0.15	6,427.73	0.11	4,664.49	0.04	1,763.25	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
154	8		2	16 CUTLASS WAY	0.17	7,450.01	0.16	6,805.90	0.01	644.11	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
154	9		2	18 CUTLASS WAY	0.16	6,879.66	0.16	6,879.66	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
155	1		2	1 DAVEY JONES WAY	0.21	8,956.87	0.21	8,956.87	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
155	10		2	19 DAVEY JONES WAY	0.15	6,545.26	0.15	6,545.26	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
155	11		2	21 DAVEY JONES WAY	0.19	8,061.37	0.19	8,061.37	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
155	2		2	3 DAVEY JONES WAY	0.16	6,756.48	0.16	6,756.48	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreage	Sq Ft	Acreage Encumbered	Sq Ft Encumbered	Acreage Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
155	3		2	5 DAVEY JONES WAY	0.15	6,730.08	0.15	6,730.08	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
155	4		2	7 DAVEY JONES WAY	0.15	6,703.55	0.15	6,703.55	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
155	5		2	9 DAVEY JONES WAY	0.15	6,677.12	0.15	6,677.12	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
155	6		2	11 DAVEY JONES WAY	0.15	6,650.75	0.15	6,650.75	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
155	7		2	13 DAVEY JONES WAY	0.15	6,624.27	0.15	6,624.27	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
155	8		2	15 DAVEY JONES WAY	0.15	6,597.88	0.15	6,597.88	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
155	9		2	17 DAVEY JONES WAY	0.15	6,571.24	0.15	6,571.24	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
156	1		2	2 DAVEY JONES WAY	0.21	9,008.97	0.21	9,008.97	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
156	10		2	20 DAVEY JONES WAY	0.15	6,394.85	0.15	6,394.85	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
156	11		2	22 DAVEY JONES WAY	0.18	8,026.79	0.18	8,026.79	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
156	2		2	4 DAVEY JONES WAY	0.14	6,183.11	0.14	6,183.11	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
156	3		2	6 DAVEY JONES WAY	0.14	6,209.65	0.14	6,209.65	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
156	4		2	8 DAVEY JONES WAY	0.14	6,236.22	0.14	6,236.22	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
156	5		2	10 DAVEY JONES WAY	0.14	6,262.51	0.14	6,262.51	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
156	6		2	12 DAVEY JONES WAY	0.14	6,289.02	0.14	6,289.02	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
156	7		2	14 DAVEY JONES WAY	0.14	6,315.45	0.14	6,315.45	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
156	8		2	16 DAVEY JONES WAY	0.15	6,341.83	0.15	6,341.83	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
156	9		2	18 DAVEY JONES WAY	0.15	6,368.34	0.15	6,368.34	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
157	1		2	1 ONE EYE WAY	0.23	9,838.81	0.23	9,838.81	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
157	10		2	19 ONE EYE WAY	0.15	6,550.74	0.15	6,550.74	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
157	11		2	21 ONE EYE WAY	0.14	6,060.54	0.14	6,060.54	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
157	2		2	3 ONE EYE WAY	0.15	6,746.78	0.15	6,746.78	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
157	3		2	5 ONE EYE WAY	0.15	6,722.28	0.15	6,722.28	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
157	4		2	7 ONE EYE WAY	0.15	6,697.62	0.15	6,697.62	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
157	5		2	9 ONE EYE WAY	0.23	10,000.44	0.23	10,000.44	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
157	7		2	11 ONE EYE WAY	0.23	9,945.33	0.23	9,945.33	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
157	8		2	15 ONE EYE WAY	0.15	6,599.42	0.15	6,599.42	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
157	9		15F	17 ONE EYE WAY	0.15	6,574.91	0.15	6,574.91	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Completely encumbered
158	1		2	2 ONE EYE WAY	0.21	9,336.99	0.21	9,336.99	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
158	10		2	20 ONE EYE WAY	0.15	6,396.42	0.15	6,396.42	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
158	11		2	22 ONE EYE WAY	0.18	7,902.90	0.18	7,902.90	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
158	2		2	4 ONE EYE WAY	0.14	6,199.81	0.14	6,199.81	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
158	3		2	6 ONE EYE WAY	0.14	6,224.30	0.14	6,224.30	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
158	4		2	8 ONE EYE WAY	0.14	6,248.93	0.14	6,248.93	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
158	5		2	10 ONE EYE WAY	0.14	6,252.54	0.14	6,252.54	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
158	6		2	12 ONE EYE WAY	0.15	6,318.79	0.15	6,318.79	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
158	7		2	14 ONE EYE WAY	0.15	6,322.57	0.15	6,322.57	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
158	8		2	16 ONE EYE WAY	0.15	6,347.11	0.15	6,347.11	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
158	9		2	18 ONE EYE WAY	0.15	6,371.55	0.15	6,371.55	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
159	1		2	1 PEG LEG WAY	0.2	8,530.74	0.2	8,530.74	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
159	10		2	19 PEG LEG WAY	0.15	6,729.77	0.15	6,729.77	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
159	11		2	21 PEG LEG WAY	0.15	6,740.75	0.15	6,740.75	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
159	12		2	23 PEG LEG WAY	0.15	6,601.89	0.15	6,601.89	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
159	2		2	3 PEG LEG WAY	0.15	6,644.08	0.15	6,644.08	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
159	3		2	5 PEG LEG WAY	0.15	6,648.39	0.15	6,648.39	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
159	4		2	7 PEG LEG WAY	0.15	6,660.09	0.15	6,660.09	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
159	5		2	9 PEG LEG WAY	0.15	6,671.59	0.15	6,671.59	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
159	6		2	11 PEG LEG WAY	0.15	6,683.19	0.15	6,683.19	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
159	7		2	13 PEG LEG WAY	0.23	10,046.64	0.23	10,046.64	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
159	9		2	17 PEG LEG WAY	0.23	10,072.80	0.23	10,072.80	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
160	1		2	2 PEG LEG WAY	0.19	8,108.11	0.19	8,108.11	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
160	10		2	20 PEG LEG WAY	0.14	6,216.69	0.14	6,216.69	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
160	11		2	22 PEG LEG WAY	0.14	6,204.49	0.14	6,204.49	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
160	12		2	24 PEG LEG WAY	0.19	8,228.10	0.19	8,228.10	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
160	2		2	4 PEG LEG WAY	0.14	6,302.54	0.14	6,302.54	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
160	3		2	6 PEG LEG WAY	0.22	9,442.91	0.22	9,442.91	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
160	5		2	10 PEG LEG WAY	0.22	9,416.81	0.22	9,416.81	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
160	6		2	12 PEG LEG WAY	0.14	6,263.20	0.14	6,263.20	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
160	7		2	14 PEG LEG WAY	0.14	6,251.71	0.14	6,251.71	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
160	8		2	16 PEG LEG WAY	0.14	6,240.05	0.14	6,240.05	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
160	9		2	18 PEG LEG WAY	0.14	6,228.50	0.14	6,228.50	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
161	1		2	1 LONG JOHN SILVER WAY	0.2	8,651.80	0.2	8,651.80	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
161	10		2	19 LONG JOHN SILVER WAY	0.15	6,570.16	0.08	3,536.36	0.07	3,033.80	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreage	Sq Ft	Acreage Encumbered	Sq Ft Encumbered	Acreage Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
161	11		2	21 LONG JOHN SILVER WAY	0.15	6,554.45	0.08	3,307.81	0.07	3,246.65	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
161	12		15F	23 LONG JOHN SILVER WAY	0.15	6,538.59	0.08	3,407.53	0.07	3,131.06	R-SC	Yes	0.15	6,500	0.07	6.701538462	0	Assessed as residential use
161	13		2	25 LONG JOHN SILVER WAY	0.15	6,522.89	0.14	6,077.10	0.01	445.8	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
161	14		2	27 LONG JOHN SILVER WAY	0.16	6,817.83	0.16	6,817.83	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
161	2		2	3 LONG JOHN SILVER WAY	0.15	6,696.53	0.15	6,696.53	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
161	3		2	5 LONG JOHN SILVER WAY	0.15	6,680.58	0.15	6,483.32	0	197.26	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
161	4		2	7 LONG JOHN SILVER WAY	0.15	6,664.86	0.09	3,818.14	0.07	2,846.72	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
161	5		2	9 LONG JOHN SILVER WAY	0.15	6,649.01	0.07	3,181.29	0.08	3,467.72	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
161	6		2	11 LONG JOHN SILVER WAY	0.15	6,633.35	0.07	3,130.01	0.08	3,503.34	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
161	7		2	13 LONG JOHN SILVER WAY	0.15	6,617.46	0.07	3,078.59	0.08	3,538.87	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
161	8		2	15 LONG JOHN SILVER WAY	0.15	6,601.72	0.07	3,027.23	0.08	3,574.49	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
161	9		2	17 LONG JOHN SILVER WAY	0.15	6,585.97	0.07	3,033.01	0.08	3,552.96	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
162	1		2	2 LONG JOHN SILVER WAY	0.22	9,378.23	0.11	4,767.99	0.11	4,610.25	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
162	10		2	20 LONG JOHN SILVER WAY	0.15	6,675.63	0.07	3,220.85	0.08	3,454.78	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
162	11		2	22 LONG JOHN SILVER WAY	0.15	6,685.71	0.08	3,475.05	0.07	3,210.65	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
162	12		2	24 LONG JOHN SILVER WAY	0.15	6,695.63	0.09	3,729.22	0.07	2,966.40	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
162	13		2	26 LONG JOHN SILVER WAY	0.15	6,705.48	0.09	4,125.36	0.06	2,580.11	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
162	14		2	28 LONG JOHN SILVER WAY	0.2	8,719.26	0.2	8,719.26	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
162	2		2	4 LONG JOHN SILVER WAY	0.15	6,594.65	0.07	3,155.67	0.08	3,438.97	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
162	3		2	6 LONG JOHN SILVER WAY	0.15	6,604.91	0.07	3,152.23	0.08	3,452.68	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
162	4		2	8 LONG JOHN SILVER WAY	0.15	6,614.95	0.06	2,553.09	0.09	4,061.86	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
162	5		2	10 LONG JOHN SILVER WAY	0.15	6,625.03	0.06	2,505.96	0.09	4,119.07	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
162	6		2	12 LONG JOHN SILVER WAY	0.15	6,635.03	0.06	2,512.91	0.09	4,122.12	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
162	7		2	14 LONG JOHN SILVER WAY	0.15	6,645.34	0.06	2,520.01	0.09	4,125.33	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
162	8		2	16 LONG JOHN SILVER WAY	0.15	6,655.34	0.06	2,526.93	0.09	4,128.41	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
162	9		2	18 LONG JOHN SILVER WAY	0.15	6,665.35	0.06	2,805.46	0.09	3,859.89	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
163	1		2	1 HAWKINS WAY	0.24	10,428.34	0.11	4,977.47	0.13	5,450.87	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
163	10		2	19 HAWKINS WAY	0.22	9,768.80	0.11	4,945.40	0.11	4,823.40	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
163	11		2	21 HAWKINS WAY	0.15	6,505.35	0.09	3,912.51	0.06	2,592.84	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
163	12		2	23 HAWKINS WAY	0.15	6,504.79	0.15	6,452.33	0	52.46	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
163	13		2	25 HAWKINS WAY	0.15	6,520.96	0.15	6,520.96	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
163	14		2	27 HAWKINS WAY	0.18	7,815.13	0.18	7,815.13	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
163	2		2	3 HAWKINS WAY	0.15	6,505.34	0.06	2,723.57	0.09	3,781.77	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
163	3		2	5 HAWKINS WAY	0.15	6,512.84	0.08	3,367.55	0.07	3,145.29	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
163	4		2	7 HAWKINS WAY	0.15	6,526.13	0.08	3,431.98	0.07	3,094.15	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
163	5		2	9 HAWKINS WAY	0.15	6,540.94	0.08	3,390.58	0.07	3,150.37	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
163	6		2	11 HAWKINS WAY	0.15	6,535.57	0.08	3,354	0.07	3,181.57	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
163	7		2	13 HAWKINS WAY	0.15	6,529.30	0.08	3,317.97	0.07	3,211.33	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
163	8		2	15 HAWKINS WAY	0.22	9,782.10	0.11	4,909.33	0.11	4,872.78	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
164	1		2	2 HAWKINS WAY	0.23	10,052.20	0	0	0.23	10,052.20	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
164	2		2	4 HAWKINS WAY	0.22	9,413.01	0	0	0.22	9,413.01	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
164	3		2	4 STEVENSON ST	0.19	8,093.54	0	0	0.19	8,093.54	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
164	4		2	6 STEVENSON ST	0.19	8,093.58	0	0	0.19	8,093.58	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
164	5		2	8 STEVENSON ST	0.18	7,916.96	0.03	1,456.71	0.15	6,460.25	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
164	6		2	2 HORNBLLOWER DRIVE	0.22	9,545.17	0.02	1,045.94	0.2	8,499.24	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
164	7		2	4 HORNBLLOWER DRIVE	0.23	9,912.55	0	0	0.23	9,912.55	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
164	8		2	6 HORNBLLOWER DRIVE	0.23	9,863.99	0	0	0.23	9,863.99	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
165	1		2	9 SKIPPERS BOULEVARD	0.16	6,856.97	0.06	2,608.52	0.1	4,248.45	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
165	2		2	11 SKIPPERS BOULEVARD	0.16	6,805.64	0.03	1,365.57	0.12	5,440.07	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
165	3		2	13 SKIPPERS BOULEVARD	0.16	6,792.76	0	0	0.16	6,792.76	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
165	4		2	15 SKIPPERS BOULEVARD	0.17	7,344.62	0	0	0.17	7,344.62	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
165	5		2	17 SKIPPERS BOULEVARD	0.23	10,063.39	0	0	0.23	10,063.39	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
165	6		2	19 SKIPPERS BOULEVARD	0.23	9,826.70	0	0	0.23	9,826.70	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
165	7		2	21 SKIPPERS BOULEVARD	0.2	8,865.65	0.01	281.81	0.2	8,583.83	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
165	8		2	120 MAIN STREET	0.23	10,159.75	0.02	682.24	0.214338	9,477.51	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	1		2	16 SKIPPERS BOULEVARD	0.17	7,317.93	0	0	0.17	7,317.93	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	10		2	6 SKIPPERS BOULEVARD	0.15	6,562.84	0	0	0.15	6,562.84	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	13.01		2	22 HAWKINS WAY	0.24	10,352.97	0.24	10,352.97	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	13.02		15C	MAIN STREET	0.9	39,161.78	0	0	0.9	39,161.78	R-SC	Yes	0.15	6,500	0	6.701538462	0	Waretown Branch Library
166	14		2	4 COVE DRIVE	0.18	7,990.05	0.17	7,614.18	0.01	375.87	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	15		2	6 COVE DRIVE	0.17	7,325.82	0.11	4,941.95	0.05	2,383.87	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	16		2	8 COVE DRIVE	0.17	7,618.67	0.08	3,307.85	0.1	4,310.81	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	17		2	10 COVE DRIVE	0.16	6,831.48	0.01	644.66	0.14	6,186.82	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use

BLOCK	LOT	QCODE	PropClass	PropLoc	Acreage	Sq Ft	Acreage Encumbered	Sq Ft Encumbered	Acreage Unencumbered	SF Unencumbered	Zone District	Residential Permitted?	Lot Size Minimum Acre Zone Dist	Lot Size Minimum SqFt Zone Dist	Adjusted Unencumbered Acreage	Density	Residential Yield	Reason for Adjusting Unencumbered Acreage and Excluding from Buildout
166	19		2	1 COVE DRIVE	0.16	7,176.50	0.16	7,176.50	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	2		2	14 HAWKINS WAY	0.31	13,419.76	0.08	3,698.77	0.22	9,720.99	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	20		2	3 COVE DRIVE	0.15	6,706	0.15	6,706	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	21		2	5 COVE DRIVE	0.14	6,305.54	0.14	6,305.54	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	22		2	7 COVE DRIVE	0.15	6,544.11	0.15	6,544.11	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	23		2	9 COVE DRIVE	0.15	6,600.81	0.15	6,600.81	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	24		2	11 COVE DRIVE	0.18	7,763.21	0.18	7,763.21	0	0	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	3		2	16 HAWKINS WAY	0.32	14,013.13	0.19	8,123.64	0.14	5,889.48	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	4		2	18 HAWKINS WAY	0.3	13,251.44	0.2	8,618.61	0.11	4,632.83	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	5		2	20 HAWKINS WAY	0.28	12,204.76	0.21	9,244.80	0.07	2,959.96	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	6		2	14 SKIPPERS BOULEVARD	0.15	6,361.47	0	0	0.15	6,361.47	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	7		2	12 SKIPPERS BOULEVARD	0.15	6,494.25	0	0	0.15	6,494.25	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	8		2	10 SKIPPERS BOULEVARD	0.15	6,517	0	0	0.15	6,517	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
166	9		2	8 SKIPPERS BOULEVARD	0.15	6,539.96	0	0	0.15	6,539.96	R-SC	Yes	0.15	6,500	0	6.701538462	0	Assessed as residential use
167	1		4A	104 MAIN STREET	5.47	238,353.40	5.26	229,206.54	0.21	9,146.85	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as commercial use
167	2		2	3 CEDAR AVENUE	0.23	9,816.03	0.15	6,562.03	0.07	3,254	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
167	3.01		2	5 CEDAR AVENUE	0.17	7,422.56	0.08	3,352.98	0.09	4,069.58	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
167	4.01		2	9 CEDAR AVENUE	0.34	14,820.72	0.17	7,526.34	0.17	7,294.38	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
167	5		2	11 CEDAR AVENUE	0.18	7,668.73	0.17	7,457.20	0	211.53	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
167	6.01		2	13 CEDAR AVENUE	0.21	9,287.91	0.21	9,287.91	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
169	1		2	12 ACORN STREET	0.12	5,075.45	0.12	5,075.45	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
169	12		1	EVERGREEN WAY	0.27	11,711.93	0.24	10,409.73	0.03	1,302.20	WD	Yes	0.29	12,500	0.03	3.4848	0	
169	13		1	EVERGREEN WAY	0.28	12,009.02	0.12	5,139.28	0.16	6,869.74	WD	Yes	0.29	12,500	0.16	3.4848	1	
169	14		2	57 PENNSYLVANIA AVENUE	0.24	10,256.73	0.24	10,256.73	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
169	2		2	10 ACORN STREET	0.15	6,450.40	0.15	6,450.40	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
169	3		2	8 ACORN STREET	0.16	7,176.91	0.16	7,176.91	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
169	4		2	6 ACORN STREET	0.11	4,937.08	0.08	3,599.81	0.03	1,337.27	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
169	5		2	4 ACORN STREET	0.12	5,329.96	0.06	2,436.34	0.07	2,893.63	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
169	6		1	25 PENNSYLVANIA AVENUE	0.49	21,494.50	0.08	3,442.80	0.41	18,051.70	WD	Yes	0.29	12,500	0.41	3.4848	1	
169	7.03		2	3 EVERGREEN WAY	0.37	16,224.13	0.1	4,146.48	0.28	12,077.65	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
169	8.01		1	53 PENNSYLVANIA AVENUE	3.87	168,724.45	2.51	109,383.35	1.36	59,341.10	WD	Yes	0.29	12,500	1.36	3.4848	5	
169	8.02		4A	63 PENNSYLVANIA AVENUE	0.74	32,372.96	0.74	32,372.96	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as commercial use
169	9.03		4A	65 PENNSYLVANIA AVENUE	0.16	6,882.64	0.16	6,882.64	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as commercial use
169	9.04		4A	65 PENNSYLVANIA AVENUE	0.31	13,578.07	0.31	13,578.08	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as commercial use
169	9.05		4A		1.61	70,254.89	1.61	70,254.89	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as commercial use
170	1		2	18 VESSEL ROAD	1.05	45,901.84	1.05	45,901.84	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
170	2		1	16 VESSEL ROAD	0.6	26,028.34	0.6	26,028.34	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Completely encumbered
170	3		2	14 VESSEL ROAD	0.24	10,265.43	0.24	10,265.43	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
170	4		2	12 VESSEL ROAD	0.18	7,664.44	0.18	7,664.44	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
170	5		2	10 VESSEL ROAD	0.26	11,405.71	0.26	11,405.71	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
170	6.01		2	6 VESSEL ROAD	0.6	26,350.52	0.6	26,350.52	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
170	6.02		1	8 VESSEL ROAD	0.68	29,583.15	0.68	29,583.15	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Completely encumbered
170	7		2	4 VESSEL ROAD	0.32	13,786.85	0.32	13,786.85	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
170	8		1	2 VESSEL RD	0.66	28,778.11	0.66	28,778.11	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Completely encumbered
170	8.01		2	2 VESSEL RD - UNIT #1	0.01	556.28	0.01	556.28	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
170	8.02		2	2 VESSEL RD - UNIT #2	0.01	556.29	0.01	556.29	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
170	8.03		2	2 VESSEL RD - UNIT #3	0.01	556.28	0.01	556.28	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
170	8.04		2	2 VESSEL RD - UNIT #4	0.01	556.31	0.01	556.31	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
170	8.05		2	2 VESSEL RD - UNIT #5	0.01	527.71	0.01	527.71	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
170	8.06		2	2 VESSEL RD - UNIT #6	0.01	527.7	0.01	527.7	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Assessed as residential use
173	3		1	SHERIDAN STREET	0.01	295.87	0.01	295.87	0	0	WD	Yes	0.29	12,500	0	3.4848	0	Completely encumbered

SUBTOTAL TOWN CENTER (NON REDEVELOPMENT)

36

Appendix C: Ocean Township Buildout Analysis – Sewered Properties
Outside of the Town Center



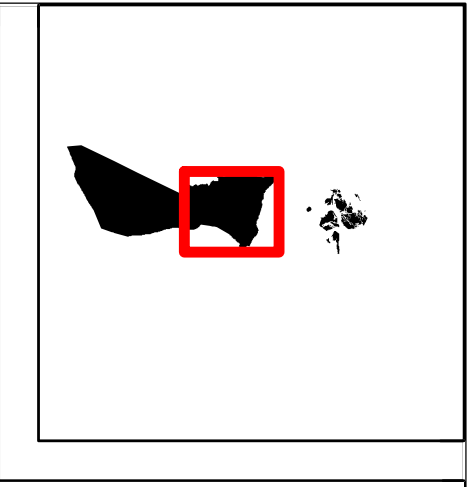
Ocean Township Buildout Analysis:
Sewered Properties Outside of the Town Center - POINT TOTAL

Site No.	BLOCK	LOT	OWNER	ADDRESS	PROP CLASS	ACREAGE	ENCUMBERED	UNENCMBRD	30% CAP ON IMPERVIOUS COVERAGE	POTENTIALLY DEVELOPABLE ACREAGE	POINT TOTAL	DU / ACRE	AFFORDABLE UNIT YIELD	COMMENTS
1	241.11	12.05	WARETOWN ASSOCIATES LLC	ROUTE 9	Class 1 - Vacant Land	2.83	0.00	2.83	0.85	0.85	3	10	2	See mapping.
2	56	13.01	WARETOWN VILLAGE ASSOCIATES LLC	ROUTE 532	Class 1 - Vacant Land	2.06	0.00	2.06	0.62	2.30	1.5	10	5	Jointly owned. Along Wells Mills Road. See mapping.
	56	13.02	WARETOWN VILLAGE ASSOCIATES LLC	ROUTE 532	Class 1 - Vacant Land	2.01	0.00	2.01	0.60					
	56	13.03	WARETOWN VILLAGE ASSOCIATES LLC	82 MOREY PLACE ROAD	Class 1 - Vacant Land	1.64	0.00	1.64	0.49					
	56	13.04	WARETOWN VILLAGE ASSOCIATES LLC	76 MOREY PLACE ROAD	Class 1 - Vacant Land	1.29	0.02	1.27	0.38					
	56	14	WARETOWN VILLAGE ASSOCIATES LLC	90 MOREY PLACE ROAD	Class 1 - Vacant Land	0.69	0.00	0.69	0.21					
3	62	3.02	REHRER, VICTORIA L	ROUTE 9	Class 1 - Vacant Land	1.41	0.00	1.41	0.42	0.85	3	10	2	Adjacent properties, and jointly owned. See mapping.
	62	3.03	REHRER, VICTORIA L	ROUTE 9	Class 1 - Vacant Land	1.42	0.00	1.42	0.43					

9 BUILDOUT DEVELOPMENT POTENTIAL

Ocean Township Buildout Analysis:
Sewered Properties Outside of the Town Center

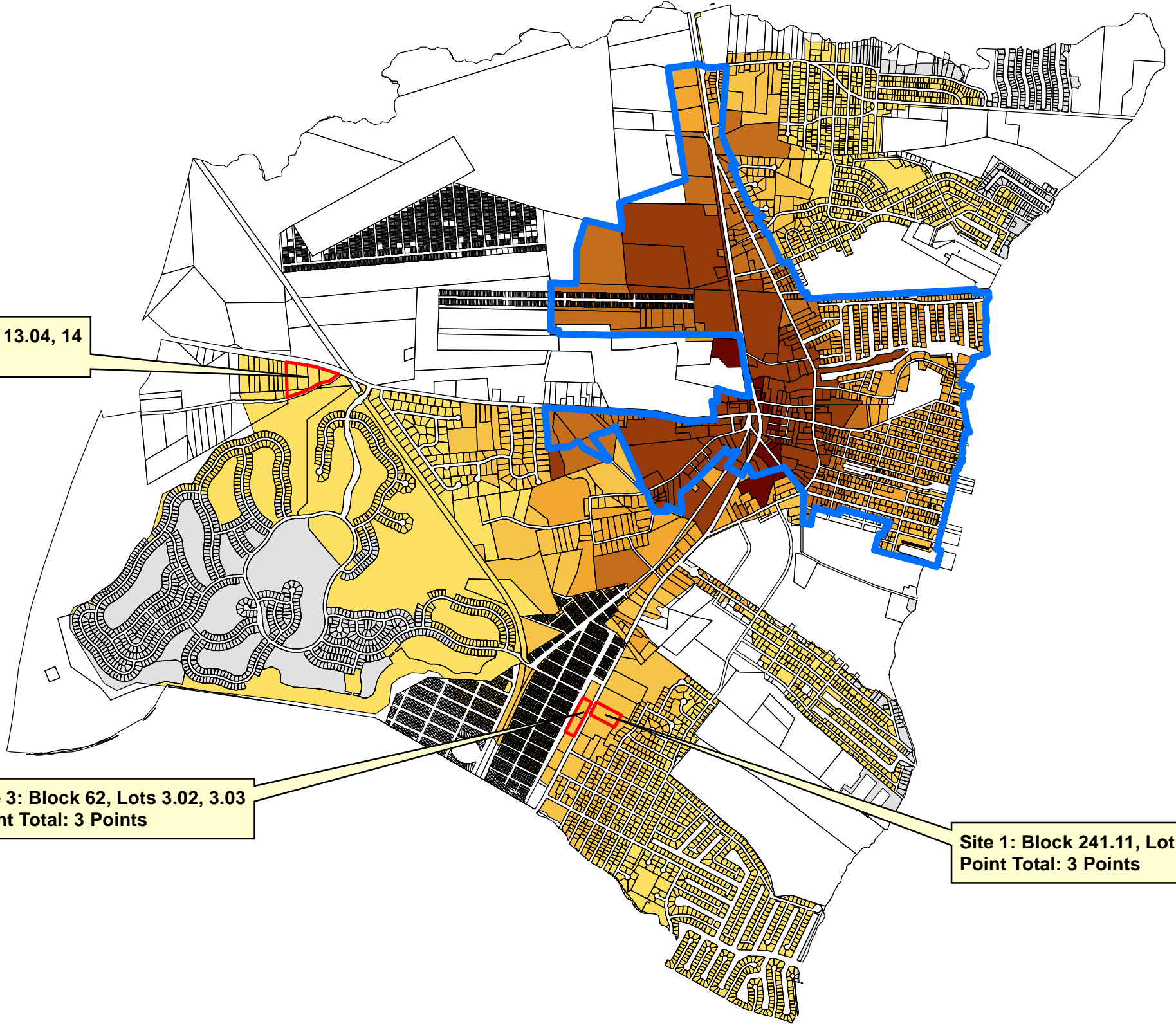
BLOCK	LOT	OWNER	ADDRESS	PROP CLASS	ACREAGE	ENCUMBERED	UNENCMBRD	30% CAP ON IMPERVIOUS COVERAGE	POTENTIALLY DEVELOPABLE ACREAGE	COMMENTS	
1	113	22	TOWNSHIP OF OCEAN	TILLER DRIVE	Class 15C - Public Property	8.75	5.97	2.78	0.83	0.83	Publicly owned park.
2	119	3.05	LABROO, VIRENDER K & VIDYA	12 MIZZEN WAY	Class 1 - Vacant Land	0.18	0.00	0.18	0.05	0.05	Small remaining acreage.
3	121	4	MITROSKY, BEATRICE %R MITROSKY	10 STARBOARD WAY	Class 1 - Vacant Land	0.28	0.00	0.28	0.08	0.08	Small remaining acreage.
4	123	1	ALOSE, LUCIAN W	84 POPLAR STREET	Class 1 - Vacant Land	0.23	0.00	0.23	0.07	0.07	Small remaining acreage.
5	124	2	SUE ANNA BUILDERS INC	23 MARLIN LANE	Class 1 - Vacant Land	0.3	0.00	0.3	0.09	0.09	Small remaining acreage.
6	124	29	TOWNSHIP OF OCEAN	DOLPHIN WAY	Class 15C - Public Property	0.98	0.00	0.98	0.29	0.29	Small remaining acreage.
7	124	3	ALOSE, SALVATORE	21 MARLIN LANE	Class 1 - Vacant Land	0.15	0.00	0.15	0.05	0.05	Small remaining acreage.
8	124	4.02	LAUER, PATRICIA	80 POPLAR STREET	Class 1 - Vacant Land	0.15	0.00	0.15	0.05	0.05	Small remaining acreage.
9	129	18	WELLS FARGO BANK NA	DOUGLAS LANE	Class 1 - Vacant Land	1.93	0.00	1.93	0.58	0.58	Small remaining acreage.
10	137	2	TOWNSHIP OF OCEAN	52 LIGHTHOUSE DRIVE	Class 15C - Public Property	0.11	0.00	0.11	0.03	0.03	Small remaining acreage.
11	137	3	BOLTON, ROBERT J & ROBERTA J	54 LIGHTHOUSE DRIVE	Class 1 - Vacant Land	0.11	0.00	0.11	0.03	0.03	Small remaining acreage.
12	137	6	TOHM, RAYMOND ESTATE OF	6 COLTS NECK DRIVE	Class 1 - Vacant Land	0.12	0.00	0.12	0.04	0.04	Small remaining acreage.
13	138	1.01	MICKELSEN, WILHELM H	58 LIGHTHOUSE DRIVE	Class 1 - Vacant Land	0.46	0.00	0.46	0.14	0.14	Small remaining acreage.
14	139	1	TOWNSHIP OF OCEAN	66 LIGHTHOUSE DRIVE	Class 15C - Public Property	0.25	0.06	0.19	0.06	0.06	Small remaining acreage.
15	140	6	BUCKLEY, PETER J III	10 SOUTHWIND DRIVE	Class 1 - Vacant Land	0.28	0.00	0.28	0.08	0.08	Small remaining acreage.
16	241.11	12.03	MANDRAKE PROPERTIES FLP	ROUTE 9	Class 1 - Vacant Land	1.73	0.83	0.9	0.27	0.62	Small remaining acreage.
17	241.11	12.09	MANDRAKE PROPERTIES FLP	ROUTE 9	Class 1 - Vacant Land	1.44	0.57	0.87	0.26		
18	241.11	12.08	MERCURO, ANTHONY & CONSTANCE	ROUTE 9	Class 1 - Vacant Land	1.6	0.23	1.37	0.41	0.27	Small remaining acreage.
19	241.11	12.05	WARETOWN ASSOCIATES LLC	ROUTE 9	Class 1 - Vacant Land	2.83	0.00	2.83	0.85	0.85	See mapping.
20	241.11	9	AISIG VENTURES LLC	356 ROUTE 9	Class 1 - Vacant Land	0.91	0.00	0.91	0.27	0.27	Small remaining acreage.
21	243	1.01	PALAK ASSOCIATES LLC	ROUTE 9	Class 1 - Vacant Land	0.22	0.00	0.22	0.07	0.32	Jointly owned. Small remaining acreage.
22	243	1.02	PALAK ASSOCIATES LLC	FIRST STREET	Class 1 - Vacant Land	0.33	0.00	0.33	0.10		
23	243	2	PALAK ASSOCIATES LLC	FIRST STREET	Class 1 - Vacant Land	0.37	0.00	0.37	0.11		
24	243	3	PALAK ASSOCIATES LLC	SENECA & FIRST STREET	Class 1 - Vacant Land	0.14	0.00	0.14	0.04		
25	48	2	KELLEMAN, ANDREW J & DOREEN A	ROUTE 9	Class 1 - Vacant Land	1.74	0.39	1.35	0.41	0.41	Small remaining acreage.
26	54	20	WARETOWN VOL FIRE CO NO 1	WALKER LANE	Class 15F - Other Exempt	16.11	6.94	9.17	2.75	2.75	Owned by Fire Company.
27	54	22.01	VON SCHMIDT, GORDON & JACKIE	9 WALKER LANE	Class 1 - Vacant Land	0.96	0.00	0.96	0.29	0.29	Small remaining acreage.
28	54	22.02	TABBACCHINO, GERALD & DONNA	7 WALKER LANE	Class 1 - Vacant Land	1.02	0.00	1.02	0.31	0.31	Small remaining acreage.
29	54	22.03	EBERENZ, LAUREN & DANIEL	5 WALKER LANE	Class 1 - Vacant Land	1.01	0.00	1.01	0.30	0.30	Small remaining acreage.
30	54	27	WARETOWN VOL FIRE CO NO 1	WALKER LANE	Class 15F - Other Exempt	6.26	4.28	1.98	0.59	0.59	Small remaining acreage. Owned by Fire Company
31	54	28	VON SCHMIDT, GORDON D & JACQUELINE K	GARRISON ROAD	Class 1 - Vacant Land	2.64	2.01	0.63	0.19	0.19	Small remaining acreage.
32	54	31	US HOME CORP	GARRISON ROAD	Class 1 - Vacant Land	4.93	1.87	3.06	0.92	0.92	US Home Corp site. No ROW frontage/ not accessible.
33	56	13.01	WARETOWN VILLAGE ASSOCIATES LLC	ROUTE 532	Class 1 - Vacant Land	2.06	0.00	2.06	0.62	2.30	Jointly owned. Along Wells Mills Road. See mapping.
34	56	13.02	WARETOWN VILLAGE ASSOCIATES LLC	ROUTE 532	Class 1 - Vacant Land	2.01	0.00	2.01	0.60		
35	56	13.03	WARETOWN VILLAGE ASSOCIATES LLC	82 MOREY PLACE ROAD	Class 1 - Vacant Land	1.64	0.00	1.64	0.49		
36	56	13.04	WARETOWN VILLAGE ASSOCIATES LLC	76 MOREY PLACE ROAD	Class 1 - Vacant Land	1.29	0.02	1.27	0.38		
37	56	14	WARETOWN VILLAGE ASSOCIATES LLC	90 MOREY PLACE ROAD	Class 1 - Vacant Land	0.69	0.00	0.69	0.21		
38	56	5.05	REILLY, CHARLES	116 MOREY PLACE ROAD	Class 1 - Vacant Land	2.13	0.04	2.09	0.63	0.63	Small remaining acreage.
39	62	3.02	REHRER, VICTORIA L	ROUTE 9	Class 1 - Vacant Land	1.41	0.00	1.41	0.42	0.85	Adjacent properties, and jointly owned. See mapping.
40	62	3.03	REHRER, VICTORIA L	ROUTE 9	Class 1 - Vacant Land	1.42	0.00	1.42	0.43		
41	62	3.04	LIVIGI HOLDING CO LLC	ROUTE 9	Class 1 - Vacant Land	1.44	0.00	1.44	0.43	0.43	Small remaining acreage.
42	65	10	SHERIDAN, RAYMOND M & LINDA	BAY PARKWAY, OFF OF	Class 1 - Vacant Land	2.31	0.00	2.31	0.69	0.69	Small remaining acreage.
43	78	3.01	MOONEY, KYLE M	50 CHESTNUT STREET	Class 1 - Vacant Land	0.38	0.00	0.38	0.11	0.11	Small remaining acreage.



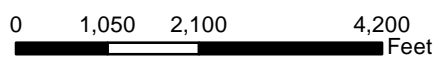
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Point Total: 1.5 Points

Site 3: Block 62, Lots 3.02, 3.03
Point Total: 3 Points

Site 1: Block 241.11, Lot 12.05
Point Total: 3 Points



T&M AND
 11 Tindall Road
 Middletown, NJ 07748-2792
 Phone: 732-671-6400
 Fax: 732-671-7365



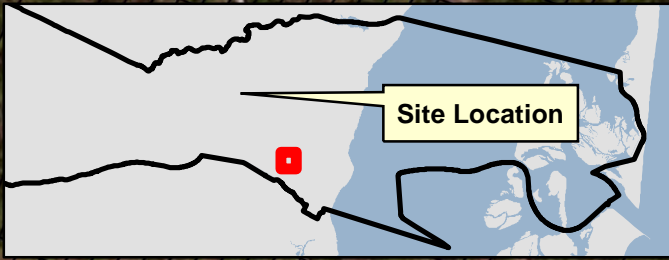
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Estimated Points	No Points	4 to 6 Points	Tax Parcel East of Parkway
Up to 2 Points	6 to 8 Points	Town Center	Vacant Sites in SSA Outside of TC
2 to 4 Points	8 to 10 Points		
10 Points and Up			

Estimated Points: Vacant Sites in Sewer Service Area and Outside of the Town Center
Ocean Township Ocean County, New Jersey



NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State-authorized.

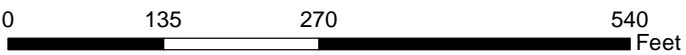


-  Vacant Sites in SSA Outside of TC
-  Boundary of Sewer Service Area Outside of Town Center
-  Parcel Boundary
-  Environmental Encumbrances



T&M Associates
 11 Tindall Road
 Middletown, NJ 07748
 Phone: 732-671-6400
 Fax: 732-671-7365

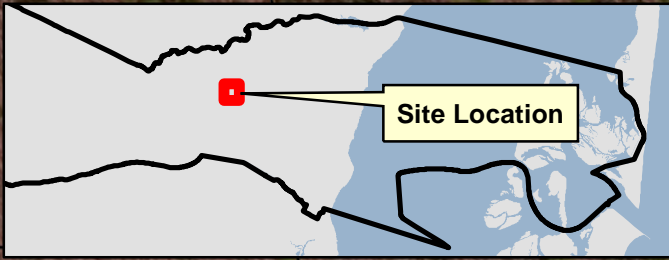
Vacant Sites in SSA and Outside of the Town Center
Buildout Site 1: Block 241.11, Lot 12.05
Buildout Site 3: Block 62, Lots 3.02, 3.03
Ocean Township, Ocean County, New Jersey







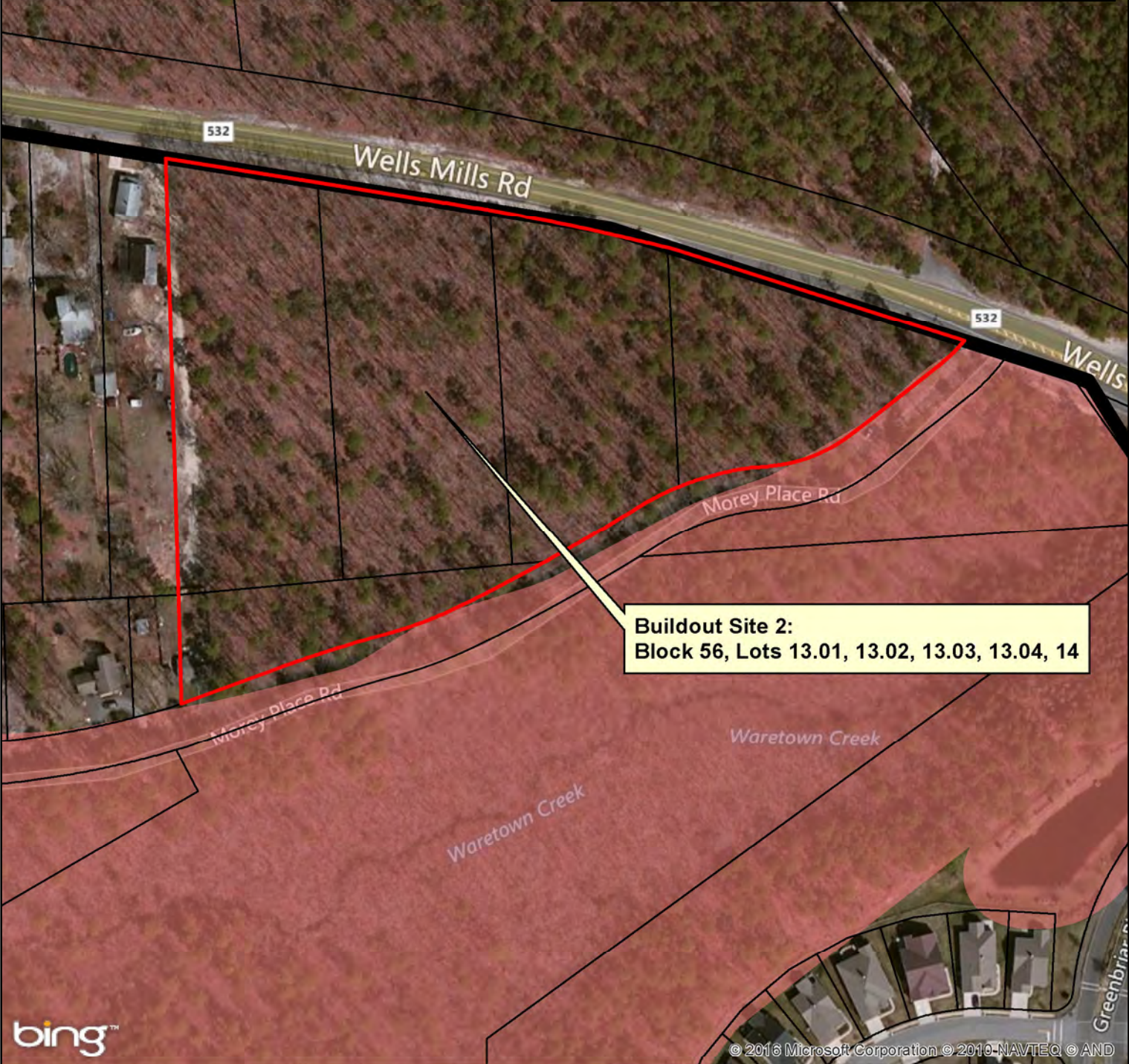
Prepared by: JAC, 10/4/2016
 Source: USFWS, USGS, FEMA, NJDEP, Ocean County, Ocean Township
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This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not state authorized.

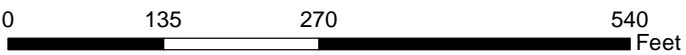


-  Vacant Sites in SSA Outside of TC
-  Boundary of Sewer Service Area Outside of Town Center
-  Parcel Boundary
-  Environmental Encumbrances



T&M Associates
 11 Tindall Road
 Middletown, NJ 07748
 Phone: 732-671-6400
 Fax: 732-671-7365

Vacant Sites in SSA and Outside of the Town Center
Buildout Site 2: Block 56, Lots 13.01, 13.02, 13.03, 13.04, 14
Ocean Township, Ocean County, New Jersey



Prepared by: JAC, 10/4/2016
 Source: USFWS, USGS, FEMA, NJDEP, Ocean County, Ocean Township
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This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not state authorized.

Appendix D: Site Suitability Analysis (Site C)

Site Suitability Analysis Report

Proposed Affordable Housing on: Block 131, Lot 4

Prepared March 2017 for:

Township of Ocean
Ocean County, New Jersey

Prepared by:



T&M Associates
11 Tindall Road
Middletown, NJ 07748

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Flood Hazards	2
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Zoning and Land Use	4
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APPENDIX A: N.J.A.C. 5:97-3.13 (Site Suitability Criteria and Consistency with the State Development and Redevelopment Plan)

APPENDIX B: Site Suitability Map



INTRODUCTION

Ocean Township has reviewed Block 131, Lot 4, which contains a total of about 15.27 acres and is mapped in Appendix B, as a potential site for the development of affordable housing in accordance with the recommendations of the Ocean Township Housing Plan Element and Fair Share Plan. State regulations require that sites designated to produce affordable housing conform to the requirements of N.J.A.C. 5:97-3.13, which stipulates that sites designated to produce affordable housing shall be available, approvable, developable, and suitable, according to the following criteria:

1. The site has a clear title and is free of encumbrances that preclude development of affordable housing;
2. The site is adjacent to compatible land uses and has access to appropriate streets;
3. Adequate sewer and water capacity, as defined under N.J.A.C. 5:97-1.4, shall be available to the site or the site is subject to a durational adjustment pursuant to N.J.A.C. 5:97-5.4; and,
4. The site can be developed consistent with the Residential Site Improvement Standards, N.J.A.C. 5:21, where applicable. Deviations from those standards are to be done in accordance with N.J.A.C. 5:21-3.

N.J.A.C. 5:97-3.13 further requires an examination of a Site's location on the policy map of the *New Jersey State Development and Redevelopment Plan* (State Plan), and a review of the presence of wetlands, Category 1 waterways, flood hazard areas, and steep slope constraints. Consideration to the presence of sites and districts listed on the New Jersey or National Register of Historic Places must also be given, in addition to the availability of the infrastructure needed for development.

On behalf of Ocean Township, T&M Associates has reviewed the subject property for conformance to the site suitability criteria of N.J.A.C. 5:97-3.13. Based on its review, T&M has concluded that the subject property is a suitable site.



SITE SUITABILITY ANALYSIS

The following sections apply the regulations of N.J.A.C. 5:97-3.13 to the review of the subject property, which the township has reviewed for the development of affordable housing.

Location on the State Plan Policy Map

The subject site is located within Planning Area 2 (PA 2; Suburban Planning Area). As indicated by N.J.A.C. 5:97-3.13(b)1, the areas contained by Planning Area 2 are the preferred location for a municipality to address its fair share obligation.

Special Planning Areas

The proposed site is located within an area that is regulated by the Division of Coastal Resources of the New Jersey Department of Environmental Protection (NJDEP). Specifically, the proposed site is located within the CAFRA Zone (Coastal Suburban Planning Area) and the Waretown Town Center (TC-MXD Zone District).

Wetlands

There is a tract of approximately 2.64 acres of wetlands in the northeastern corner of the property.

Flood Hazards

This site is located entirely outside of any mapped flood hazard areas.

Category 1 Waterways

NJDEP mapping indicates that there are no mapped Category 1 waterways located onsite.

Steep Slopes

The site is free of steep slope constraints.

Areas Listed on the New Jersey or National Registers of Historic Places

The subject tract contains no sites or districts that are listed on the New Jersey or National Registers of Historic Places, or in the surrounding areas that are mapped in Appendix B.



In addition to the above, mapping from the Office of Planning Advocacy indicates that there are no State Plan-identified critical historic sites located onsite, or in the surrounding areas that are mapped in Appendix B.

Availability of Sewer and Water Service

The site is located within the public water and sewer service area.

Presence of Known Contaminated Sites

Though not required by N.J.A.C. 5:97-3.13, this analysis has considered that the presence of a known contaminated site may affect site suitability. The GIS-based Known Contaminated Sites List of the NJDEP does not identify known contaminated sites onsite or in the immediate vicinity.

Access to Appropriate Streets

The proposed site has frontage and direct access to US Highway Route 9, County Route 613 (Main Street), Memorial Drive, and Birdsall Street, which are public and improved roadways.

Residential Site Improvement Standards

The site can be developed consistent with the applicable requirements of the Residential Site Improvement Standards, N.J.A.C. 5:21, and any deviations from those standards can be done in accordance with N.J.A.C. 5:21-3.

Site Availability

The property at this site is privately owned. There are no title problems or encumbrances that are known to the township that would preclude the use of the subject site for affordable housing. A title search is needed to conclusively determine that there are no title impediments to development of the site for affordable housing. The township anticipates that, subject to a confirming title search, the site will be able to be developed as an affordable housing site in accordance with the Ocean Township Housing Plan Element and Fair Share Plan.



Approvable Site

The site can be designed and approved for affordable housing development in accordance with the requirements of the applicable governmental agencies with jurisdiction over the site.

ZONING AND LAND USE

The site is located within the TC-MXD (MXD Town Center Redevelopment Sub District) zone. The redevelopment plan that governs the TC-OC zone district provides for residential development with an affordable housing set-aside.

The site is centrally located within the Waretown Town Center, the area of the municipality that that township anticipates will receive the majority of the development activity in the township in the future. Adjacent and to the east and south of the subject property are single family residential developments. To the west and across US Route 9 is another portion of the TC-MXD zone district, developed with the Shoprite shopping center and mixed-use development along Memorial Drive and Route 9. To the north of the site are scattered commercial and residential uses.

CONCLUSION

Based on the foregoing analysis, the subject site meets the site suitability planning criteria of N.J.A.C. 5:97-3.13 for the development of affordable housing.



*Site Suitability Analysis
Block 131, Lot 4 (Tradewinds Site)
Ocean Township, Ocean County, New Jersey*

**APPENDIX A: N.J.A.C. 5:97-3.13
(Site Suitability Criteria and
Consistency with the State
Development and Redevelopment
Plan)**



5:97-3.13 Site Suitability Criteria and Consistency with the State Development and Redevelopment Plan

- a) Sites designated to produce affordable housing shall be available, approvable, developable and suitable, according to the following criteria:
1. The site has a clear title and is free of encumbrances which preclude development of affordable housing;
 2. The site is adjacent to compatible land uses and has access to appropriate streets;
 3. Adequate sewer and water capacity, as defined under N.J.A.C. 5:97-1.4, shall be available to the site or the site is subject to a durational adjustment pursuant to N.J.A.C. 5:97-5.4; and
 4. The site can be developed consistent with the Residential Site Improvement Standards, N.J.A.C. 5:21, where applicable. Deviations from those standards are to be done in accordance with N.J.A.C. 5:21-3.
- b) Sites designated to produce affordable housing shall be consistent with the State Development and Redevelopment Plan and shall be in compliance with the rules and regulations of all agencies with jurisdiction over the site, including, but not limited to:
1. Sites that are located in Planning Areas 1 or 2 or located within a designated center or located in an existing sewer service area are the preferred location for municipalities to address their fair share obligation.
 2. Municipalities or developers proposing sites located in Planning Areas 3, 4, 4B, 5 or 5B that are not within a designated center or an existing sewer service area shall demonstrate to the Council that the site is consistent with sound planning principles and the goals, policies and objectives of the State Development and Redevelopment Plan. The Council may seek a recommendation from the Executive Director of the Office of Smart Growth on the consistency of the site with sound planning principles and the goals, policies and objectives of the State Development and Redevelopment Plan.
 3. Sites within the areas of the State regulated by the Pinelands Commission, Highlands Water Protection and Planning Council, Land Use Regulation Division of DEP and the New Jersey Meadowlands Commission, shall adhere to the land use policies delineated in The Pinelands Comprehensive Management Plan, N.J.A.C. 7:50; The Highlands Water Protection and Planning Act rules, N.J.A.C. 7:38; the Coastal Permit Program Rules, N.J.A.C. 7:7; the Coastal Zone Management Rules, N.J.A.C. 7:7E; and the Zoning Regulations of the New Jersey Meadowlands Commission, N.J.A.C. 19:3, where applicable.
 4. The portions of sites designated for construction shall adhere to wetland constraints as delineated on the New Jersey DEP Freshwater Wetlands Maps; or as delineated on-site by the U.S. Army Corps of Engineers or DEP, whichever agency has jurisdiction as regulated pursuant to the Freshwater



Site Suitability Analysis
Block 131, Lot 4 (Tradewinds Site)
Ocean Township, Ocean County, New Jersey

Wetlands Protection Act (N.J.S.A. 13:9B-1 et seq.) or Section 404 of the Federal Clean Water Act (33 U.S.C. §§ 1251 through 1375); Category One waterway constraints pursuant to N.J.A.C. 7:9B, 7:8, 7:13 and 7:15; flood hazard constraints as defined in N.J.A.C. 7:13; and steep slope constraints in excess of 15 percent if the municipality has an ordinance in place that uniformly regulates steep slope development throughout the municipality.

5. Historic and architecturally important sites and districts listed on the State or National Register of Historic Places shall be reviewed by the New Jersey State Historic Preservation Office for a recommendation pertaining to the appropriateness and size of buffer areas that will protect the integrity of the site. The review and written recommendation by the New Jersey Historic Preservation Office shall be included in the Housing Element and Fair Share Plan that is the subject of any petition before the Council. Within historic districts, a municipality may regulate low- and moderate-income housing to the same extent it regulates all other development.
- c) The Council may seek a recommendation from the appropriate regulating agency on the suitability of a proposed site. In taking such action, the Council may require the municipality to submit all necessary documentation to the agency so that a review and decision regarding the suitability of any site may be completed.

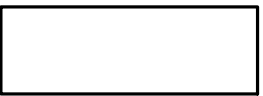
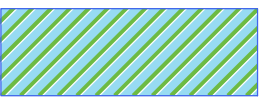



*Site Suitability Analysis
Block 131, Lot 4 (Tradewinds Site)
Ocean Township, Ocean County, New Jersey*

APPENDIX B: Site Suitability Map



Total Area: 15.27 Acres
Total Encumbered Area: 2.64 Acres
Wetland Area: 2.64 Acres
Floodplain Area: 0.00 Acres
Stream Corridor Area (Non-C1): 0.0 Acres
Stream Corridor Area (C1): 0.0 Acres
State Planning Area: Suburban (PA 2)
Zone District: TC-MXD
Sewer Service Area: Yes
Special Planning Area: CAFRA (PA 2)
Special Planning Area: Waretown Town Center
Historic Site: No

	Parcel Boundary
	Wetland Area
	Flood Hazard Area


T&M Associates
 11 Tindall Road
 Middletown, NJ 07748-2792
 Phone: 732-671-6400
 Fax: 732-671-7365

**Affordable Housing Suitability:
 Tradewinds Site (Block 131, Lot 4)
 Ocean Township, Ocean County, New Jersey**

Prepared by: JAC, March 1, 2017
 Source: NJDEP, FEMA, Ocean County GIS, Ocean Township, NJOSG, T&M Associates
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NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State-authorized.

Appendix E: Site Suitability Analysis (Site D)

Site Suitability Analysis Report

Proposed Affordable Housing on: Block 41, Lot 42.01

Prepared March 2017 for:

Township of Ocean
Ocean County, New Jersey

Prepared by:



T&M Associates
11 Tindall Road
Middletown, NJ 07748

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Flood Hazards	2
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Residential Site Improvement Standards	3
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APPENDIX A: N.J.A.C. 5:97-3.13 (Site Suitability Criteria and Consistency with the State Development and Redevelopment Plan)

APPENDIX B: Site Suitability Map



INTRODUCTION

Ocean Township has reviewed Block 41, Lot 42.01, which contains a total of about 9.32 acres and is mapped in Appendix B, as a potential site for the development of affordable housing in accordance with the recommendations of the Ocean Township Housing Plan Element and Fair Share Plan. State regulations require that sites designated to produce affordable housing conform to the requirements of N.J.A.C. 5:97-3.13, which stipulates that sites designated to produce affordable housing shall be available, approvable, developable, and suitable, according to the following criteria:

1. The site has a clear title and is free of encumbrances that preclude development of affordable housing;
2. The site is adjacent to compatible land uses and has access to appropriate streets;
3. Adequate sewer and water capacity, as defined under N.J.A.C. 5:97-1.4, shall be available to the site or the site is subject to a durational adjustment pursuant to N.J.A.C. 5:97-5.4; and,
4. The site can be developed consistent with the Residential Site Improvement Standards, N.J.A.C. 5:21, where applicable. Deviations from those standards are to be done in accordance with N.J.A.C. 5:21-3.

N.J.A.C. 5:97-3.13 further requires an examination of a Site's location on the policy map of the *New Jersey State Development and Redevelopment Plan* (State Plan), and a review of the presence of wetlands, Category 1 waterways, flood hazard areas, and steep slope constraints. Consideration to the presence of sites and districts listed on the New Jersey or National Register of Historic Places must also be given, in addition to the availability of the infrastructure needed for development.

On behalf of Ocean Township, T&M Associates has reviewed the subject property for conformance to the site suitability criteria of N.J.A.C. 5:97-3.13. Based on its review, T&M has concluded that the subject property is a suitable site.



SITE SUITABILITY ANALYSIS

The following sections apply the regulations of N.J.A.C. 5:97-3.13 to the review of the subject property, which the township has reviewed for the development of affordable housing.

Location on the State Plan Policy Map

The eastern half of the site is located within Planning Area 2 (PA 2; Suburban Planning Area), while the western half of the property is located within Planning Area 5 (PA 5; Environmentally Sensitive). The boundary separating the two State Planning Areas is consistent with the sewer service area boundary as well as the township's zoning boundary. As indicated by N.J.A.C. 5:97-3.13(b)1, the areas contained by Planning Area 2 are the preferred location for a municipality to address its fair share obligation.

Special Planning Areas

The proposed site is located within an area that is regulated by the Division of Coastal Resources of the New Jersey Department of Environmental Protection (NJDEP). Specifically, the proposed site is located within the CAFRA Zone (Coastal Fringe Planning Area) and the Waretown Town Center (TC-OC Zone District).

Wetlands

There is a tract of approximately 0.67 acres of wetlands in the western half of the property.

Flood Hazards

This site is located entirely outside of any mapped flood hazard areas.

Category 1 Waterways

NJDEP mapping indicates that there are no mapped Category 1 waterways located onsite.

Steep Slopes

The site is free of steep slope constraints.

Areas Listed on the New Jersey or National Registers of Historic Places

The subject tract contains no sites or districts that are listed on the New Jersey or National Registers of Historic Places, or in the surrounding areas that are mapped in Appendix B.



In addition to the above, mapping from the Office of Planning Advocacy indicates that there are no State Plan-identified critical historic sites located onsite, or in the surrounding areas that are mapped in Appendix B.

Availability of Sewer and Water Service

The eastern half of the site is located within the public water and sewer service area.

Presence of Known Contaminated Sites

Though not required by N.J.A.C. 5:97-3.13, this analysis has considered that the presence of a known contaminated site may affect site suitability. The GIS-based Known Contaminated Sites List of the NJDEP does not identify known contaminated sites onsite or in the immediate vicinity.

Access to Appropriate Streets

The proposed site has frontage and direct access to US Highway Route 9, which is a public and improved roadway.

Residential Site Improvement Standards

The site can be developed consistent with the applicable requirements of the Residential Site Improvement Standards, N.J.A.C. 5:21, and any deviations from those standards can be done in accordance with N.J.A.C. 5:21-3.

Site Availability

The property at this site is privately owned. There are no title problems or encumbrances that are known to the township that would preclude the use of the subject site for affordable housing. A title search is needed to conclusively determine that there are no title impediments to development of the site for affordable housing. The township anticipates that, subject to a confirming title search, the site will be able to be developed as an affordable housing site in accordance with the Ocean Township Housing Plan Element and Fair Share Plan.



Approvable Site

The site can be designed and approved for affordable housing development in accordance with the requirements of the applicable governmental agencies with jurisdiction over the site.

ZONING AND LAND USE

The site is located within two separate zone districts: the eastern half of the property is in the TC-OC (Town Center, Ocean Commons) redevelopment zone district, while the western half of the property is in the EC (Environmental Conservation) zone district. The redevelopment plan that governs the TC-OC zone district provides for residential development with an affordable housing set-aside.

The site is located within the Waretown Town Center, the area of the municipality that that township anticipates will receive the majority of the development activity in the township in the future. Adjacent and to the west of the subject property is the EC (Environmental Conservation) zone district, which is not sewered and is not intended for development.

CONCLUSION

Based on the foregoing analysis, the subject site meets the site suitability planning criteria of N.J.A.C. 5:97-3.13 for the development of affordable housing.



*Site Suitability Analysis
Block 41, Lot 42.01 (Ocean Commons)
Ocean Township, Ocean County, New Jersey*

**APPENDIX A: N.J.A.C. 5:97-3.13
(Site Suitability Criteria and
Consistency with the State
Development and Redevelopment
Plan)**



5:97-3.13 Site Suitability Criteria and Consistency with the State Development and Redevelopment Plan

- a) Sites designated to produce affordable housing shall be available, approvable, developable and suitable, according to the following criteria:
1. The site has a clear title and is free of encumbrances which preclude development of affordable housing;
 2. The site is adjacent to compatible land uses and has access to appropriate streets;
 3. Adequate sewer and water capacity, as defined under N.J.A.C. 5:97-1.4, shall be available to the site or the site is subject to a durational adjustment pursuant to N.J.A.C. 5:97-5.4; and
 4. The site can be developed consistent with the Residential Site Improvement Standards, N.J.A.C. 5:21, where applicable. Deviations from those standards are to be done in accordance with N.J.A.C. 5:21-3.
- b) Sites designated to produce affordable housing shall be consistent with the State Development and Redevelopment Plan and shall be in compliance with the rules and regulations of all agencies with jurisdiction over the site, including, but not limited to:
1. Sites that are located in Planning Areas 1 or 2 or located within a designated center or located in an existing sewer service area are the preferred location for municipalities to address their fair share obligation.
 2. Municipalities or developers proposing sites located in Planning Areas 3, 4, 4B, 5 or 5B that are not within a designated center or an existing sewer service area shall demonstrate to the Council that the site is consistent with sound planning principles and the goals, policies and objectives of the State Development and Redevelopment Plan. The Council may seek a recommendation from the Executive Director of the Office of Smart Growth on the consistency of the site with sound planning principles and the goals, policies and objectives of the State Development and Redevelopment Plan.
 3. Sites within the areas of the State regulated by the Pinelands Commission, Highlands Water Protection and Planning Council, Land Use Regulation Division of DEP and the New Jersey Meadowlands Commission, shall adhere to the land use policies delineated in The Pinelands Comprehensive Management Plan, N.J.A.C. 7:50; The Highlands Water Protection and Planning Act rules, N.J.A.C. 7:38; the Coastal Permit Program Rules, N.J.A.C. 7:7; the Coastal Zone Management Rules, N.J.A.C. 7:7E; and the Zoning Regulations of the New Jersey Meadowlands Commission, N.J.A.C. 19:3, where applicable.
 4. The portions of sites designated for construction shall adhere to wetland constraints as delineated on the New Jersey DEP Freshwater Wetlands Maps; or as delineated on-site by the U.S. Army Corps of Engineers or DEP, whichever agency has jurisdiction as regulated pursuant to the Freshwater



Site Suitability Analysis
Block 41, Lot 42.01 (Ocean Commons)
Ocean Township, Ocean County, New Jersey

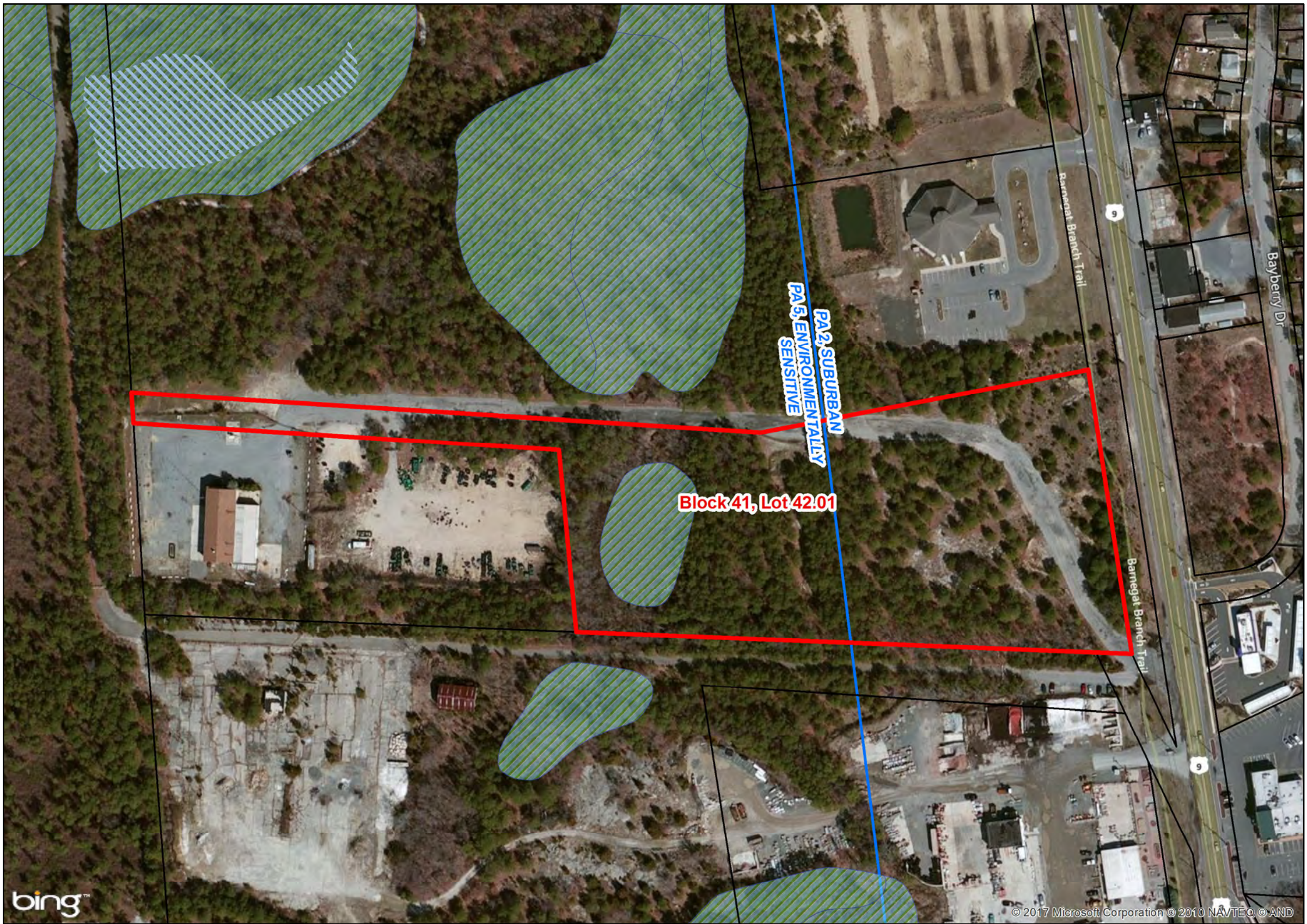
Wetlands Protection Act (N.J.S.A. 13:9B-1 et seq.) or Section 404 of the Federal Clean Water Act (33 U.S.C. §§ 1251 through 1375); Category One waterway constraints pursuant to N.J.A.C. 7:9B, 7:8, 7:13 and 7:15; flood hazard constraints as defined in N.J.A.C. 7:13; and steep slope constraints in excess of 15 percent if the municipality has an ordinance in place that uniformly regulates steep slope development throughout the municipality.

5. Historic and architecturally important sites and districts listed on the State or National Register of Historic Places shall be reviewed by the New Jersey State Historic Preservation Office for a recommendation pertaining to the appropriateness and size of buffer areas that will protect the integrity of the site. The review and written recommendation by the New Jersey Historic Preservation Office shall be included in the Housing Element and Fair Share Plan that is the subject of any petition before the Council. Within historic districts, a municipality may regulate low- and moderate-income housing to the same extent it regulates all other development.
- c) The Council may seek a recommendation from the appropriate regulating agency on the suitability of a proposed site. In taking such action, the Council may require the municipality to submit all necessary documentation to the agency so that a review and decision regarding the suitability of any site may be completed.








*Site Suitability Analysis
Block 41, Lot 42.01 (Ocean Commons)
Ocean Township, Ocean County, New Jersey*

APPENDIX B: Site Suitability Map



Total Area: 9.32 Acres
Total Encumbered Area: 0.67 Acres
Wetland Area: 0.67 Acres
Floodplain Area: 0.00 Acres
Stream Corridor Area (Non-C1): 0.0 Acres
Stream Corridor Area (C1): 0.0 Acres
State Planning Area: Suburban (PA 2), Environmentally Sensitive (PA 5)
Zone District: TC-OC, EC
Sewer Service Area: Partially (TC-OC Zone, in PA 2)
Special Planning Area: CAFRA (PA 3)
Special Planning Area: Waretown Town Center
Historic Site: No

	Ocean Commons Site (Block 41, Lot 42.01)
	Parcel Boundary
	Wetland Area
	Flood Hazard Area
	State Planning Area Boundary


T&M Associates
 11 Tindall Road
 Middletown, NJ 07748-2792
 Phone: 732-671-6400
 Fax: 732-671-7365

**Affordable Housing Suitability:
 Ocean Commons Site (Block 41, Lot 42.01)
 Ocean Township, Ocean County, New Jersey**

Prepared by: JAC, March 1, 2017
 Source: NJDEP, FEMA, Ocean County GIS, Ocean Township, NJOSG, T&M Associates
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NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State-authorized.

Appendix F: Schedule of Low- and Very Low-Income Units

Tabulation of Credit Allocation for Affordable Housing Sites: Very Low, Low, and Moderate Split
Ocean Township, Ocean County, New Jersey

PRIOR ROUND				
Caps/Bonuses on Obligation (Obligation = 236)	Requirement		Proposed	
	# of Units	% of Obligation	# of Units	% of Obligation
SENIOR CAP	59	25%	59	25%
RENTAL BONUSES	59	25%	59	25%
RENTAL OBLIGATION	59	25%	140	59.3%
L/M Split (Total Number of Units = 177)	# of Units	% of Total Units	# of Units	% of Total Units
LOW INCOME MINIMUM*	89	50%	91	51.4%
VERY LOW INCOME MINIMUM	N/A***		N/A***	
VERY LOW INCOME FAMILY MINIMUM	N/A***		N/A***	

PROSPECTIVE NEED / RDP				
Caps/Bonuses on RDP (Obligation = 322 / RDP = 53)	Requirement		Proposed	
	# of Units	% of RDP	# of Units	% of RDP
SENIOR CAP	13	25%	13	25%
RENTAL BONUSES	13	25%	13	25%
RENTAL OBLIGATION	14	25%	74	140%
FAMILY RENTAL OBLIGATION	7	12.5%	61	115%
FAMILY UNIT OBLIGATION	27	50%	61	115%
VL/L/M Split (Total Number of Units = 74)	# of Units	% of Total Units	# of Units	% of Total Units
LOW INCOME MINIMUM**	28	37%	28	38%
VERY LOW INCOME MINIMUM	10	13%	11	15%
VERY LOW INCOME FAMILY MINIMUM	5	6.5%	9	12.2%

	Total Units	Moderate / Low / Very Low Split				Senior / Family		Proposed / Constructed	
		Moderate	Low	Very Low		Age Restricted	Not Age Restricted	Proposed	Constructed
				Very Low Total	Very Low Family				
Site A	Willows at Waretown	76	36	29	11	0	76	0	0
	Prior Round Obligation	59	29	22	8	0	59	0	0
	Prospective Need / RDP	13	6	5	2	0	13	0	0
	Unmet Need	4	1	2	1	0	4	0	0
Site B	MSC Enterprises	2	1	1	0	0	0	2	2
	Prior Round Obligation	2	1	1	0	0	0	2	2
Site C	Tradewinds / Diamond Developers	29	14	11	4	4	0	29	0
	Prior Round Obligation	29	14	11	4	4	0	29	0
Site D	Ocean Commons	54	26	20	8	8	0	54	0
	Prospective Need / RDP	54	26	20	8	8	0	54	0
Site E	Town Center (TC Zone)	94	45	36	13	13	0	94	0
	Prior Round Obligation	87	42	33	12	12	0	87	0
	Prospective Need / RDP	7	3	3	1	1	0	7	0
	Overall Total	255	122	97	36	25	76	179	2
	Prior Round Total	177	86	67	24	16	59	118	2
	Prospective Need / RDP Total	74	35	28	11	9	13	61	0
	Unmet Need Total	4	1	2	1	0	4	0	0

*Pursuant to N.J.A.C. 5:93-2.20 Low- and moderate-income split, the municipal calculated need obligation shall be divided equally between low- and moderate-income households.

** Pursuant to N.J.S.A. 52:27D-329.1, at least 13 percent of the housing units made available for occupancy by low-income and moderate-income households will be reserved for occupancy by very low income households.

*** No requirement for the prior round.



K. — 2017 Affordable Housing Trust Fund Spending Plan

Affordable Housing Trust Fund Spending Plan

*Prepared for the:
Township of Ocean
Ocean County, New Jersey*

*Prepared: April 2017
Revised: September 2017*

Prepared by:



Eleven Tindall Road
Middletown, NJ 07748

APPROVED OCTOBER 12, 2017 BY THE TOWNSHIP COMMITTEE OF THE TOWNSHIP OF OCEAN

1. INTRODUCTION

The Township of Ocean, Ocean County, has prepared a Housing Plan Element and Fair Share Plan in accordance with the Municipal Land Use Law (N.J.S.A. 40:55D-1 et seq.), the Fair Housing Act (N.J.S.A. 52:27D-301) and applicable regulations of the New Jersey Department of Community Affairs (NJDCA). A development fee ordinance creating a dedicated revenue source for affordable housing was adopted by the Township on May 12, 2005. The Council on Affordable Housing (COAH) approved an amended development fee ordinance on October 6, 2004. The ordinance establishes the Township of Ocean Affordable Housing Trust Fund for which this Affordable Housing Trust Fund Spending Plan is prepared.

This Affordable Housing Trust Fund Spending Plan presents a plan for the expenditure of all monies in the Township's Affordable Housing Trust Fund, including monies collected through mandatory development fees and payments-in-lieu of construction. Monies to be collected as payments-in-lieu of the onsite construction of affordable units associated with the point-based system described in the Township's Housing Plan Element and Fair Share Plan are discussed and managed separately from other payments-in-lieu of construction, so as to facilitate their proper tracking and use. The management of payments-in-lieu associated with the point-based system is discussed in Section 6 of this spending plan.

2. AFFORDABLE HOUSING TRUST FUND REVENUES FOR CERTIFICATION PERIOD

As of December 31, 2016, the Affordable Housing Trust Fund had a balance of \$350,759.79. All development fees, payments-in-lieu of constructing affordable units on site, funds from the sale of units with extinguished controls, and interest generated by the fees are deposited in a separate interest-bearing account at TD Bank for the purposes of affordable housing. These funds shall be spent in accordance with the applicable regulations of the NJDCA, as described in the sections that follow.

To project revenue anticipated during the period through 2025, Ocean considered the following:

(a) Development Fees:

1. Residential and nonresidential developments which have had development fees imposed upon them at the time of preliminary or final development approvals;
2. All developments currently before the planning and zoning boards for development approvals that may apply for building permits and certificates of occupancy; and,

3. Future development that is likely to occur based on historical rates of development.

(b) Payments-in-Lieu-of-Construction:

Payments-in-lieu-of-construction that are not associated with the point-based system to capture future affordable housing opportunities as described in the Township's Housing Plan Element and Fair Share Plan are not anticipated.

Please note that Ocean anticipates receiving payments-in-lieu that are associated with its point-based system to capture future affordable housing opportunities as described in the Township's Housing Plan Element and Fair Share Plan and established by ordinance. The Township will use these payments to create new affordable units within Ocean. As described in Section 6 of this spending plan, however, payments-in-lieu associated with the point-based system will be managed separately from other payments-in-lieu of construction. Indeed, to facilitate proper tracking of payments-in-lieu associated with the point-based system, and to ensure that they are used specifically for the creation of new affordable units, they will be deposited into a sub-account of the Affordable Housing Trust Fund and will be separately identifiable from other payments-in-lieu. Additionally, the total amount and number of payments-in-lieu associated with the point-based system will be recorded on an ongoing, project-by-project basis by the Township's chief financial officer. Accordingly, payments-in-lieu associated with the Township's point-based system to capture future affordable housing opportunities are not recorded in the projection of Affordable Housing Trust Fund revenues that is presented below. Ocean will use payments-in-lieu of construction associated with the point-based system to create new affordable units by any means that is compliant with applicable rules and regulations.

(c) Other Funding Sources:

No additional funding sources are anticipated.

(d) Projected Interest:

Interest on the projected revenue in the municipal affordable housing trust fund at the current average interest rate.

PROJECTED AFFORDABLE HOUSING TRUST FUND REVENUES
January 1, 2017 through December 31, 2025

Source of Funds	2017	2018	2019	2020	2021	2022	2023	2024	2025	Total
Development Fees (Estimated):	—	—	—	—	—	—	—	—	—	—
Approved Development	\$1,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,000
Development Pending Approval	\$3,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$3,000
Projected Development	\$10,000	\$14,000	\$21,500	\$29,000	\$29,000	\$29,000	\$29,000	\$29,000	\$29,000	\$219,500
Payments-in-Lieu-of-Construction	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Funds from Other Sources	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Interest	\$300	\$300	\$400	\$500	\$500	\$500	\$500	\$500	\$500	\$4,000
Total	\$14,300	\$14,300	\$21,900	\$29,500	\$29,500	\$29,500	\$29,500	\$29,500	\$29,500	\$227,500

Ocean projects a total of \$227,500 in Affordable Housing Trust Fund revenues to be collected between January 1, 2017 and December 31, 2025, including interest earned on the account. This projected amount, when added to the Affordable Housing Trust Fund balance as of December 31, 2016, results in an anticipated total of \$578,259.79 to implement the Township’s Housing Plan Element and Fair Share Plan.

3. ADMINISTRATIVE MECHANISM TO COLLECT AND DISTRIBUTE MONIES FROM THE AFFORDABLE HOUSING TRUST FUND

The following procedural sequence for the collection and distribution of development fee revenues shall be followed by the Township of Ocean:

- (a) Collection of development fee revenues:

Collection of development fee revenues shall be consistent with Ocean Township’s development fee ordinance for both residential and non-residential developments in accordance with applicable regulations of the NJDCA and PL 2008, c. 46, sections 8 (C. 52:27D-329.2) and 32-38 (C. 40:55D-8.1 through C. 40:55D-8.7).

- (b) Distribution of development fee revenues:

The Municipal Housing Liaison instructs the Chief Financial Officer to release the required amount of funding to the recipient entity based on the type and nature of the affordable housing activity.

4. DESCRIPTION OF ANTICIPATED USE OF MONIES FROM THE AFFORDABLE HOUSING TRUST FUND

- (a) Rehabilitation/Present Need:

The Township's rehabilitation/present need is 28 units. As described in the Township's Housing Plan Element and Fair Share Plan, Ocean will address its 28-unit present need through a continuation of the Ocean Township Housing Rehabilitation Program. To fund this program, which will be administered by Community Grants, Planning & Housing, this spending plan allocates a total of \$280,000, which provides for an average of \$10,000 for each unit.

Further details of the Township's rehabilitation/present need compliance strategy are provided in its Housing Plan Element and Fair Share Plan.

- (b) Administrative Expenses:

As indicated in the administrative expense calculation that is provided on the next page, up to a total of \$115,651.96 may be used for administrative purposes in the period from January 1, 2017 through December 31, 2025.

ADMINISTRATIVE EXPENSE CALCULATION		
Actual Development Fees through 12/31/16		\$336,839.50
Actual Interest Earned through 12/31/16	+	\$13,920.29
Projected Development Fees from 01/01/17 through 12/31/25	+	\$223,500.00
Projected Interest from 01/01/17 through 12/31/25	+	\$4,000.00
Payments-in-Lieu-of-Construction and Other Deposits through 07/17/08	+	\$0.00
Total RCA Expenditures	-	\$0.00
Total	=	\$578,259.79
20 Percent of Total	× 0.2 =	\$115,651.96
Administrative Expenses through 12/31/16	-	\$0.00
Projected Maximum for Administrative Expenses from 01/01/17 through 12/31/25	=	\$115,651.96

A maximum of \$115,651.96 may be used for administrative expenses. The Township of Ocean projects that \$115,651.96 will be used for administrative purposes.

Projected administrative expenditures, subject to the 20 percent cap, are as follows:

- 1) Administration of affordable housing programs.
- 2) Payment of employee salary and benefits.
- 3) Payment of other miscellaneous administrative expenses and costs related to the preparation and implementation of the Township Housing Plan Element and Fair Share Plan.

It is important to note that the maximum to be spent for administration is limited to 20 percent of Affordable Housing Trust Fund revenue in any given year, and not 20 percent of what is anticipated to be collected through 2025. This cap may, however, be exceeded if: 1) the Township has expended less than 20 percent of historic revenues on administration; and, 2) the total administrative expenditure in the given year does not amount to more than 20 percent of the annual revenue in the given year, plus the difference between 20 percent of historic revenues and historic administration expenditures. Although this spending plan allocates more than 20 percent of annual revenues to administration, the Township meets both conditions for exceeding the 20 percent cap.

In the event that the Township needs less than \$115,651.96 to cover its administrative expenses, the unneeded amount will be reallocated toward: “Rehabilitation/Present Need”, as detailed in Subsection “a” of Section 4 of this spending plan; or, “Affordability Assistance”, as detailed in Subsection “c” of Section 4 of this spending plan.

(c) Affordability Assistance

Municipalities are required to spend a minimum of 30 percent of development fee revenue to render existing affordable units more affordable and one-third of that amount must be dedicated to very low-income households (i.e. households earning less than 30 percent of the regional median income). As indicated in the following affordability assistance calculation, a total of at least \$173,477.94 must be dedicated to affordability assistance in the case of the Township of Ocean, including at least \$57,825.98 to render units more affordable to very low-income households.

AFFORDABILITY ASSISTANCE CALCULATION		
Actual Development Fees through 12/31/16		\$336,839.50
Actual Interest Earned through 12/31/16	+	\$13,920.29
Projected Development Fees from 01/01/17 through 12/31/25	+	\$223,500.00
Projected Interest from 01/01/17 through 12/31/25	+	\$4,000.00
Less housing activity expenditures through 6/2/2008	-	\$0.00
Total	=	\$578,259.79
Calculate 30 percent	x .30 =	\$173,477.94
Less Affordability assistance expenditures through 12/31/2016	-	\$0.00
PROJECTED MINIMUM Affordability Assistance Requirement 1/1/2017 through 12/31/2025	=	\$173,477.94
PROJECTED MINIMUM Very Low-Income Affordability Assistance Requirement 1/1/2017 through 12/31/2025	÷ 3 =	\$57,825.98

Although Ocean must dedicate a minimum of only \$173,477.94 toward affordability assistance, it will dedicate \$182,607.83 toward affordability assistance. This is \$9,129.89 more than the required minimum.

Ocean has contracted with Community Grants, Planning & Housing, which is a qualified affordable housing services provider, to develop and administer its affordability assistance program in a manner that is compliance with applicable rules and regulations. Specifically, Ocean will allocate affordability assistance to very low-, low-, and moderate-income households in the form of grants to cover the first month’s rent for renters moving into deed-restricted, affordable units.

The policies and procedures of the township’s affordability assistance program are detailed in the *Affordability Assistance Policies and Procedures Manual*, which was prepared for the Township by Community Grants, Planning & Housing on September 14, 2017.

5. AFFORDABLE HOUSING TRUST FUND EXPENDITURE SCHEDULE

The Township of Ocean intends to use funds for the creation and/or rehabilitation of housing units. Where applicable, the creation/rehabilitation funding schedule below parallels the implementation schedule set forth in the Housing Plan Element and Fair Share Plan and is tabulated in the following table.

		Projected Expenditure Schedule January 1, 2017 – December 31, 2025									
Developments and Programs	Number of Units	2017	2018	2019	2020	2021	2022	2023	2024	2025	Total
Rehabilitation	25	\$30,000.00	\$30,000.00	\$30,000.00	\$30,000.00	\$40,000.00	\$30,000.00	\$30,000.00	\$30,000.00	\$30,000.00	\$280,000.00
Affordability Assistance	TBD	\$20,290.33	\$20,289.33	\$20,289.33	\$20,289.33	\$20,290.33	\$20,289.33	\$20,289.32	\$20,289.32	\$20,291.21	\$182,607.83
Subtotal		\$50,290.33	\$50,289.33	\$50,289.33	\$50,289.33	\$60,290.33	\$50,289.33	\$50,289.32	\$50,289.32	\$50,291.21	\$462,607.83
Administration	—	\$12,850.00	\$12,850.00	\$12,850.00	\$12,850.00	\$12,850.00	\$12,850.00	\$12,850.00	\$12,850.00	\$12,851.96	\$115,651.96
Total	—	\$63,140.33	\$63,139.33	\$63,139.33	\$63,139.33	\$73,140.33	\$63,139.33	\$63,139.32	\$63,139.32	\$63,143.17	\$578,259.79

6. PAYMENTS-IN-LIEU RESULTING FROM POINT-BASED SYSTEM TO CAPTURE FUTURE AFFORDABLE HOUSING OPPORTUNITIES

As described in the Township's Housing Plan Element and Fair Share Plan and established by ordinance, Ocean will impose an affordable housing set-aside of 15 percent on all multifamily rental and 20 percent of all multifamily sale development approvals throughout the Township. Developers, however, will be able to meet this set-aside requirement by either: providing all of the required set-aside onsite; or, at the developer's option, by providing a portion of the required set-aside onsite and a payment-in-lieu to fund the construction to fund the construction of the balance of the required set-aside on another site within the Township. Specific details of this program are provided in the Township's Housing Element and Fair Share Plan and in the Ocean Township Code Book.

Payments-in-lieu associated with the point-based system will be managed separately from other payments-in-lieu. Indeed, to facilitate proper tracking of payments-in-lieu associated with the point-based system and to ensure that they are used specifically for the creation of new affordable units, they will be deposited into a sub-account of the Affordable Housing Trust Fund and will be separately identifiable from other payments-in-lieu. Additionally, the total amount and number of payments-in-lieu associated with the point-based system will be recorded on an ongoing, project-by-project basis by the Township's chief financial officer.

Use of monies received as payments-in-lieu will be for the exclusive purpose of developing new affordable housing units within the Township. Specifically, payments-in-lieu will be used to create additional affordable units above the required twenty-percent set-aside within the Waretown Town Center. In particular, the township will prioritize opportunities to create new very low-income units.

7. EXCESS OR SHORTFALL OF FUNDS

All fees shall be committed for expenditure within four years from the date of collection pursuant to N.J.S.A. 52:27D-329.2d, effective July 17, 2008.

In the event of any expected or unexpected shortfall (i.e., in the event that anticipated revenues are insufficient to implement the plan), Ocean Township will address the shortfall through annual fee receipts, or with other available funding sources, as may be determined by the Township.

In the event that more funds than anticipated are collected, projected funds exceed the amount necessary to implement the Township's Housing Plan Element and Fair Share Plan, or Ocean Township reserves funds for affordable housing to meet a future affordable housing obligation, these excess funds will be used to fund an eligible affordable housing activity pursuant to applicable rules and regulations.

8. BARRIER FREE ESCROW

Collection and distribution of barrier free funds shall be consistent with Ocean Township's Affordable Housing Ordinance in accordance with N.J.A.C. 5:97-8.5.

9. SUMMARY

The Township of Ocean intends to spend affordable housing trust fund revenues pursuant to the applicable Department regulations and consistent with the housing programs outlined in its adopted Housing Plan Element and Fair Share Plan.

As of December 31, 2016, the Township had a total of \$350,759.79 for affordable housing development and administration. The Township anticipates an additional \$227,500 in Affordable Housing Trust Fund revenues to be collected between January 1, 2017 and December 31, 2025, including interest earned on the account. This results in an anticipated total of \$578,259.79 for affordable housing development and administration.

Ocean will dedicate: \$280,000.00 toward its rehabilitation program; \$182,607.83 toward affordability assistance; and, \$115,651.96 toward administrative costs. This results in a total of \$578,259.79 in expenditures for affordable housing development and administration.

**ATTACHMENT A:
SPENDING PLAN SUMMARY**

SPENDING PLAN SUMMARY		
Balance as of December 31, 2016 (Affordable Housing Trust Fund Account)		\$350,759.79
PROJECTED REVENUE (January 1, 2017 through December 31, 2025)		
Development fees	+	\$223,500.00
Payments-in-lieu of construction	+	\$0.00
Other funds	+	\$0.00
Interest	+	\$4,000.00
	TOTAL REVENUE	= \$578,259.79
EXPENDITURES (January 1, 2017 through December 31, 2025)		
Funds used for Rehabilitation	-	\$280,000.00
Affordability Assistance	-	\$182,607.83
Administration	-	\$115,651.96
	TOTAL PROJECTED EXPENDITURES	= \$578,259.79
	EXPECTED SHORTFALL	= \$0.00



L. — 2018 Redevelopment Plan — Waretown Town Center – Multifamily (Block 194, Lots 16, 17.01 and 17.02)

Redevelopment Plan Waretown Town Center – Multi Family

for Block 194, Lots 16, 17.01, & 17.02

First Reading / Introduction: November 8, 2018
Endorsed by Planning Board: December 6, 2018
Second Reading / Adoption: December 13, 2018

Prepared for:
Ocean Township Redevelopment Committee
Ocean County, New Jersey

Prepared by:



T&M Associates
11 Tindall Road
Middletown, NJ 07748

*The original of this document has been signed
and sealed in accordance with New Jersey Law.*

A handwritten signature in blue ink, appearing to read 'Stan Slachetka', is written over a horizontal line.

Stan Slachetka, PP, AICP,
NJ Professional Planner No.: 33LI00350800

ORDINANCE No. 2018 -19

ORDINANCE OF THE TOWNSHIP OF OCEAN, COUNTY OF OCEAN, STATE OF NEW JERSEY, ADOPTING A SITE SPECIFIC REDEVELOPMENT PLAN, BLOCK 194, LOTS 16, 17.01 & 17.02 IN ACCORDANCE WITH THE NEW JERSEY REDEVELOPMENT & HOUSING LAW, N.J.S.A. 40A:12A-1, ET SEQ.

BE IT ORDAINED by the Township Committee of the Township of Ocean, County of Ocean, State of New Jersey as follows:

SECTION I. The properties commonly known as Lots 16, 17.01 and 17.02 in Block 194 as shown on the official tax maps of Ocean Township is a portion of an area which has been designated as a “area in need of redevelopment” pursuant to the New Jersey Local Redevelopment & Housing Law, N.J.S.A. 40A:12A-1 et seq. The property in question is also located within the “Waretown Town Center” which was approved by the New Jersey State Planning Commission as part of the Township’s petition for State Plan Endorsement. The owner of the subject property has presented a proposed Redevelopment Plan to the Township’s designated redevelopment entity, the Township Committee of the Township of Ocean, so as to develop the subject property within the Waretown Town Center in a manner which advances the comprehensive planning goals and objectives of the Township. It is the intention of this Ordinance to adopt such a Redevelopment Plan for the subject property.

SECTION II. Adoption. - The Township of Ocean hereby adopts the attached Redevelopment Plan known as the “Waretown Town Center – Multi-Family Redevelopment Plan”

prepared for the Ocean Township Redevelopment Committee by T&M Associates and signed by Stan Slachetka, P.P., AICP, and attached hereto as Exhibit A.

SECTION III. In accordance with the provisions of the New Jersey Local Redevelopment & Housing Law, said Redevelopment Plan shall constitute an overlay in the (c)(2) Village Commercial Zoning District to permit the zoning set forth therein. The applicable land uses and lot and building requirements for the subject parcel shall be as set forth within said Redevelopment Plan attached hereto as Exhibit A.

SECTION IV. This Ordinance is specifically conditioned upon the approval of an amendment to the Township's Affordable Housing Plan and approved by the Superior Court of New Jersey and in the absence of such approval, this Redevelopment Ordinance shall be null and void. However, upon the execution of an amended Redevelopment Plan by the Court to incorporate the terms of this Redevelopment Plan, this Ordinance shall take effect. This Ordinance shall thereafter remain in effect.

SECTION V. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by a court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions hereof.

SECTION VI. This Ordinance shall take affect after second reading, publication and Court approval as set forth in Section IV.

NOTICE

NOTICE IS HEREBY GIVEN that the foregoing Ordinance was introduced and passed by the Township Committee of the Township of Ocean on first reading at a meeting held on the 8th day of November, 2018. The Ordinance will be considered for second and final reading at a meeting of the Township Committee which is scheduled for the 13th day of December, 2018, at 7:00 p.m., or as soon thereafter as the matter may be reached, at the Municipal Building located at 50 Railroad Avenue, Waretown, New Jersey, at which time the public is invited to ask questions, raise objections, or provide public comment with regard to the proposed adoption of this Ordinance.

DIANE B. AMBROSIO, RMC, Municipal Clerk

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1. Introduction

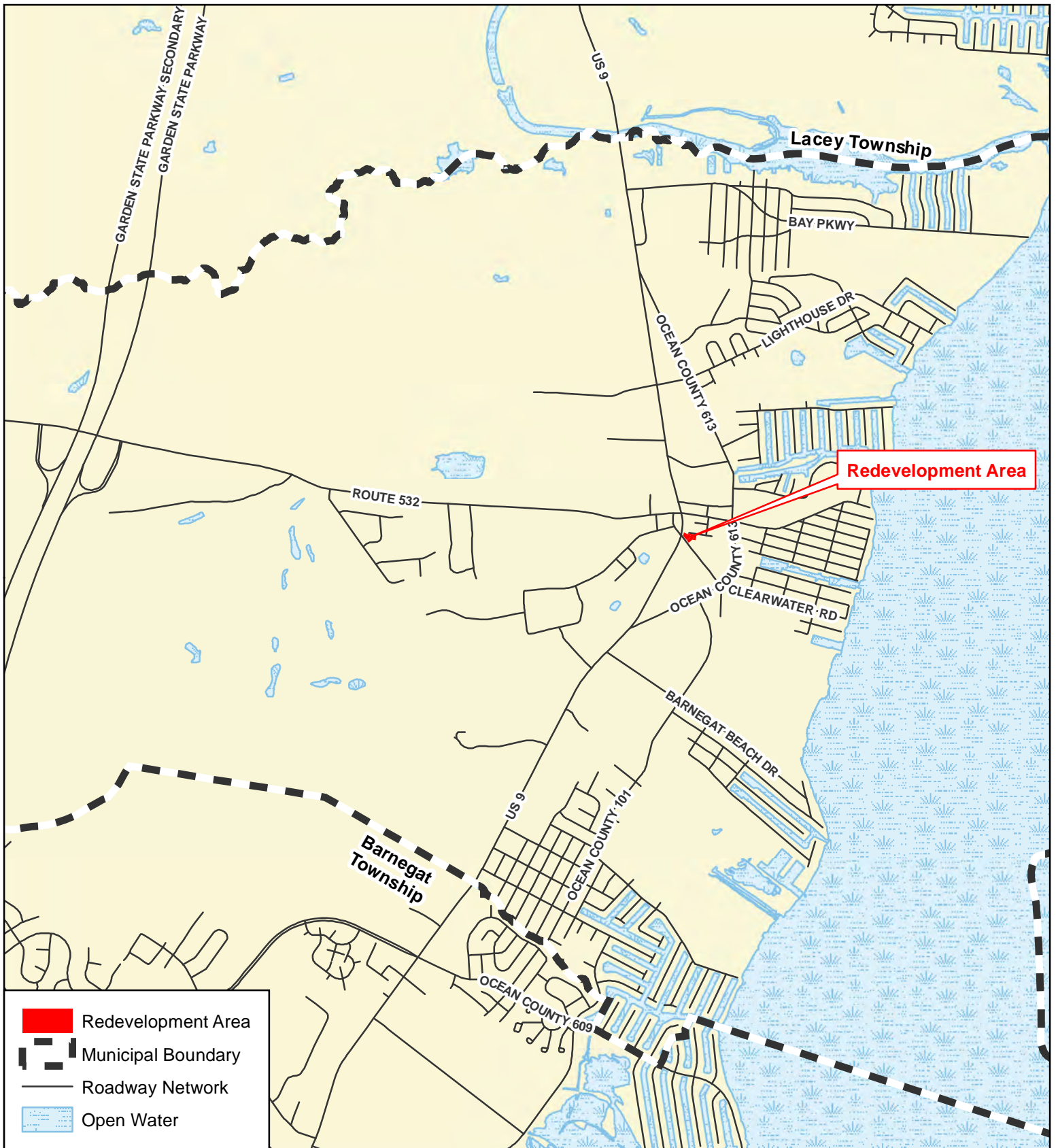
The Redevelopment Plan (the “Redevelopment Plan”) governs the redevelopment of a site located in a portion of the C-2 Village Commercial District, which was designated as “Area in Need of Redevelopment” as defined in the Local Redevelopment and Housing Law, N.J.S.A. 40A:12A-1 et seq. (the “LRHL”) by the Township Committee in 2000. The site also is located in the Waretown Town Center, which was approved by the New Jersey State Planning Commission as part of the Township’s successful petition for State Plan Endorsement. The Redevelopment Plan is to permit multifamily residential development in a manner consistent with the smart growth policies of the State Plan and intent of the Township to direct development into Waretown Town Center in a manner that advances the comprehensive planning goals and objectives of the Township.

The properties subject to this Redevelopment Plan are located at the northeast corner of US Highway 9 and Clearwater Road (as seen in Figures 1 and 2). The subject properties are comprised of three tax parcels listed on the Ocean Township tax map as Block 194, Lots 16, 17.01, and 17.02, constituting approximately 0.67 acres in land area or 29,130 square feet.

The easterly part of the property is undeveloped and wooded, while the portion to the west along the US 9 frontage is currently developed with a two-story residence that was converted to five apartment units at some point in the past.

Lot 16 was the subject of a previous development application to construct a single-family dwelling, however water and sewer service connection for the new dwelling could only be accomplished via main extensions from Oak Street, which were cost prohibitive. The proposed development anticipates utilizing the existing water and sewer connections that currently serve the building.

The property is currently developed with a multi-family residence containing five units that is proposed to be expanded with three additional units.



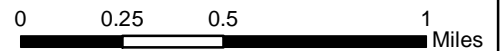
- Redevelopment Area
- Municipal Boundary
- Roadway Network
- Open Water



T&M Associates
 11 Tindall Road
 Middletown, NJ 07748
 Phone: 732-671-6400

Redevelopment Area Municipal Location Block 194, Lots 16, 17.01, & 17.02 Ocean Township, Ocean County, New Jersey

Prepared by: JAC, 10/30/2018
 Source: USFWS NWI, NJDOT, NJGIN, Ocean County,
 Ocean Township, T&M Associates
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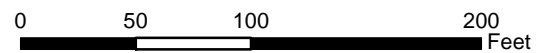




T&M Associates
 11 Tindall Road
 Middletown, NJ 07748
 Phone: 732-671-6400

Redevelopment Area Aerial Location Block 194, Lots 16, 17.01, & 17.02 Ocean Township, Ocean County, New Jersey

Prepared by: JAC, 10/30/2018
 Source: USFWS NWI, NJDOT, NJGIN, Ocean County,
 Ocean Township, T&M Associates
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2. Statutory Requirements

This Redevelopment Plan is written pursuant to Section 7 of the Local Redevelopment and Housing Law (“LRHL”) (N.J.S.A. 40A:12A-7.a.), which provides that “no redevelopment project shall be undertaken or carried out except in accordance with a Redevelopment Plan adopted by ordinances of the municipal governing body.” Pursuant to the requirements of the LRHL, the Redevelopment Plan shall include an outline for the planning, development, redevelopment, or rehabilitation of the redevelopment area sufficient to indicate:

1. Its relationship to definite local objectives as to appropriate land uses, density of population, and improved traffic and public transportation, public utilities, recreational and community facilities, and other public improvements.
2. Proposed land uses and building requirements in the redevelopment area.
3. Adequate provision for the temporary and permanent relocation, as necessary, of residents in the redevelopment area, including an estimate of the extent to which decent, safe, and sanitary dwelling units affordable to displaced residents will be available to them in the existing local housing market.
4. An identification of any property within the redevelopment area that the municipality envisions acquiring, in accordance with the Redevelopment Plan.
5. Any significant relationship of the Redevelopment Plan to: (a) the Master Plans of contiguous municipalities; (b) the Master Plan of the county in which the municipality is located; and (c) the State Development and Redevelopment Plan (SDRP), adopted pursuant to the “State Planning Act,” P.L. 1985, c. 398 (C.52:18A-196 et al.).

This Redevelopment Plan meets these statutory requirements as evidenced by the following sections of the plan.

3. Goals and Objectives

The goals and objectives of this Redevelopment Plan are as follows:

1. Establish a new Waretown Town Center – Multi Family (TC-MF) zone district to encourage the development of multi-family apartments.
2. Provide tax ratables for the Township through the redevelopment of the area.
3. Promote the overall economic and land use objectives of the Township’s Master Plan.
4. Encourage pedestrian-oriented development at densities and intensities that will help promote transit usage, interconnected uses, and businesses.
5. Ensure that all buildings are consistent with and enhanced by high-quality streetscape amenities.
6. Improve the aesthetic image of the Township.
7. Accommodate off-street parking in a convenient manner that does not interfere with the rhythm of the street network and building façades.
8. Direct development and redevelopment into the Waretown Town Center consistent with the smart growth policies of the State Plan.

4. Land Uses and Lot and Building Requirements

To implement this Redevelopment Plan consistent with the objectives stated herein, the properties subject to this Redevelopment Plan shall be redeveloped in accordance with the standards detailed in this Redevelopment Plan, except where otherwise noted. **This Redevelopment Plan establishes the Waretown Town Center – Multi Family (TC-MF) zone district, which supersedes the underlying use, bulk, and design standards of the Township’s Zoning Regulations.**

4.1 Land Uses

4.1.1 Permitted Uses

The following uses shall be permitted in the TC-MF zone district created as part of this Redevelopment Plan:

1. Residential apartments

4.1.2 Accessory Uses

The following accessory uses shall be permitted subject to applicable provisions under Chapter 410, Articles III, IV, V, VI, and VII of the Township Code.

1. Required off-street parking and loading space
2. Uses accessory and incidental to the principal use

4.2 Lot and Building Requirements

Table 2 outlines the lot and bulk standards of the TC-MF Zone District:

Table 1: Lot and Building Requirements

Standard	Requirement
Minimum Tract Area	25,000 sq. ft.
Minimum Lot Width	100 ft.
Minimum Front Yard Setback (US Highway 9)	15 ft.
Minimum Front Yard Setback (Clearwater Drive)	0 ft.
Minimum Side Yard Setback	10 ft.
Minimum Rear Yard Setback	100 ft.
Maximum Permitted Residential Density	12 du/acre
Maximum Building/Lot Coverage	30%
Maximum Impervious Coverage	50%

5. Design Standards

Any proposed redevelopment of the redevelopment area shall comply with the design standards that are outlined in the following sub-sections. Any elements not covered by these standards will be subject to other appropriate provisions of this Redevelopment Plan and/or the Ocean Township Code. All redevelopment activities are also subject to applicable state and federal requirements, and the redeveloper shall be responsible for ensuring compliance with all applicable standards and obtaining necessary state and federal permits prior to the issuance of any construction permits.

The standards presented here are meant to provide some degree of flexibility to account for market and regulatory fluctuations, while ensuring that the goals and objectives of the Redevelopment Plan are achieved.

5.1 Architectural Design Standards

All architectural elements and building materials are subject to review and approval by the Ocean Township Committee, acting as the redevelopment entity and shall be in substantial conformance with the architectural exhibits presented during the designation hearing, which are included in the appendix of this report and referenced herein.

Additionally, there are specific architectural embellishments indicated on the exhibits that shall be modified as follows:

1. The standing seam metal roof element shown on the north elevation shall be carried along the full length of the wall.
2. The Azek trim board used along the base of the cantilever shown in the south elevation shall be extended along the full length of the wall.
3. The Azek trim board used along the base of the cantilever shown in the east elevation should be continued along the east elevation of the building addition.
4. The building's windows shall provide grilles.

5.2 Streetscape

Streetscape improvements including street trees, benches, decorative paving and historic lighting shall be provided along both street frontages.

1. Street lighting along the US 9 frontage shall be substantially similar in style, color and height to that provided along the frontage of the adjacent property to the north (CVS) and shall be L.E.D. (light emitting diodes) or equivalent energy saving technology available at the time of construction, dependent upon availability of suitable architectural lighting.
2. Curb and sidewalk shall be continued from the northerly property along US 9 and extend to the first parking area on the Clearwater Drive street frontage.
3. The building's entrance sidewalk should connect to the public sidewalk along the US 9 frontage.

4. Landscaping consisting of trees, shrubs and lawn shall be provided in the front yard and extend to the curb line.

5.3 Landscaping

Any portion of the Redevelopment Area that is not absolutely required for buildings or parking will be devoted to public areas and green space. These areas will be designed to provide amenities for the residents, protection for environmentally sensitive resources and mitigation of “heat island” effects.

5.4 Lighting Requirements

The following standards shall apply for lighting within the redevelopment area:

5. All exterior lighting shall be designed to prevent glare onto adjacent properties.
6. Pedestrian pathways shall be clearly marked and well-lit.
7. Lighting should be sufficient for security and identification without allowing light to trespass onto adjacent sites.
8. Light fixtures attached to the exterior of a building shall be architecturally compatible with the style, materials, colors, and details of the building and shall comply with Township building codes.
9. The type of light source used on the exterior of buildings, parking areas, pedestrian walkways, and other areas of site, as well as the light quality produced, shall be the same or compatible.
10. No façade lighting shall be permitted.

5.5 Parking Requirements

Where not provided in the following sub-sections of this Redevelopment Plan, regulating standards for parking areas shall be as required in the Ocean Township Code. The required number, size and configuration of parking spaces for residential uses shall conform to the Residential Site Improvement Standards (RSIS).

Parking lot layout, landscaping, buffering, and screening shall be provided to prevent or where possible minimize spillover light, glare, noise, or exhaust fumes onto adjacent properties. Massing of evergreen shrubs and small trees shall be provided along the easterly perimeter of all parking areas. Native and non-invasive plant species shall be prioritized over other plant materials.

5.6 Refuse and Recycling Requirements

The storage of refuse shall be provided inside building(s) or within an outdoor area in the rear of the property which shall be screened by masonry walls that match the color and style used on the principal building. The maximum height of these walls shall not exceed seven feet and be fitted with access gates and man-door.

6. Affordable Housing Requirements

Any redevelopment project that includes multi-family residential development shall include units affordable to low and moderate-income households in accordance with the Ocean Township Housing Element and Fair Share Plan and associated ordinances. Specifically, any multifamily residential development undertaken in accordance with this Redevelopment Plan shall include a set-aside for affordable housing in accordance with the terms and conditions set forth in Chapter 410, Article XXIII Affordable Housing of the Ocean Township Municipal Code, which is incorporated by reference herein and made a part hereof, with the exception of §410-182E(5)(c) as it relates to bedroom distribution of affordable housing units. One of the affordable housing units shall be a very low-income unit. Additionally, any such multifamily development also is subject to the Township's Affordable Housing Point System Ordinance at §410-183. The terms and conditions for the provision of affordable housing shall be incorporated into all development approvals and shall be further set forth in the redevelopment agreement between the redeveloper and Ocean Township.

7. Planning Relationship

The following sub-sections outline the Redevelopment Plan's relationship to the local objectives in the municipal master plan, as well as to master plans of contiguous municipalities, Ocean County, and the State Development and Redevelopment Plan, which are required pursuant to the LRHL (N.J.S.A. 40A:12A-7.a.).

7.1 Relationship to the Ocean Township Master Plan

This Redevelopment Plan is substantially consistent with the 1999 Master Plan Update, the 2005 Master Plan Reexamination Report, and the 2015 Master Plan Reexamination Reports. As evidenced below, this Redevelopment Plan supports the following Master Plan goals and objectives:

7.1.1 Master Plan Update (1999)

1. Encourage development of new residential housing units in areas that are served with adequate infrastructure including water, sewer, stormwater management, and streets, so as to minimize any negative environmental impacts.

7.1.2 Master Plan Reexamination Report (2005)

1. Create an attractive, diverse, and vibrant center consisting of mixed-use development, open space, civic buildings, and residential uses.
2. Develop a Center at a density that creates a sense of place, encourages pedestrian activity, and uses infrastructure efficiently.
3. Encourage a variety of housing types suiting the needs of all income and age levels.
4. Incorporate low- and moderate-income housing in Centers in accordance with the State Development and Redevelopment Plan and Council on Affordable Housing regulations.

7.1.3 Master Plan Reexamination Report (2015)

The 2015 Master Plan Reexamination Report reaffirmed the aforementioned goals and objectives from the 1999 Master Plan Update and the 2005 Master Plan Reexamination Report.

7.2 Relationship to Contiguous Municipalities' Plans

Ocean Township is in Ocean County and is bordered by Lacey Township to the north and Barnegat Township to the south. The Township's sedge islands in the Barnegat Bay are also bordered by Island Beach State Park (Berkeley Township), Barnegat Light Borough, and Long Beach Township. However, the properties subject to this Redevelopment Plan are not located within close proximity to any of the adjacent municipalities, and as such there are no impacts expected on adjacent municipalities.

7.3 Relationship to the Ocean County Master Plan

The Ocean County Comprehensive Master Plan was adopted in 2011. This Redevelopment Plan is substantially consistent with the following recommendations from the 2011 Comprehensive Master Plan:

1. Encourage municipalities to grow in a fashion that is true to smart growth principals and Town Center design standards, allowing for a mix of land uses in a singular area to increase accessibility by all residents.
2. Continue to encourage programs that assist in the increased supply of safe, decent, sustainable, and affordable housing.
3. Encourage land use planning strategies such as low impact design to preserve open space and maximize the natural infiltration of stormwater.

7.4 Relationship to the State Development and Redevelopment Plan

The properties subject to this Redevelopment Plan area located in the Waretown Town Center, designated through Plan Endorsement in 2005. This Redevelopment Plan is compatible with the State Plan's intention for the Centers, which is: to provide for much of the state's future development; provide growth in centers and other compact forms; protect the character of existing stable communities; protect natural resources; redesign areas of sprawl; reverse the trend toward further sprawl; and revitalize cities and towns.

8. Administrative and Procedural Requirements

The Township may use the redevelopment powers granted to it pursuant to the LRHL in order to effectuate this Redevelopment Plan as described in the following subsections.

8.1 Acquisition

This redevelopment area is a **Non-Condensation Redevelopment Area**. As such, Ocean Township will **not** use the power of eminent domain to acquire any properties in the redevelopment area. The Township anticipates any acquisition will be effectuated via private transactions by landowners and developers.

8.2 Relocation

The property owner(s), in cooperation with the Township and/or its agencies, shall be responsible for assisting in the relocation of all occupants displaced as a result of any redevelopment occurring due to this Redevelopment Plan. The Township and/or its agencies will be responsible for preparing a Workable Relocation Assistance Plan (WRAP), which must be filed and approved by the New Jersey Department of Community Affairs prior to the physical relocation of any households or businesses. Relocation compensation and assistance will be provided in accordance with the approved WRAP.

8.3 Conveyance of Land

The Township may sell, lease, or otherwise convey to a redeveloper for redevelopment, any or all of the properties owned by the Township, subject to restrictions, controls, and requirements as outlined in this Redevelopment Plan. The Township may also use its redevelopment powers pursuant to the LRHL to enter into other agreements with a designated redeveloper or redevelopers in connection with the implementation of the Redevelopment Plan.

8.4 Redeveloper Selection

The Township may enter into agreements with a designated redeveloper or redevelopers in connection with the construction of any aspect of the Redevelopment Plan, including off-site improvements. Redevelopment under the terms of this Redevelopment Plan shall only be undertaken pursuant to a redevelopment agreement entered into between the Township and a designated redeveloper, which may be the property owner. The Township may undertake a developer selection process that will provide the qualified redeveloper(s) to implement the Redevelopment Plan in a manner that is in the best interest of the Township.

The following restrictions and controls on redevelopment are hereby imposed in connection with the selection of redeveloper(s) for any property or properties included in the redevelopment area and shall apply notwithstanding the provisions of any zoning or building ordinance or other regulations now or hereafter in force:

1. The redeveloper(s), its successors, or assignees, shall develop the specified improvements in accordance with the Redevelopment Plan.
2. Until the required improvements are completed and a certificate of completion is issued, the redeveloper covenants provided for in N.J.S.A. 40A:12A-9 and imposed in any redevelopment agreement, lease, deed, or other instruments shall remain in full force and effect.
3. The redevelopment agreement(s) shall contain provisions to assure the timely construction of the redevelopment project, the qualifications, financial capability, and financial guarantees of the redeveloper(s) and any other provisions necessary to assure the successful completion of the project. For the purposes of this section, a “timely construction” schedule shall be provided and outlined in detail in the redevelopment agreement(s).

8.5 Redevelopment Entity Review

The Township Committee, acting as the redevelopment entity, shall review all proposed redevelopment projects within the redevelopment area to ensure that such project(s) is consistent with the Redevelopment Plan and any relevant redeveloper agreement(s). As part of its review, the Township Committee may require the redeveloper to submit its proposed project to a technical review committee or subcommittee of the Township Committee. The technical review committee may include members of the Township Committee and any other members and/or professionals as determined necessary and appropriate by the Township. The technical review committee shall make its recommendations to the Township Committee.

In undertaking its review, the Township Committee shall determine whether the proposal is consistent with this Redevelopment Plan and any relevant redeveloper agreement(s). In addition, the review may address the site and building design elements of the project to ensure that the project adequately addresses the goals and objectives of the plan.

8.6 Planning Board Review Process

Pursuant to N.J.S.A. 40A12A-13, all development applications for development of sites governed by this Redevelopment Plan shall be submitted to the Planning Board for review and approval. The following provisions shall govern review of any proposed redevelopment project(s) within the redevelopment area:

1. No building permit shall be issued by the construction or zoning official for any work resulting in a change of intensity of development or change of use for any properties or buildings within the redevelopment area.
2. Regular maintenance and minor repair shall not require Planning Board review and approval.
3. The Planning Board shall conduct site plan and subdivision review, if applicable, pursuant to N.J.S.A. 40:55d-1, et seq. and the Township’s Planning and Development Regulations.

Redevelopment Plan
Ocean Township, Ocean County, New Jersey

4. As part of site plan approval, the Planning Board may require the redeveloper to furnish performance guarantees pursuant to N.J.S.A. 40:55D-53 and as required in the Township's Planning and Development Regulations. The performance guarantees shall be in favor of Ocean Township, and the Township Engineer shall determine the amount of any performance guarantees.
5. Any subdivision of lots or parcels of land within the redevelopment area shall be in compliance with the Redevelopment Plan and reviewed by the Planning Board pursuant to the LRHL and N.J.S.A. 40A:55D-1 et seq.
6. Once a property has been redeveloped in accordance to the Redevelopment Plan, it may not be converted to any use not expressly permitted in this Redevelopment Plan. No non-conforming use, building, or structure may be expanded or made more non-conforming in nature after adoption of this Redevelopment Plan. A use or structure not conforming to the requirements of this Redevelopment Plan may not be reconstructed in the event of its destruction. The Planning Board shall determine the issue of whether the non-conforming use or building structure has been "destroyed."
7. The Planning Board may grant relief from the bulk, parking, lighting, architectural, landscaping, and/or sign requirements of this Redevelopment Plan where there is a hardship or where the granting of such relief will promote the purpose of said plan consistent with the standards established at N.J.S.A. 40:55D-70(c). In no event shall relief be granted by the Planning Board to provide a use or facility that is not permitted by the Redevelopment Plan.
8. The regulations and controls of this Redevelopment Plan shall be implemented, where applicable, by appropriate covenants or other provisions, and through agreements between the redeveloper(s) and the Township pursuant to N.J.S.A. 40A:12A-8 and 40A:12A-9.
9. All definitions contained within this Redevelopment Plan shall prevail. In the absence of a definition, the definition found within the Township's Zoning Ordinance shall prevail. All definitions inconsistent with N.J.S.A. 40A:12A-3 shall be considered invalid.
10. A redeveloper shall be required to pay all applicable escrow fees and other required charges in accordance with applicable provisions of the Township's Planning and Development Regulations and State Law. Additionally, a redeveloper shall be required to pay their proportional share of the costs of any studies, plans, reports, or analysis prepared by the Township or its designated redevelopment entity as part of this Redevelopment Plan. Any such payments required to reimburse the Township shall be specified in the redevelopment agreement.

The aforementioned provisions are all subject to approval by ordinance and/or resolution according to law. If a court of competent jurisdiction finds any word, phrase, clause, section, or provision of this Redevelopment Plan to be invalid, illegal, or unconstitutional, the word, phrase, section, or provision shall be deemed severable, and the remainder of the Redevelopment Plan and implementing ordinances shall remain in full force and effect.

8.7 Waivers

Variation from the requirements set forth in this Redevelopment Plan may be necessary in certain unusual circumstances or to meet state or federal permit requirements. In such an instance, the Planning Board may waive certain bulk, parking, or design requirements if the designated redeveloper demonstrates that such a waiver will not substantially impair the intent of the Redevelopment Plan and will not present a substantial detriment to the public health, safety, and welfare. No changes in the permitted uses, density and intensity of use, land use plan, or regulating plan shall be permitted without an amendment to the Redevelopment Plan.

8.8 Duration of the Plan

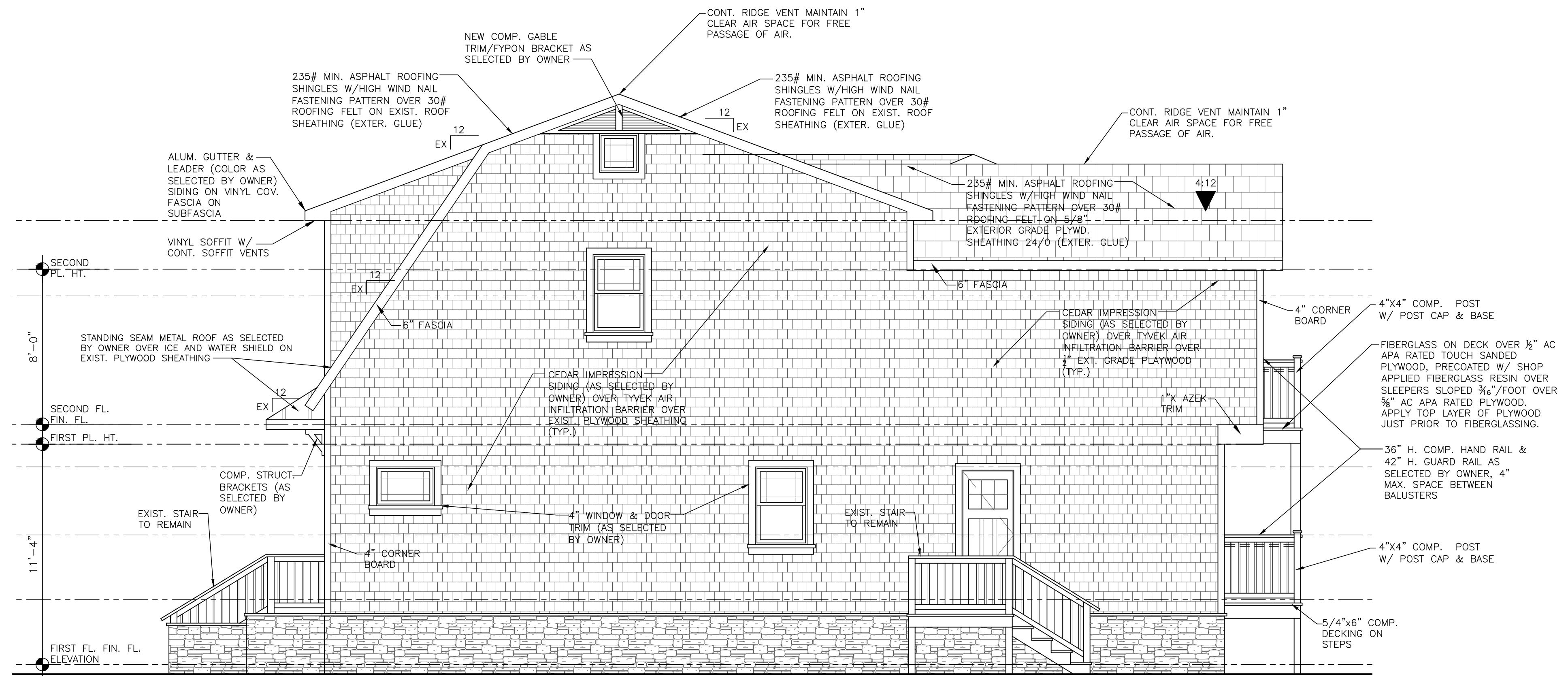
The Redevelopment Plan shall be in full force and effect upon its adoption by ordinance by the Township Committee and shall be in effect until the redevelopment of the redevelopment area is completed, which shall be evidenced by the issuance by the Township of a certificate of project completion in accordance with the Redevelopment Plan.

8.9 Amending the Redevelopment Plan

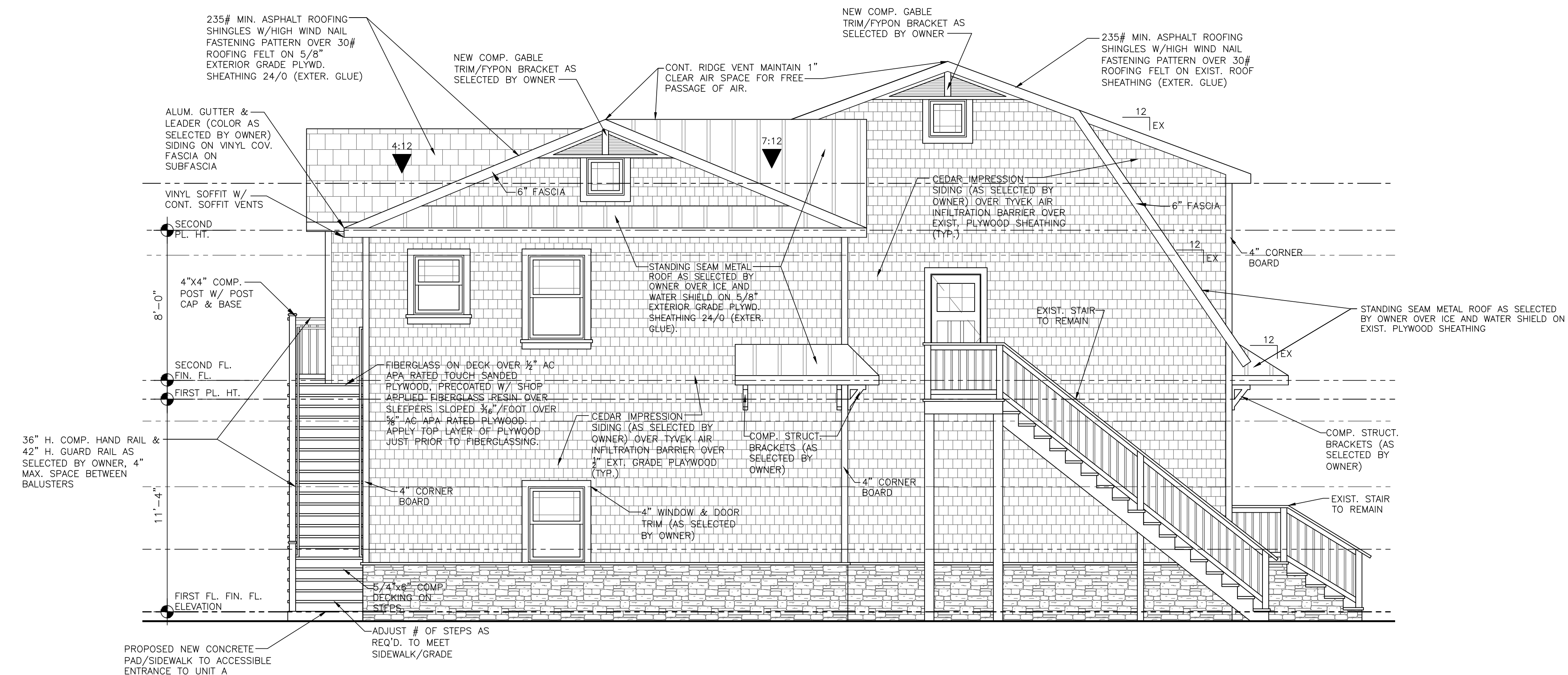
Upon compliance with the requirements of applicable law, the Township Committee may amend, revise, or modify the Redevelopment Plan in general or for specific properties within the redevelopment area, as circumstances may make such changes appropriate. The review and approval of any proposed amendments shall be undertaken in accordance with the procedures set forth in the LRHL. However, any proposed changes in permitted uses, the land use plan, residential density, building height, or the core design concepts in this plan shall require notice and public hearings in the same manner required of the adoption of the original Redevelopment Plan.

**Appendix A: Architectural Exhibit – Color and Style
of Building Exterior**

Appendix B: Architectural Exhibit – Building Elevations



1 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

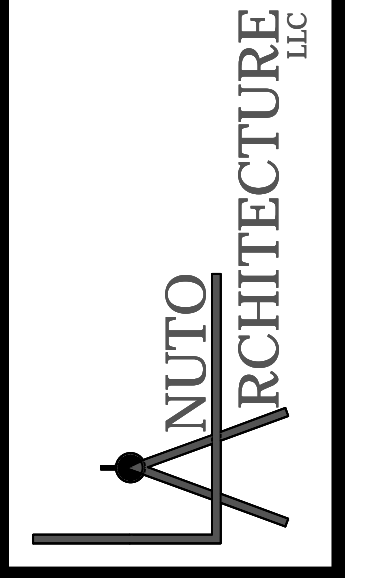


2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

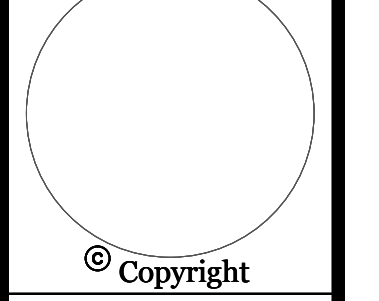
APPROVED BY THE TOWNSHIP OF OCEAN ZONING BOARD OF ADJUSTMENT

CHAIRMAN _____ DATE: _____
SECRETARY _____ DATE: _____

AMA, NCARB, LEED AP
915 Lacey Road, P.O. Box 414
Forked River, New Jersey 08731
Phone: 609-971-1409
Fax: 609-595-9274
Email: amlanuto@gmail.com
www.lanutoarchitecture.com



Amanda M. Lanuto, R.A.
NJ Lic. No. 21A1017659
PA Lic. No. RA405980
AIA No. 38117516
N.C.A.R.B. No. 64109
GBCT No. 10351199



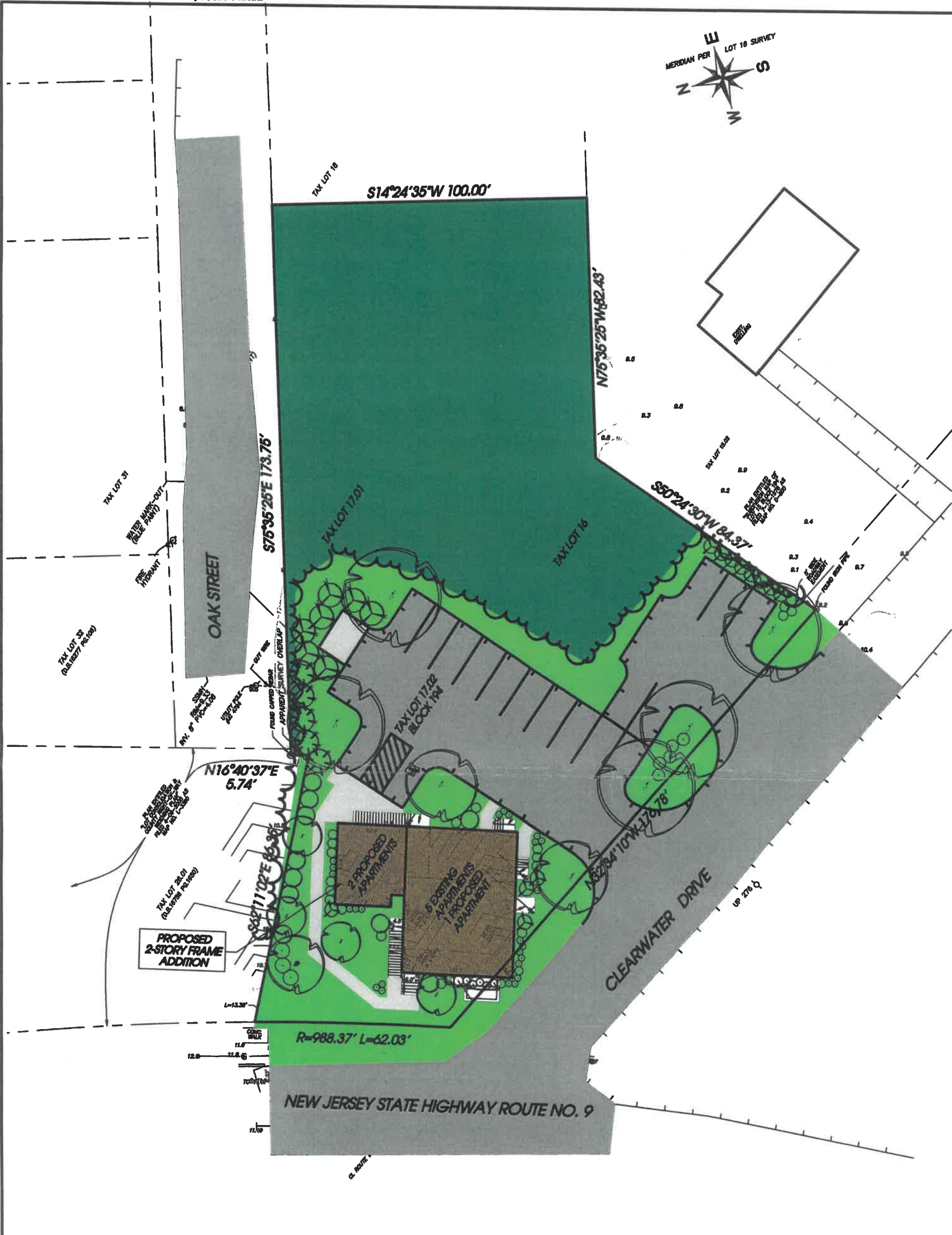
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AIA No. 38068139
N.C.A.R.B. No. 70439
GBCT No. 10184504

Additions & Renovations for:
Mackres Apartments
Lot 17.01 & 17.02, Block 194
450 Route 9
Waretown, Ocean County, New Jersey 08758

Date:	Revisions:

Drawing Title:
Proposed Elevations
Drawn By: TJI/AML
Job No.: 18011
Date: March 12, 2018

Appendix C: Site Layout Exhibit



CONCEPT PLAN RENDERING

TAX LOTS 16, 17.01 & 17.02 BLOCK 194

OCEAN TOWNSHIP
 OCEAN COUNTY, NEW JERSEY



SCALE: 1" = 30'

DATE: 8/23/18

DRAWN BY: JA

CHECKED BY:

SHEET NO. 1 OF 1

PROJECT NUMBER

10294

No.	DATE	REVISION	BY	CHK.



GRAVATT CONSULTING GROUP

Engineers • Surveyors • Planners • Environmental Scientists
 414 Lacey Road, Forked River, NJ 08731
 Tel. 609 . 693 . 6127 www.gravattconsulting.com
 Certificate of Authorization No. 24GA27925900

BRUCE A. JACOBS
 N.J. Professional Engineer No. 37489

DATE

DATE



M. — 2019 Redevelopment Plan — Contractor’s Office/Warehouse (Block 241.11, Lots 12.03 and 12.09)

Redevelopment Plan

**Block 241.11, Lots 12.03 and 12.09
Ocean Township, Ocean County, New Jersey**

Prepared for:
Ocean Township Planning Board

Prepared on:
June 19, 2019

Prepared by:



T&M Associates
11 Tindall Road
Middletown, NJ 07748

A handwritten signature in black ink, appearing to read 'Stan Slachetka'.

Stan Slachetka, PP, AICP
New Jersey Professional Planner License No.: 3508

*The original of this document was signed
and sealed in accordance with New Jersey Law.*

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Appendix A: Aerial Map of Redevelopment Plan Area

Appendix B: Tax Map Sheet 26

Appendix C: Environmental Constraints Mapping

1.0 — Introduction

The Township of Ocean has determined that the utilization of the powers of the Local Redevelopment and Housing Law (NJSA 40A:12A-1 et seq.) is the most effective approach to revitalize and redevelop Block 241.11, Lots 12.03 and 12.09, which are located at the northeastern corner of US Route 9 and Seminole Avenue.

After having received a formal recommendation from the Ocean Township Planning Board, the Ocean Township Committee adopted Resolution No. 2000-80, which designated the entire C-1 (General Commercial) Zone District (incl., Block 241.11, Lots 12.03 and 12.09) as an area in need of redevelopment.

Given the importance of Block 241.11, Lots 12.03 and 12.09 to the economic and physical development of the Township, the Ocean Township Committee and the Ocean Township Planning Board have worked together to develop this Redevelopment Plan in order to redevelop two contiguous vacant, wooded properties.

2.0 — Statutory Requirements

This Redevelopment Plan is written pursuant to Section 7 of the Local Redevelopment and Housing Law at NJSA 40A:12A-7a, which provides that “no redevelopment project shall be undertaken or carried out except in accordance with a Redevelopment Plan adopted by ordinances of the municipal governing body”. Pursuant to the requirements of the LRHL, the Redevelopment Plan shall include an outline for the planning, development, redevelopment, or rehabilitation of the redevelopment area sufficient to indicate:

1. Its relationship to definite local objectives as to appropriate land uses, density of population, and improved traffic and public transportation, public utilities, recreational and community facilities, and other public improvements.
2. Proposed land uses and building requirements in the redevelopment area.
3. Adequate provision for the temporary and permanent relocation, as necessary, of residents in the redevelopment area, including an estimate of the extent to which decent, safe, and sanitary dwelling units affordable to displaced residents will be available to them in the existing local housing market.
4. An identification of any property within the redevelopment area that the municipality envisions acquiring, in accordance with the Redevelopment Plan.
5. Any significant relationship of the Redevelopment Plan to: (a) the Master Plans of contiguous municipalities; (b) the Master Plan of the county in which the municipality is located; and (c) the State Development and Redevelopment Plan (SDRP), adopted pursuant to the “State Planning Act,” P.L. 1985, c. 398 (C.52:18A-196 et al.).

As evidenced by the following sections of the plan, this Redevelopment Plan meets these statutory requirements.

3.0 — Redevelopment Area Description

This Redevelopment Plan has been prepared for Block 241.11, Lots 12.03 and 12.09, which are located at the northeastern corner of US Route 9 and Seminole Avenue and contain a total combined area of approximately 3.18 acres (“Redevelopment Plan Area”). According to the 2018 MOD-IV Property Tax Assessment Information, both parcels are under common ownership (n.b., the owner of record is “MANDRAKE PROPERTIES FLP”) and assessed as Class 1 (Vacant). The Redevelopment Plan Area contains no residences or other development.

Appendix A provides aerial mapping of the Redevelopment Plan Area and shows its location within Ocean Township. In addition, Appendix B provides a copy of Sheet 26 of the official tax maps of Ocean Township.

3.1 — Surrounding Land Uses

The Redevelopment Plan Area is bordered by vacant properties to the North and East. A mix of vacant and commercial properties is located across US Route 9 to the West, and a commercial property is located across Seminole Avenue to the South. In addition, single-family residential development is located within close proximity of the site to the East and Southeast.

3.2 — Environmental Constraints

As shown in Appendix C, the Redevelopment Plan Area contains freshwater wetlands.

In addition, the Redevelopment Plan Area may also contain areas that are suitable habitat for threatened and endangered species.

Conformance with all applicable requirements of the New Jersey Department of Environmental Protection shall be required.

3.3 — Existing Zoning

The subject property is currently located in the C-1 (General Commercial) Zone District. The C-1 (General Commercial) Zone District provides for a broad range of commercial and related uses along a majority of the US Route 9 frontage, including the Redevelopment Plan Area.

With regard to bulk regulations of the C-1 (General Commercial) Zone District, it is noted that the minimum lot size is 30,000 square feet, and the minimum lot width is 100 feet. The minimum required: front yard setback is 40 feet; side yard setback is 10 feet; and, rear yard setback is 25 feet. In addition, the C-1 (General Commercial) Zone District permits a maximum building coverage of 40 percent.

4.0 — Goals and Objectives

The goals and objectives of Redevelopment Plan are as follows:

1. Abate the conditions that cause the Redevelopment Plan Area to be in need of redevelopment;
2. Provide tax ratables for the Township through the redevelopment of the area;
3. Promote development of currently underutilized lands;
4. Improve the aesthetic image of the Township;
5. Facilitate job creation; and,
6. Promote the overall economic and land use objectives of the Ocean Township Master Plan.

5.0 — Redevelopment Standards

This Redevelopment Plan shall constitute an overlay on the existing C-1 (General Commercial) Zone District. The redevelopment standards provided in Subsection 5.2 of this Redevelopment Plan shall apply to the Redevelopment Plan Area when a redevelopment project is undertaken in accordance with the Redevelopment Plan Overlay.

5.1 — Existing Zoning

The underlying C-1 (General Commercial) Zone District and relevant bulk and yard standards shall continue to be applicable when the Redevelopment Plan Area or a portion of the Redevelopment Plan Area is developed with a use that is listed in Section 410-15B (Permitted Uses) or Section 410-15C (Conditional Uses) of the Revised General Ordinances of the Township of Ocean accept as may be described in this Redevelopment Plan.

5.2 — Redevelopment Plan Overlay

To promote increased development flexibility within the Redevelopment Plan Area, this Redevelopment Plan permits, as an optional overlay, the development of a private contractor warehouse for multiple tenants and supplements the underlying zoning with the following additional use, bulk and design requirements.

The use, bulk and design requirements that are set forth in this Redevelopment Plan Overlay shall apply only to the Redevelopment Plan Area and not generally to the C-1 (General Commercial) Zone District overall. Please also note that these standards shall only apply in instances when the Redevelopment Plan Area is developed with a private contractor warehouse for multiple tenants as provided herein.

5.2.1 — Principal Permitted Uses

The following uses are permitted as principal uses:

1. Private contractor warehouse space for multiple tenants, provided that:
 - a. No goods shall be sold onsite;
 - b. No professional services shall be performed onsite;
 - c. All items shall be stored within a completely enclosed building;
 - d. The warehousing or storage of hazardous chemicals or materials shall be prohibited (n.b., propane in tanks not to exceed 40 pounds shall not be considered to be a hazardous chemical or material);
 - e. Loading areas shall not be located within any required front setback; and,
 - f. Warehousing abutting a residential use shall be provided with a 100-foot buffer screening strip.

5.2.2 — Permitted Accessory Uses

The following uses are permitted as accessory uses:

1. Office uses (n.b., a maximum of 150 square feet shall be located within each unit);
2. Off-street parking;
3. Off-street loading;
4. On-site signs, as defined in Section 410-8 of the Revised General Ordinances of the Township of Ocean; and,
5. Temporary construction offices.

5.2.3 — Operational Standards

The following standards shall apply:

1. Hours of operation shall be 7:00AM to 6:00PM from Monday through Saturday. No activity shall be permitted outside these hours of operation;
2. No overnight trash collection shall be permitted. Trash collection shall only take place between 7:00AM and 6:00PM from Monday through Friday;
3. No fabrication of products or cultivation of plants shall occur onsite;
4. No outdoor storage of equipment or materials is permitted;
5. Trailers may not be located onsite outside of the above-described hours of operation;
6. No vehicle or trailer maintenance and repair shall be done onsite;
7. All vehicles and trailers located onsite shall be registered with the New Jersey Division of Motor Vehicles;
8. No dump trucks, heavy machinery or similar equipment shall be located onsite;
9. No flatbed or landscape trailers may be located onsite;
10. There shall be no more than 14 private warehouse units;
11. Leases for private warehouse units shall include language that tenants agree not to park on public or private roadways within the Township; and,
12. Tenants must be commercial entities that are registered with the State of New Jersey.

5.2.4 — Bulk Standards

The standards of the C-1 (General Commercial) Zone District, which are provided in Schedule B of Chapter 410 (Zoning) of the Revised General Ordinances of the Township of Ocean, shall apply, except as modified below:

1. Minimum tract area: 3 acres.
2. Minimum setback to external tract boundaries:
 - a. Rear yard: 90 feet;
 - b. Front yard: 40 feet; and,
 - c. Side yard: 10 feet.
3. Maximum building height: 28.5 feet.

4. Maximum number of stories: One story (n.b., mezzanines are not permitted).
5. Maximum building coverage: 15 percent.

5.2.5 — Design Standards

The following design standards shall apply:

1. Sidewalks shall be provided along the frontage of US Route 9.
2. Side façades shall have the same architectural treatment of front façades.
3. In order to minimize the appearance of overhead doors, the color of same shall match that of the façade.
4. Rear façades that will be visible from a public right-of-way, including US Route 9, shall contain fenestration with shutters and include modulations to avoid large expanses of monotonous, uninterrupted façade. Such features shall be provided along the façade of each private warehouse unit.

5.2.6 — Off-Street Parking

A minimum of 2.1 off-street parking spaces per private warehouse unit shall be provided. At least 1.0 off-street parking space per private warehouse unit shall also serve as an off-street loading space.

In addition, egress from off-street parking within the Redevelopment Plan Area onto Seminole Avenue shall be right-turn only.

All other aspects of off-street parking shall be regulated by Article VI (Off-Street Parking and Loading) of Chapter 410 (Zoning) of the Revised General Ordinances of the Township of Ocean.

5.2.7 — Landscaping

The following landscaping requirements shall apply:

1. A landscaping plan with specifications shall be prepared for all applications.
2. Landscaping plans shall be prepared by a licensed landscape architect and show: the location; names according to the latest edition of Standardized Plant Names; and, sizes of all existing and proposed plantings.
3. Not less than four (4) inches of topsoil shall be applied over all areas to be covered with grass or other ground cover.
4. Plants that require daily irrigation and regular soil amendment shall not be permitted.
5. Plants that are generally identified as invasive species are prohibited. Examples of such plants include but are not be limited to: *Acer Platanoides* (Norway Maple); *Berberis Thunbergii* (Japanese Barberry); *Lonicera Japonica Thunb.* (Japanese Honeysuckle); and, *Robinia Pseudoacacia L.* (Black Locust).

6. To promote safety and security, areas located away from buildings shall be kept free from low-growing shrubs. As an alternative to low-growing shrubs, high-headed trees shall be used.
7. A vegetated buffer shall be provided along the frontage with US Route 9. Said buffer shall have a minimum average width of 35 feet. In addition, existing vegetation shall be retained to the maximum extent possible.

5.2.8 — Signage

The following signage requirements shall apply:

1. Signs are permitted to be installed within the Redevelopment Plan Area.
2. Directional Signage:
 - a. No single directional sign shall exceed four (4) square feet in area.
 - b. Directional signs shall not be illuminated.
3. Wall signs
 - a. Each private warehouse unit is permitted to have one wall sign.
 - b. Wall signs shall not be located above eaves.
 - c. The maximum sign area of an individual wall sign shall not exceed one (1) square foot for every linear foot of façade length devoted to the private warehouse unit with which the sign is associated.
 - d. Wall signs may be internally or externally illuminated.
 - e. Wall signs may not flash.

When not specifically regulated by the requirements that have been provided above, the requirements of Chapter 299 (Signs) and Article IX (Signs) of Chapter 410 (Zoning) of the Revised General Ordinances of the Township of Ocean shall apply.

5.2.9 — Lighting

The following lighting requirements shall apply:

1. Decorative lighting shall be provided along the frontage with US Route 9. Said lighting shall be subject to the review and approval of the Ocean Township Engineer and Planner.
2. Lighting shall not be provided along rear façades.
3. Lighting shall be shielded to prevent spillage onto neighboring properties.

When not specifically regulated by the requirements that have been provided above, the requirements of Chapter 221 (Lighting Standards) of the Revised General Ordinances of the Township of Ocean shall apply.

5.2.10 — Fencing

The following fencing requirements shall apply:

1. No fence higher than six (6) feet shall be permitted.

2. Solid vinyl fencing of a height of six (6) feet shall be provided to screen parking areas from the view of neighboring Block 241.11, Lot 20, which is located in the R-1 (Residential) Zone District.
3. Solid vinyl fencing of a height of four (4) feet shall be provided to screen parking areas from the view Seminole Avenue and properties located to the South of Seminole Avenue.
4. Stormwater basins shall be fenced with wood plank or similarly-styled fencing with a height of four (4) feet. Wire shall also be provided on the interior side of such fencing. When a stormwater basin is located adjacent to a parking area, vinyl fencing as described above shall be provided where there is adjacency.

5.2.11 — Stormwater

Conformance with Chapter 322 (Stormwater Control) and Chapter 330 (Stormwater System) of the Revised General Ordinances of the Township of Ocean is required.

5.2.12 — Trash Enclosure

A trash and recycling enclosure must be provided. Same shall be screened from the view of adjacent properties and subject to the review and approval the Ocean Township Engineer and Planner.

5.2.13 — Maintenance

A customary maintenance plan shall be implemented within the Redevelopment Plan Area.

5.2.14 — Development Fees

All development shall be subject to the imposition of development fees, which is regulated by Section 410-172 of the Revised General Ordinances of the Township of Ocean.

6.0 — Plan Relationships

The following subsections outline the relationships of the Redevelopment Plan to municipal zoning and the objectives that are outlined in the municipal master plan, as well as to master plans of contiguous municipalities, Ocean County, and the State Development and Redevelopment Plan. A discussion of these relationships is required pursuant to the Local Redevelopment and Housing Law at NJSA 40A:12A-7a.

6.1 — Municipal Zoning

The Redevelopment Plan shall result in the establishment of an overlay zone on Block 241.11, Lots 12.02 and 12.09. The overlay zone to be established, which shall be called the Block 241.11 Redevelopment Overlay Zone, will supplement the existing the C-1 (General Commercial) Zone within and only within the area of Block 241.11, Lots 12.02 and 12.09.

6.2 — Ocean Township Master Plan

The Ocean Township Master Plan was originally adopted in 1982 and last reexamined in 2015. The 2015 Master Plan Reexamination Report included a Master Plan Amendment, which reestablished the Township's goals and objectives. The following goals and objectives of the 2015 Master Plan Reexamination Report would be furthered by the implementation of this Redevelopment Plan:

1. Encourage the use of best management policies for all development to ensure the least negative impact on the overall quality of residential life and the environment in the Township;
2. Discourage "Strip" development along the entire US Route 9 frontage; and,
3. Review economic development and redevelopment programs to encourage both new construction and conversion of existing non-commercial uses to viable commercial activities.

6.3 — Plans of Contiguous Municipalities

Given the fact that the Redevelopment Plan Area is just 3.18 acres and is located more than 1,000 feet from the nearest municipal boundary (n.b., said municipal boundary is with Barnegat Township), it is not anticipated that there will be measurable impacts on municipalities that are adjacent to Ocean Township.

Nonetheless, it is noted that redevelopment of the Redevelopment Plan Area in a manner that is consistent with this Redevelopment Plan would be consistent with Barnegat Township's land use goal of promoting commercial development in appropriate areas of the Township.

6.4 — 2011 Ocean County Comprehensive Master Plan

Ocean County prepared a comprehensive master plan in 2011. Said plan made several recommendations; the realization of these recommendations would be supported by the implementation of this Redevelopment Plan. Specifically, this Redevelopment Plan's implementation would support the following recommendations of the 2011 Ocean County Comprehensive Master Plan:

1. Continue Ocean County's economic development efforts to reduce unemployment, connect residents to local, year-round employment opportunities, and enhance the tax base by encouraging compatible industrial and commercial operations to located or expand in Ocean County;
2. Facilitate the redevelopment of underutilized properties; and,
3. Encourage the consideration of noise, visual aesthetics and natural environmental features in design projects.

6.5 — New Jersey Planning Documents

The following subsections demonstrate the compatibility of the Redevelopment Plan with the State Development and Redevelopment Plan and the State Strategic Plan.

6.5.1 — State Development and Redevelopment Plan

The State Planning Commission recognizes the importance of the idea of sustainable development. The State Development and Redevelopment Plan, which was adopted in 2001, is intended to serve as a guide for public and private sector investment in New Jersey's future. To facilitate this, the plan allocates New Jersey among a variety of planning areas. The Redevelopment Plan Area is located in within the Suburban Planning Area (Planning Area 2). The Redevelopment Plan is compatible with the State Development and Redevelopment Plan's intention for the Planning Area 2, which is to provide for much of the state's future development; promote growth in centers and other compact forms; protect the character of existing, stable communities; protect natural resources; redesign areas of sprawl; reverse the current trend toward further sprawl; and, revitalize cities and towns.

6.5.2 — State Strategic Plan (Draft)

The State Strategic Plan is the revision to the 2001 State Development and Redevelopment Plan. The document sets forth a vision for the future of New Jersey along with strategies to achieve said vision. The State Strategic Plan was intended to be adopted by the State Planning Commission in November 2012; however, adoption was postponed indefinitely following Hurricane Sandy.

The State Strategic Plan has ten (10) "Garden State Values". The Redevelopment Plan has the ability to advance two (2) of same:

1. Prioritize Redevelopment, Infill, and Existing Infrastructure: Strengthen cities, towns and neighborhoods by prioritizing redevelopment, the reuse and remediation of existing sites and structures, and construction on infill sites that are compatible with surrounding uses. Upgrade existing infrastructure where needed, before adding new capacity. Encourage development that incorporates green design and construction principles and opportunities for clean and renewable energy and efficiency measures.
2. Increase Job and Business Opportunities: Provide opportunities for investment near housing, infrastructure and transportation. Support economic growth by addressing the land use and infrastructure needs of targeted industries and areas, consistent with these principles.

7.0 — Administrative and Procedural Requirements

Administrative and procedural requirements are discussed in the following subsections.

7.1 — Acquisition

This Redevelopment Plan excludes the use of eminent domain. The Township will not use eminent domain and, moreover, believes that redevelopment can successfully occur without the use of eminent domain. Accordingly, there will be no public acquisition of land in the Redevelopment Plan Area.

7.2 — Relocation

As stated above, the Township will not use the power of eminent domain, and no relocation of any household (n.b., both of the parcels in the Redevelopment Plan Area are assessed as Class 1 [Vacant] and contain no residences) or business is contemplated as part of this Redevelopment Plan. Nonetheless, if any relocation should be necessary, it is anticipated that there is sufficient decent, safe and sanitary space within the local market. Moreover, a Workable Relocation Plan shall be prepared, and the Township shall conform to the Local Redevelopment and Housing Law (NJSA 40A:12A-1 et seq.) and all other applicable legal requirements. In addition, the developer shall be required to provide for relocation assistance pursuant to a redevelopment agreement between the redeveloper and the redevelopment entity.

7.3 — Redeveloper Selection

The Township may enter into agreements with a designated redeveloper or redevelopers in connection with the construction of any aspect of this Redevelopment Plan, including off-site improvements. Redevelopment under the terms of this Redevelopment Plan shall only be undertaken pursuant to a redevelopment agreement entered into between the Township and a designated redeveloper, which may be the property owner.

The Township may undertake a developer selection process that will yield the qualified redeveloper to implement this Redevelopment Plan in a manner that is in the best interest of the Township.

The following restrictions and controls on redevelopment are hereby imposed in connection with the selection of a redeveloper for any property or properties included in the redevelopment area and shall apply notwithstanding the provisions of any zoning or building ordinance or other regulations now or hereafter in force:

1. The redeveloper, its successors, or assignees, shall develop the specified improvements in accordance with this Redevelopment Plan.
2. The redeveloper, its successors or assigns shall develop the property in accordance with the uses and building requirements specified in the Redevelopment Plan.

3. Until the required improvements are completed, and a certificate of completion is issued, the redeveloper covenants provided for in the Local Redevelopment and Housing Law at NJSA 40A:12A-9 and imposed in any redevelopment agreement, lease, deed, or other instruments shall remain in full force and effect.
4. The redevelopment agreement shall contain provisions to assure the timely construction of the redevelopment project, the qualifications, financial capability, and financial guarantees of the redeveloper and any other provisions necessary to assure the successful completion of the project.

7.4 — Redevelopment Entity Review

The governing body, acting as the redevelopment entity, shall review all proposed redevelopment projects within the Redevelopment Plan Area in order to ensure that such projects are consistent with this Redevelopment Plan and any relevant redevelopment agreement. As part of its review, the governing body may require the redeveloper to submit its proposed project to a technical review committee or subcommittee of the governing body. The technical review committee may include members of the governing body and any other members and/or professionals as determined necessary and appropriate by the Township. The technical review committee shall make its recommendations to the governing body.

In undertaking its review, the governing body shall determine whether the proposal is consistent with this Redevelopment Plan and any relevant redevelopment agreement. In addition, the review may address the site and building design elements of the project to ensure that the project adequately addresses the goals and objectives of the Redevelopment Plan.

At its discretion, the Redevelopment Entity may waive its review and refer a proposed redevelopment project directly to the Ocean Township Planning Board.

7.5 — Planning Board Review Process

Pursuant to the Local Redevelopment and Housing Law at NJSA 40A:12A-13, all development applications for development of sites governed by this Redevelopment Plan shall be submitted to the Ocean Township Planning Board for review and approval. The following provisions shall govern review of any proposed redevelopment project within the Redevelopment Plan Area:

1. No building permit shall be issued by the construction or zoning official for any work resulting in a change of intensity of development or change of use for any properties or buildings within the redevelopment area without prior review and approval of the work by the redevelopment entity and the Ocean Township Planning Board.
2. Regular maintenance and minor repair shall not require Ocean Township Planning Board review and approval.

3. The Ocean Township Planning Board shall conduct site plan and subdivision review, if applicable, pursuant to the Municipal Land Use Law (NJSA 40:55D-1 et seq.) and the Township's planning and development regulations.
4. As part of site plan approval, the Ocean Township Planning Board may require the redeveloper to furnish performance guarantees pursuant to the Municipal Land Use Law at NJSA 40:55D-53 and as required in the Township's planning and development regulations. The performance guarantees shall be in favor of Ocean Township, and the Township Engineer shall determine the amount of same.
5. Any subdivision of lots or parcels of land within the redevelopment area shall be in compliance with this Redevelopment Plan and reviewed by the Ocean Township Planning Board pursuant to the Local Redevelopment and Housing Law (NJSA 40A:12A-1 et seq.) and the Municipal Land Use Law (NJSA 40A:55D-1 et seq.).
6. Once a property has been redeveloped in accordance with this Redevelopment Plan, it may not be converted to any use not expressly permitted herein. No non-conforming use, building, or structure may be expanded or made more non-conforming in nature after adoption of this Redevelopment Plan. A use or structure that does not conforming to the requirements of this Redevelopment Plan may not be reconstructed in the event of its destruction. The Ocean Township Planning Board shall determine the issue of whether the non-conforming use or building structure has been "destroyed".
7. The Ocean Township Planning Board may grant relief from the requirements of this Redevelopment Plan where there is a hardship and where the granting of such relief will promote the purpose of this Redevelopment Plan and would be consistent with the standards established of the Municipal Land Use Law at NJSA 40:55D-70(c). However, in no event shall relief be granted by the Ocean Township Planning Board in order to: provide a use or facility that is not permitted by this Redevelopment Plan; or, permit an intensity of development (incl., but not limited to building height) that is not specified by this Redevelopment Plan.
8. The regulations and controls of this Redevelopment Plan shall be implemented, where applicable, by appropriate covenants or other provisions, and through agreements between the redeveloper and the Township pursuant to the Local Redevelopment and Housing Law at NJSA 40A:12A-8 and 40A:12A-9.
9. All definitions contained within this Redevelopment Plan shall prevail. In the absence of definition within said Redevelopment Plan, the definition found within the Township's planning and development regulations shall prevail. All definitions that are determined to be inconsistent with the Local Redevelopment and Housing Law at NJSA 40A:12A-3 shall be considered invalid.

10. A redeveloper shall be required to pay all applicable escrow fees and other required charges in accordance with applicable provisions of the Township’s planning and development regulations and New Jersey Law. Additionally, a redeveloper shall be required to pay their proportional share of the costs of any studies, plans, reports, or analysis prepared by the Township or its designated redevelopment entity as part of this Redevelopment Plan. Any such payments required to reimburse the Township shall be specified in the redevelopment agreement.

The aforementioned provisions are all subject to approval by ordinance and/or resolution according to law. If a court of competent jurisdiction finds any word, phrase, clause, section, or provision of this Redevelopment Plan to be invalid, illegal, or unconstitutional, the word, phrase, section, or provision shall be deemed severable, and the remainder of the Redevelopment Plan and implementing ordinances shall remain in full force and effect.

7.6 — Duration of Plan

This Redevelopment Plan shall be in full force and effect upon its adoption by ordinance by the governing body and shall be in effect until the redevelopment of the Redevelopment Plan Area has been completed, which shall be evidenced by the issuance of a certificate of project completion by the redevelopment entity.

7.7 — Amending the Redevelopment Plan

Upon compliance with the requirements of applicable law, the governing body may amend, revise, or modify this Redevelopment Plan in general or for specific portions of the Redevelopment Plan Area, as circumstances may make such changes appropriate. The review and approval of any proposed amendments shall be undertaken in accordance with the procedures set forth in the Local Redevelopment and Housing Law (NJSA 40A:12A-1 et seq.). However, any proposed changes in permitted uses, intensity of development (incl., but not limited to building height), or design concepts detailed in this Redevelopment Plan shall require notice and public hearings in the same manner required of the adoption of the original plan.

7.8 — Conflict

If any word, phrase, clause, section or provision of this Redevelopment Plan is found by a court or other jurisdiction to be invalid, illegal or unconstitutional, such word, phrase, clause, section or provision shall be deemed severable and the remainder of this Redevelopment Plan shall remain in full force and effect.

Appendix A: Aerial Map of Redevelopment Plan Area

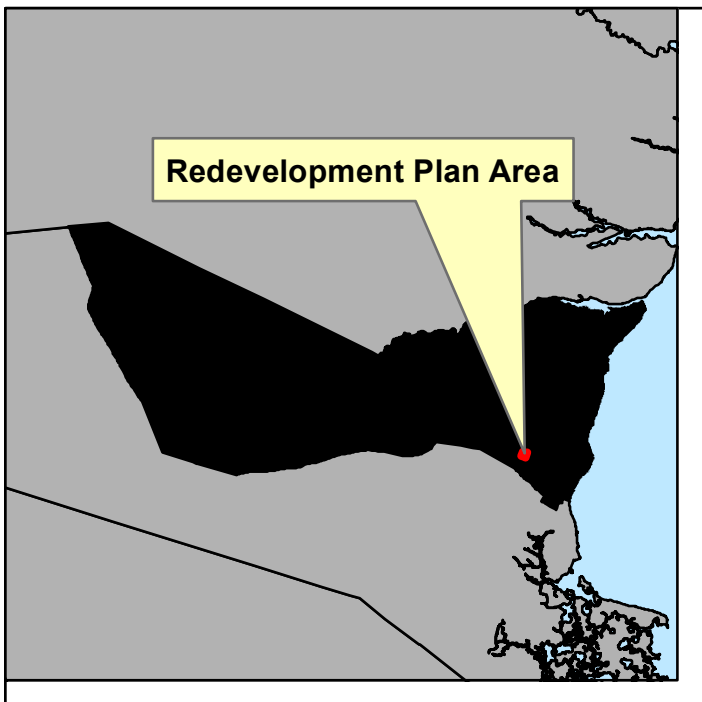


Appendix B: Tax Map Sheet 26



Appendix C: Environmental Constraints Mapping

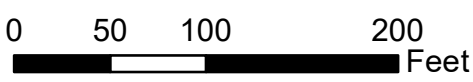




-  Redevelopment Plan Area
-  Parcel Boundary (Block/Lot)
-  Wetland Area



11 Tindall Road
 Middletown, NJ 07748-2792
 Phone: 732-671-6400
 Fax: 732-671-7365



Environmental Constraints
Block 241.11, Lots 12.03 and 12.09
Ocean Township
Ocean County, New Jersey

