

# **SCOPE OF WORK**

## **Parking, Pedestrian Access and Site Drainage**

Historic New Bridge Landing  
Borough of River Edge, Bergen County, NJ

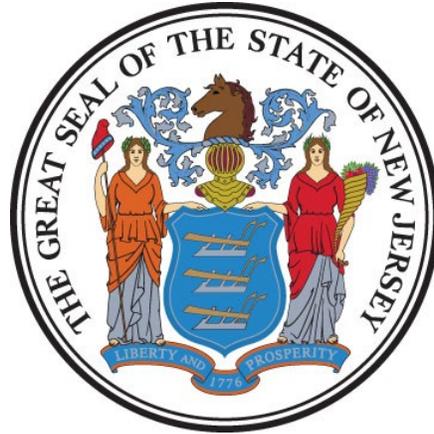
**Project No. P1382-00**

### **STATE OF NEW JERSEY**

Honorable Philip D. Murphy, Governor  
Honorable Tahesha L. Way, Lt. Governor

### **DEPARTMENT OF THE TREASURY**

Elizabeth Maher Muoio, Treasurer



### **DIVISION OF PROPERTY MANAGEMENT AND CONSTRUCTION**

Thomas A. Edenbaum, Director

**Date: January 6, 2026**

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## **I. OBJECTIVE**

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The objective of this project is to upgrade parking areas and pedestrian access at the Historic New Bridge Landing and improve site drainage to enhance the site in preparation for a new Visitors Center that is under construction.

## **II. CONSULTANT QUALIFICATIONS**

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### **A. CONSULTANT & SUB-CONSULTANT PRE-QUALIFICATIONS**

The Consultant shall be a firm pre-qualified with the Division of Property Management & Construction (DPMC) in the following discipline(s):

- **P005 Civil Engineering**

The Consultant shall also have in-house capabilities or Sub-Consultants pre-qualified with DPMC in:

- **P031 Archaeology**

As well as, **any and all** other Architectural, Engineering and Specialty Disciplines necessary to complete the project as described in this Scope of Work (SOW).

## **III. PROJECT BUDGET**

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### **A. CONSTRUCTION COST ESTIMATE (CCE)**

The initial Construction Cost Estimate (CCE) for this project is \$500,000.

The Consultant shall review this Scope of Work and provide a narrative evaluation and analysis of the accuracy of the proposed project CCE in its technical proposal based on its professional experience and opinion.

### **B. CURRENT WORKING ESTIMATE (CWE)**

The Current Working Estimate (CWE) for this project is \$751,500.

The CWE includes the construction cost estimate and all consulting, permitting and administrative fees.

The CWE is the client agency’s financial budget based on this project Scope of Work and shall not be exceeded during the design and construction phases of the project unless DPMC approves the change in Scope of Work through a Contract amendment.

**C. CONSULTANT’S FEES**

The construction cost estimate for this project *shall not* be used as a basis for the Consultant’s design and construction administration fees. The Consultant’s fees shall be based on the information contained in this Scope of Work document and the observations made and/or the additional information received during the pre-proposal meeting.

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**IV. PROJECT SCHEDULE**

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**A. SCOPE OF WORK DESIGN & CONSTRUCTION SCHEDULE**

The following schedule identifies the estimated design and construction phases for this project and the estimated durations.

<b><u>PROJECT PHASE</u></b>	<b><u>ESTIMATED DURATION (Calendar Days)</u></b>
<b>1. Site Access Approvals &amp; Schedule Design Kick-off Meeting</b>	<b>14</b>
<b>2. Design Development Phase</b>	<b>42</b>
• <i>Project Team &amp; DPMC Plan/Code Unit Review &amp; Comment</i>	<b>14</b>
<b>3. Final Design Phase</b>	<b>42</b>
• <i>Project Team &amp; DPMC Plan/Code Unit Review &amp; Approval</i>	<b>14</b>
<b>4. Final Design Re-Submission to Address Comments</b>	<b>7 (See Note)</b>
• <i>Project Team &amp; DPMC Plan/Code Unit Review &amp; Approval</i>	<b>14</b>
<b>5. DCA Submission Plan Review</b>	<b>30</b>
<b>6. Permit Application Phase</b>	<b>7</b>
• <i>Issue Plan Release</i>	
<b>7. Bid Phase</b>	<b>42</b>
<b>8. Award Phase</b>	<b>28</b>
<b>9. Construction Phase</b>	<b>180</b>

**10. Project Close Out Phase**

**30**

**Note:** The Final Design Phase is considered complete upon the release of Construction Documents by either the DPMC Code Group or the Department of Community Affairs (DCA).

**B. CONSULTANT’S PROPOSED DESIGN & CONSTRUCTION SCHEDULE**

The Consultant shall submit a project design and construction schedule with its technical proposal that is similar in format and detail to the schedule depicted in **Exhibit ‘A.’** The schedule developed by the Consultant shall reflect its recommended project phases, phase activities, and activity durations.

A written narrative shall also be included with the technical proposal explaining the schedule submitted and the reasons why and how it can be completed in the time frame proposed by the Consultant.

This schedule and narrative will be reviewed by the Consultant Selection Committee as part of the evaluation process and will be assigned a score commensurate with clarity and comprehensiveness of the submission.

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**V. PROJECT SITE LOCATION & TEAM MEMBERS**

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**A. PROJECT SITE ADDRESS**

The location of the project site is:

Historic New Bridge Landing  
1201-1209 Main Street  
River Edge, Bergen County, NJ

Latitude      40.913464  
Longitude    -74.031501

See **Exhibit ‘B’** for the project site location map.

## **B. PROJECT TEAM MEMBER DIRECTORY**

The following are the names, addresses, and phone numbers of the Project Team members.

### **1. DPMC Representative**

Name: Joseph Polizzi, Design Project Manager  
Address: Division of Property Management & Construction  
20 West State Street, 3<sup>rd</sup> Floor  
Trenton, NJ 08608-1206  
Phone No: (609) 218-0260  
E-Mail: [Joseph.Polizzi@treas.nj.gov](mailto:Joseph.Polizzi@treas.nj.gov)

### **2. Department of Environmental Protection Representative**

Name: William White, Project Manager  
Address: 275 Freehold-Englishtown Rd.  
Englishtown, NJ 07726  
Phone No: 609-802-5886  
E-Mail: [william.white@dep.nj.gov](mailto:william.white@dep.nj.gov)

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## **VI. PROJECT DEFINITION**

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### **A. BACKGROUND**

Historic New Bridge Landing (HNBL) in River Edge, NJ, holds a significant place in American History, particularly during the Revolutionary War. Its strategic location at the narrows of the Hackensack River made it a crucial crossing point. The “New Bridge” itself, and the surrounding area, became a focal point for military activity. Most notably, it served as a critical point in General Washington’s retreat from British forces in November 1776. The area witnessed numerous skirmishes and served as a military encampment, highlighting its importance in the struggle for independence.

Beyond its military significance, HNBL was also a vital commercial hub. The location facilitated trade and transportation, with the Hackensack River serving as a key waterway. The area developed into a prosperous mill hamlet, where agricultural products and iron goods were shipped. The presence of structures like the Zabriskie-Steuben House, and the later construction of the swing bridge, reflect the evolving history of the area, from its colonial origins to its role in the development of the region. Today, Historic New Bridge Landing stands as a preserved historical site, offering a glimpse into the past.

## **B. FUNCTIONAL DESCRIPTION OF THE BUILDING**

The Historic New Bridge Landing site encompasses five historic structures and a bridge over the Hackensack River. Public parking and pedestrian pathways are also present.

In 2024, the New Jersey State Park Service and Bergen County Historical Society (BCHS) procured the services of LAN Associates to study the site and recommend improvements to parking, pedestrian access and site drainage. This project seeks to implement these improvements. **Exhibit ‘C’** shows the LAN report.

In recent years the Historic New Bridge Landing Commission has made a number of forays into development of the site. As of this writing, the foundation is being built for a future Visitors Center. Some documents from this project will be provided for background purposes and any possible impact they may have on this project.

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## **VII. CONSULTANT DESIGN RESPONSIBILITIES**

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### **A. DESIGN REQUIREMENTS**

#### **1. General**

The Consultant shall provide the design, specifications, bid/award, permitting and construction administration services to address the following items at the Historic New Bridge Landing site.

#### **2. Parking**

Create a viable new visitor parking area, including a landscape plan, located within block 1305, lot 1 at the corner of Hackensack Avenue and Main Street. Details and notes for this design of this parking lot and landscape elements are shown in sheets C1.01 and C2.01 in the **LAN Associated plans dated 8/19/24.**

Restore existing parking lot near the Hackensack River; located within the former PSE&G substation. Details are noted on sheet C2.02 in the above noted LAN Associates plans.

#### **3. Pedestrian Access**

Improve the existing gravel path between the existing historic structures within New Bridge Landing to meet barrier free standards for universal access, and also repair fencing along the pathway. This pathway is shown on sheets C1.02, C2.01 and C2.02 of the above noted LAN Associated plans.

#### **4. Drainage**

Address drainage and flooding issues around the “flagpole” circular driveway near the Steuben House. Details for this are noted on sheet C2.02 in the above noted LAN Associates plans.

#### **5. Archaeological Allowance:**

An archaeological survey is anticipated for the project. The Consultant shall estimate the cost to provide archaeological services and/or monitoring necessary to facilitate the project and enter that amount in their fee proposal line item entitled “**Archaeological Allowance.**”

The Consultant shall have in-house capabilities or Sub-Consultants pre-qualified with DPMC in P031 Archaeology Professional Discipline.

Any funds remaining in the allowance will be returned to the State at the close of the project.

### **B. DESIGN MEETINGS & PRESENTATIONS**

#### **1. Design Meetings**

Conduct the appropriate number of review meetings with the Project Team members during each design phase of the project so they may determine if the project meets their requirements, question any aspect of the contract deliverables, and make changes where appropriate. The Consultant shall describe the philosophy and process used in the development of the design criteria and the various alternatives considered to meet the project objectives. Selected studies, sketches, cost estimates, schedules, and other relevant information shall be presented to support the design solutions proposed. Special considerations shall also be addressed such as: contractor site access limitations, utility shutdowns and switchover coordination, phased construction and schedule requirements, security restrictions, available swing space, material and equipment delivery dates, etc.

It shall also be the responsibility of the Consultant to arrange and require all critical Sub-Consultants to be in attendance at the design review meetings.

Record the minutes of each design meeting and distribute within three (3) calendar days to all attendees and those persons specified to be on the distribution list by the Project Manager.

#### **2. Design Presentations**

The minimum number of design presentations required for each phase of this project is identified below for reference:

Design Development Phase: One (1) oral presentation at phase completion.

Final Design Phase: One (1) oral presentation at phase completion.

### **C. EXISTING DOCUMENTATION**

Copies of the following documents will be provided to each Consulting firm at the pre-proposal meeting to assist in the bidding process.

- Historic New Bridge Landing Master Plan Borough of River Edge plans, August 19, 2024, LAN Associates
- Application for Project Authorization, Archaeological Testing, March 14, 2024
- Bergen County Historical Society New Museum and Event Building Planning Locations, G3 Architecture Interiors Planning
- Boundary Survey for Green Acres Program, Block 1302, Lot 1 and Block 1305 Lots 1-5, 5/17/2006, Van Cleef Engineering Associates
- Deed Description, Block 1306, Lot 3, 6/24/2020, Lantelme, Kurens & Associates, PC.
- Historic New Bridge Landing Visitor Center, 6/10/2025, Arcari + Iovinio Architects, PC
- Map of Historic New Bridge Landing and Vicinity, Costa Engineering Corporation

Review these documents and any additional information that may be provided at a later date such as reports, studies, surveys, equipment manuals, as-built drawings, etc. The State does not attest to the accuracy of the information provided and accepts no responsibility for the consequences of errors by the use of any information and material contained in the documentation provided. It shall be the responsibility of the Consultant to verify the contents and assume full responsibility for any determination or conclusion drawn from the material used. If the information provided is insufficient, the Consultant shall take the appropriate actions necessary to obtain the additional information required.

All original documentation shall be returned to the provider at the completion of the project.

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## **VIII. PERMITS & APPROVALS**

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### **A. NJ UNIFORM CONSTRUCTION CODE PLAN REVIEW AND PERMIT**

The project construction documents must comply with the latest adopted edition of the NJ Uniform Construction Code (NJUCC).

The latest NJUCC Adopted Codes and Standards can be found at:

<http://www.state.nj.us/dca/divisions/codes/codreg/>

## **1. NJUCC Plan Review**

Consultant shall estimate the cost of the NJUCC Plan Review by DCA and include that amount in their fee proposal line item entitled “**Plan Review and Permit Fee Allowance,**” refer to paragraph X.A.

Upon approval of the Final Design Phase Submission by DPMC, the Consultant shall submit the construction documents to the DCA, Bureau of Construction Project Review to secure a complete plan release.

As of July 25, 2022, the DCA is only accepting digital signatures and seals issued from a third party certificate authority.

Procedures for submission to the DCA Plan Review Unit can be found at:

[https://www.state.nj.us/dca/divisions/codes/forms/pdf\\_bcpr/pr\\_app\\_guide.pdf](https://www.state.nj.us/dca/divisions/codes/forms/pdf_bcpr/pr_app_guide.pdf)

Consultant shall complete the “Project Review Application” and include the following on Block 5 as the “Owner’s Designated Agent Name”:

Trevor M. Dittmar, DPMC  
PO Box 235  
Trenton, NJ 08625-0235  
[Trevor.Dittmar@treas.nj.gov](mailto:Trevor.Dittmar@treas.nj.gov) 609-984-5529

The Consultant shall complete the NJUCC “Plan Review Fee Schedule”, determine the fee due and pay the NJUCC Plan Review fees, refer to Paragraph X.A.

The NJUCC “Plan Review Fee Schedule” can be found at:

[http://www.state.nj.us/dca/divisions/codes/forms/pdf\\_bcpr/pr\\_fees.pdf](http://www.state.nj.us/dca/divisions/codes/forms/pdf_bcpr/pr_fees.pdf)

## **2. NJUCC Permit**

Upon receipt of a complete plan release from the DCA Bureau of Construction Project Review, the Consultant shall complete the NJUCC permit application and all applicable technical sub-code sections. The “Agent Section” of the application and certification section of the building sub-code section shall be signed. These documents, with **six (6) sets of DCA approved, signed and sealed construction documents** shall be forwarded to the DPMC Project Manager.

The Consultant may obtain copies of all NJUCC permit applications at the following website:

<https://www.nj.gov/dca/divisions/codes/resources/constructionpermitforms.html>

All other required project permits shall be obtained and paid for by the Consultant in accordance with the procedures described in Paragraph VIII.B.

### **3. Prior Approval Certification Letters**

The issuance of a construction permit for this project may be contingent upon acquiring various “prior approvals” as defined by N.J.A.C. 5:23-1.4. It is the Consultant’s responsibility to determine which prior approvals, if any, are required. The Consultant shall submit a general certification letter to the DPMC Plan & Code Review Unit Manager during the Permit Phase of this project that certifies all required prior approvals have been obtained.

In addition to the general certification letter discussed above, the following specific prior approval certification letters, where applicable, shall be submitted by the Consultant to the DPMC Plan & Code Review Unit Manager: Soil Erosion & Sediment Control; Water & Sewer Treatment Works Approval; Coastal Areas Facilities Review; Compliance of Underground Storage Tank Systems with N.J.A.C. 7:14B; Pinelands Commission; Highlands Council; Well Construction and Maintenance; Sealing of Abandoned Wells with N.J.A.C. 7:9D; Certification that all utilities have been disconnected from structures to be demolished; Board of Health Approval for Potable Water Wells; Health Department Approval for Septic Systems; and Notification to Adjoining Property Owners with N.J.A.C. 5:23-2.17(c). It shall be noted that in accordance with N.J.A.C. 5:23-2.15(a)5, a permit cannot be issued until the letter(s) of certification is received.

### **4. Multi-building or Multi-site Permits**

A project that involves many buildings and/or sites requires that a separate permit shall be issued for each building or site. The Consultant must determine the construction cost estimate for *each* building and/or site location and submit that amount where indicated on the permit application.

### **5. Special Inspections**

In accordance with the requirements of the New Jersey Uniform Construction Code N.J.A.C. 5:23-2.20(b), Bulletin 03-5 and Chapter 17 of the International Building Code, the Consultant shall be responsible for the coordination of all special inspections during the construction phase of the project.

Bulletin 03-5 can be found at:

[https://www.nj.gov/dca/codes/publications/pdf\\_bulletins/b\\_03\\_5.pdf](https://www.nj.gov/dca/codes/publications/pdf_bulletins/b_03_5.pdf)

**a. Definition**

Special inspections are defined as an independent verification by a certified special inspector for **Class I buildings and smoke control systems in any class building**. The special inspector is to be independent from the contractor and responsible to the Consultant so that there is no possible conflict of interest.

Special inspectors shall be certified in accordance with the requirements in the NJUCC.

**b. Responsibilities**

The Consultant shall submit with the permit application, a list of special inspections and the agencies or special inspectors that will be responsible to carry out the inspections required for the project. The list shall be a separate document, on letter head, signed and sealed.

**B. OTHER REGULATORY AGENCY PERMITS, CERTIFICATES AND APPROVALS**

The Consultant shall identify and obtain all other State Regulatory Agency permits, certificates, and approvals that will govern and affect the work described in this Scope of Work. An itemized list of these permits, certificates, and approvals shall be included with the Consultant’s Technical Proposal and the total amount of the application fees should be entered in the Fee Proposal line item entitled, **“Plan Review and Permit Fee Allowance.”**

The Consultant may refer to the DPMC “Procedures for Architects and Engineers Manual,” Paragraph **“9. REGULATORY AGENCY APPROVALS”** which presents a compendium of State permits, certificates, and approvals that may be required for this project.

The Consultant shall determine the appropriate phase of the project to submit the permit application(s) in order to meet the approved project milestone dates.

Where reference to an established industry standard is made, it shall be understood to mean the most recent edition of the standard unless otherwise noted. If an industry standard is found to be revoked, or should the standard have undergone substantial change or revision from the time that the Scope of Work was developed, the Consultant shall comply with the most recent edition of the standard.

## **IX. ALLOWANCES**

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### **A. PLAN REVIEW AND PERMIT FEE ALLOWANCE**

The Consultant shall obtain and pay for all of the project permits in accordance with the guidelines identified below.

#### **1. Permits**

The Consultant shall determine the various permits, certificates, and approvals required to complete this project.

#### **2. Permit Costs**

The Consultant shall estimate the application fee costs for all of the required project permits, certificates, and approvals (excluding the NJUCC permit) and include that amount in its fee proposal line item entitled **“Plan Review and Permit Fee Allowance.”** A breakdown of each permit and application fee shall be attached to the fee proposal for reference.

**NOTE:** The NJUCC permit is excluded since it will be paid for by the State.

#### **3. Applications**

The Consultant shall complete and submit all permit applications to the appropriate permitting authorities and the costs shall be paid from the Consultant’s permit fee allowance. A copy of the application(s) and the original permit(s) obtained by the Consultant shall be given to the DPMC Project Manager for distribution during construction.

#### **4. Consultant Fee**

The Consultant shall determine what is required to complete and submit the permit applications, obtain supporting documentation, attend meetings, etc., and include the total cost in the base bid of its fee proposal under the “Permit Phase” column.

Any funds remaining in the permit allowance will be returned to the State at the close of the project.

### **B. ARCHAEOLOGICAL ALLOWANCE**

An archaeological survey is anticipated for the project. The Consultant shall estimate the cost to provide archaeological services and/or monitoring necessary to facilitate the project and enter that amount in their fee proposal line item entitled **“Archaeological Allowance.”**

**PROJECT NAME: Parking, Pedestrian Access and Site Drainage**  
**PROJECT LOCATION: Historic New Bridge Landing**  
**PROJECT NO: P1382-00**  
**DATE: January 6, 2026**

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The Consultant shall have in-house capabilities or Sub-Consultants pre-qualified with DPMC in P031 Archaeology Professional Discipline.

Any funds remaining in the allowance will be returned to the State at the close of the project.

PROJECT NAME: Parking, Pedestrian Access and Site Drainage  
PROJECT LOCATION: Historic New Bridge Landing  
PROJECT NO: P1382-00  
DATE: January 6, 2026

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## X. SOW SIGNATURE APPROVAL SHEET

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This Scope of Work shall not be considered a valid document unless all signatures appear in each designated area below.

The client agency approval signature on this page indicates that they have reviewed the design criteria and construction schedule described in this project Scope of Work (including the subsequent contract deliverables and exhibits) and verifies that the work will not conflict with the existing or future construction activities of other projects at the site.

SOW APPROVED BY: James Wright 1/6/2026  
JAMES WRIGHT, MANAGER DATE  
DPMC PROJECT PLANNING & INITIATION

SOW APPROVED BY: William White 1/6/26  
WILLIAM WHITE, PROJECT MANAGER DATE  
DEPARTMENT OF ENVIRONMENTAL PROTECTION

SOW APPROVED BY: Joseph Polizzi 1/6/2026  
JOSEPH POLIZZI, PROJECT MANAGER DATE  
DPMC PROJECT MANAGEMENT GROUP

SOW APPROVED BY: Jeanette M. Barnard 1.22.26  
JEANNETTE M. BARNARD, DEPUTY DIRECTOR DATE  
DIV PROPERTY MGT & CONSTRUCTION

## **XI. CONTRACT DELIVERABLES**

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The following are checklists listing the Contract Deliverables that are required at the completion of each phase of this project. The Consultant shall refer to the DPMC publication entitled “Procedures for Architects and Engineers,” 3.0 Edition, dated September 2022 available at <https://www.nj.gov/treasury/dpmc/Assets/Files/ProceduresforArchitectsandEngineers.pdf> for a detailed description of the deliverables required for each submission item listed. References to the applicable paragraphs of the “Procedures for Architects and Engineers” are provided.

Note that the Deliverables Checklist may include submission items that are “S.O.W. Specific Requirements.” These requirements will be defined in the project specific scope of work and included on the deliverables checklist.

This project includes the following phases with the deliverables noted as “Required by S.O.W” on the Deliverables Checklist:

- DESIGN DEVELOPMENT PHASE;**
- FINAL DESIGN PHASE;**
- PERMIT APPLICATION PHASE;**
- BIDDING AND CONTRACT AWARD;**
- CONSTRUCTION PHASE; and**
- PROJECT CLOSE-OUT PHASE**

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## **XII. EXHIBITS**

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- A. SAMPLE PROJECT SCHEDULE FORMAT**
- B. PROJECT SITE LOCATION MAP**
- C. LAN REPORT**

**END OF SCOPE OF WORK**

## Deliverables Checklist Design Development Phase

A/E Name: \_\_\_\_\_

A/E Manual Reference	Submission Item	Required by S.O.W.		Previously Submitted		Enclosed	
		Yes	No	Yes	No	Yes	No
14.4.1.	A/E Statement of Site Visit						
14.4.2.	Narrative Description of Project						
14.4.3.	Building Code Information Questionnaire						
14.4.4.	Space Analysis						
14.4.5.	Special Features						
14.4.6.	Catalog Cuts						
14.4.7.	Site Evaluation						
14.4.8.	Subsurface Investigation						
14.4.9.	Surveys						
14.4.10.	Arts Inclusion						
14.4.11.	Design Rendering						
14.4.12.	Regulatory Approvals						
14.4.13.	Utility Availability						
14.4.14.	Drawings (6 Sets)						
14.4.15.	Specifications (6 Sets)						
14.4.16.	Current Working Estimate/Cost Analysis in CSI Format						
14.4.17.	Project Schedule						
14.4.18.	Formal Presentation						
14.4.19.	Plan Review/Scope of Work Compliance Statement						
14.4.20.	Design development Phase Deliverables Checklist						
<b>S.O.W. Reference</b>	<b>S.O.W. Specific Requirements</b>						

This checklist shall be completed by the Design Consultant and included as the cover sheet of this submission to document to the DPMC the status of all the deliverables required by the project specific Scope of Work.

\_\_\_\_\_  
Consultant Signature

\_\_\_\_\_  
Date

**Deliverables Checklist  
Final Design Phase**

A/E Name: \_\_\_\_\_

A/E Manual Reference	Submission Item	Required by S.O.W.		Previously Submitted		Enclosed	
		Yes	No	Yes	No	Yes	No
15.4.1.	A/E Statement of Site Visit						
15.4.2.	Narrative Description of Project						
15.4.3.	Building Code Information Questionnaire						
15.4.4.	Space Analysis						
15.4.5.	Special Features						
15.4.6.	Catalog Cuts						
15.4.7.	Site Evaluation						
15.4.8.	Subsurface Investigation						
15.4.9.	Surveys						
15.4.10.	Arts Inclusion						
15.4.11.	Design Rendering						
15.4.12.	Regulatory Approvals						
15.4.13.	Utility Availability						
15.4.14.	Drawings (6 Sets)						
15.4.15.	Specifications (6 Sets)						
15.4.16.	Current Working Estimate/Cost Analysis in CSI Format						
15.4.17.	Project Schedule						
15.4.18.	Formal Presentation						
15.4.19.	Plan Review/Scope of Work Compliance Statement						
15.4.20.	Final Design Phase Deliverables Checklist						
<b>S.O.W. Reference</b>	<b>S.O.W. Specific Requirements</b>						

This checklist shall be completed by the Design Consultant and included as the cover sheet of this submission to document to the DPMC the status of all the deliverables required by the project specific Scope of Work.

\_\_\_\_\_  
Consultant Signature

\_\_\_\_\_  
Date









**Typical DPMC Project - Random Selection of Design Consultant**

ID	Task Name	Start	Finish	Duration	Half 2, 2025							Half 1, 2026							Half 2, 2026							Half 1, 2027						
					A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M		
0	<b>Typical Project Model</b>	Mon 5/19/...	Fri 4/9/27	691 days																												
1	<b>Project Initiation Phase</b>	Mon 5/19/25	Mon 7/14/25	57 days																												
2	Project Funding Received	Mon 5/19/25	Mon 5/19/25	1 day																												
3	Schedule Site Visit	Thu 5/22/25	Thu 5/22/25	1 day																												
4	Site Visit	Fri 5/30/25	Fri 5/30/25	1 day																												
5	Prepare Draft SOW	Mon 6/2/25	Fri 6/6/25	5 days																												
6	Distribute Draft SOW for Review	Mon 6/9/25	Mon 6/9/25	1 day																												
7	Review SOW	Tue 6/10/25	Mon 6/23/25	10 days																												
8	Review SOW	Tue 6/10/25	Mon 6/23/25	10 days																												
9	Review SOW	Tue 6/10/25	Mon 6/23/25	10 days																												
10	Receive Comments Revise SOW	Tue 6/24/25	Mon 6/30/25	5 days																												
11	Distribute Final SOW for Review & Signature	Tue 7/1/25	Tue 7/1/25	1 day																												
12	Review & Sign SOW	Wed 7/2/25	Wed 7/2/25	1 day																												
13	Review & Sign SOW	Mon 7/7/25	Mon 7/7/25	1 day																												
14	Review & Sign SOW	Thu 7/10/25	Thu 7/10/25	1 day																												
15	Forward SOW to Procurement	Mon 7/14/25	Mon 7/14/25	1 day																												
16	<b>Consultant Selection Phase</b>	Tue 7/15/25	Mon 9/1/25	49 days																												
17	Prepare Solicitation, Advertise Proj	Tue 7/15/25	Wed 7/16/25	2 days																												
18	Select Firms - Random Selection	Thu 7/17/25	Thu 7/17/25	1 day																												
19	Conduct Preproposal Meeting	Mon 7/28/25	Mon 7/28/25	1 day																												
20	Consultant Questions Due - Prepare and Issue Addenda	Tue 7/29/25	Tue 7/29/25	1 day																												
21	Receive Proposals - Distribute for Review	Tue 8/12/25	Tue 8/12/25	1 day																												
22	Review & Rank Proposals	Wed 8/13/25	Tue 8/19/25	5 days																												
23	Review & Rank Proposals	Wed 8/13/25	Tue 8/19/25	5 days																												
24	Review & Rank Proposals	Wed 8/13/25	Tue 8/19/25	5 days																												
25	Determine Rankings, Open Fee Proposals and Distribute to Committee	Wed 8/20/25	Wed 8/20/25	1 day																												
26	Negotiate Fee	Thu 8/21/25	Wed 8/27/25	5 days																												
27	Provide Funding for Consultant Contract	Thu 8/28/25	Thu 8/28/25	1 day																												
28	Complete Recommendation to Award	Thu 8/28/25	Fri 8/29/25	2 days																												
29	Consultant Contract Award	Sat 8/30/25	Mon 9/1/25	2 days																												
30	<b>Design Phase</b>	Sun 9/7/25	Fri 5/8/26	244 days																												
31	Design Contract "Kick-Off" Meeting	Sun 9/7/25	Mon 9/8/25	2 days																												
32	Program Design Phase	Tue 9/9/25	Mon 10/6/25	28 days																												
33	Receive Program Submittal & Distribute for Review	Tue 10/7/25	Thu 10/9/25	3 days																												

# EXHIBIT 'A'



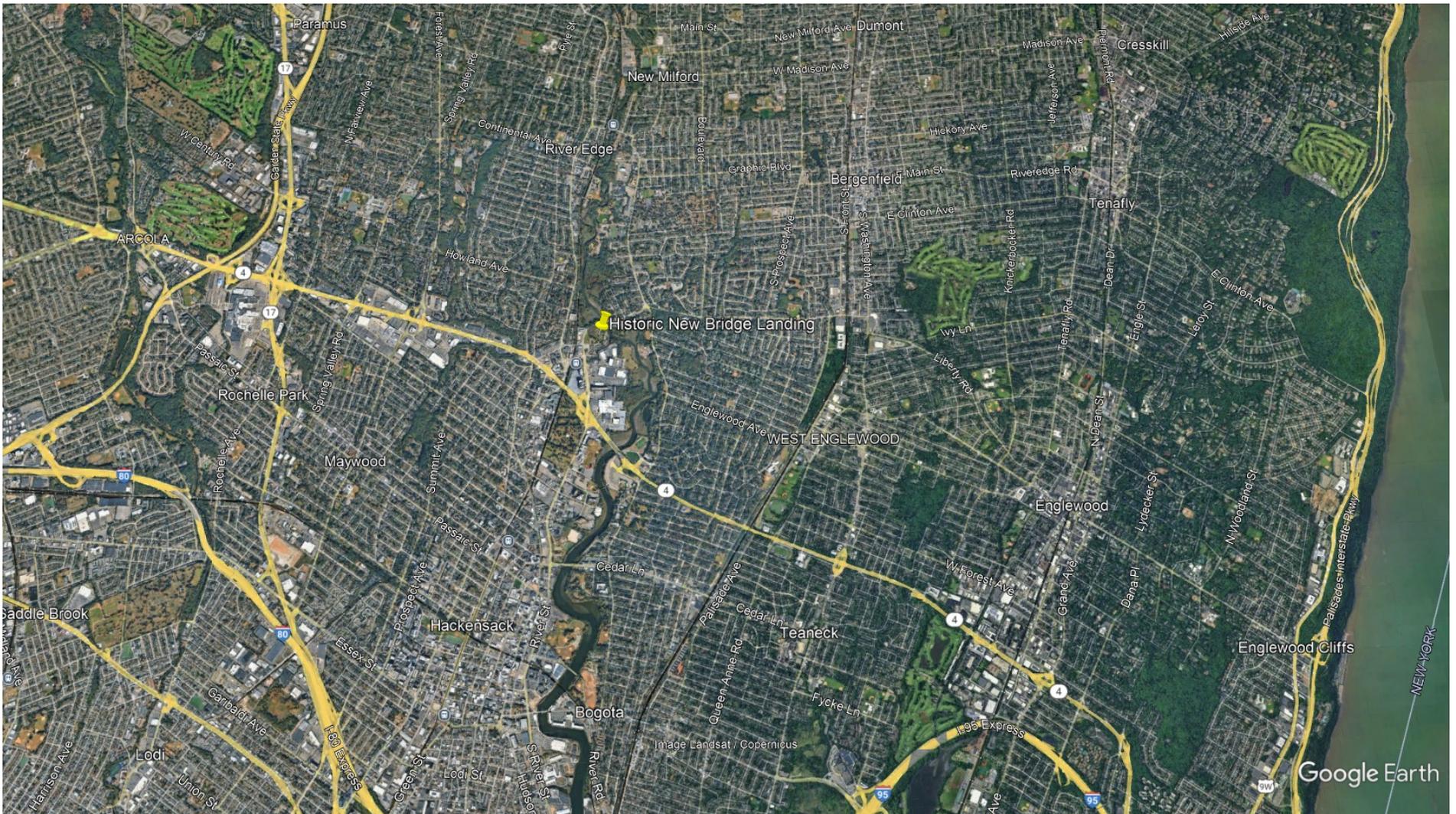


Typical DPMC Project - Random Selection of Design Consultant

Project: Typical Project Model  
 Date: Wed 4/9/25

Task		Summary		External Milestone		Inactive Summary		Manual Summary Rollup		Finish-only	
Split		Project Summary		Inactive Task		Manual Task		Manual Summary		Deadline	
Milestone		External Tasks		Inactive Milestone		Duration-only		Start-only		Progress	

# EXHIBIT 'A'



Project Site Location Map  
Historic New Bridge Landing  
**EXHIBIT 'B'**



Engineering,  
Planning,  
Architecture,  
Surveying Inc.

August 21, 2024

New Jersey State Park Service  
Northern Region Office  
199 Goodale Road  
Newton, NJ 07860

Attention: Mr. James Scholts

Email: [james.scholts@dep.nj.gov](mailto:james.scholts@dep.nj.gov)

Subject: Parking Lot Improvements & Feasibility Analysis  
New Bridge Landing  
1205 Main Street, River Edge, NJ 07661  
**LAN Job #2.80567.01**

Dear Mr. Scholts:

LAN Associates, Engineering, Planning, Architecture, Surveying, Inc. (LAN) is pleased to submit this summary of the Parking Lot Improvements to the New Jersey State Park Service and the Bergen County Historical Society (BCHS). The project tasks are described in our proposal, dated June 8, 2022.

The Parking Lot Improvements are shown on the attached drawings and described below. Additional details are included in the Feasibility Analysis, which was submitted on March 6, 2024, and attached herein.

As presented in the 2022 proposal, the BCHS is interested in:

- a master plan of site improvements
- permitting options for making improvements to the northern drainage ditch
- the feasibility of parking on the lot formerly owned by PSE&G
- improving drainage at the east end of Main Street
- improving the existing parking lot south of Main Street (the former pizza restaurant)

LAN has studied these five topics and the impact of each on the land use and historic nature of this unique site. This summary is the result of repeated site visits, permit reviews, engineering investigations, drainage calculations, sites surveys and utility inspections. The improvements listed below reflect this information. Some improvements will require approvals or construction permits, which could delay implementation. The Feasibility Analysis provides detailed information on the regulations applicable to changes at the properties. The improvements listed below are economically and environmentally sensitive, although additional more expensive and extensive improvements can be made.

#### Master Plan

The enclosed large-scale drawings illustrate possible improvements at historic New Bridge Landing (NBL). The four topics listed above are detailed below.

Possible improvements include two parking lots, drainage at the east end of Main Street and site modifications throughout. The current conditions and possible future development are detailed below. The proposed Visitor Center is shown on the drawings as an existing structure as it will be built in the near future.

### Northern Drainage Ditch

LAN reviewed current and historic plans and photographs of the site. Numerous site visits were made during high and low tides. LAN also contacted the Bergen County Mosquito Control Commission (Commission) and the Bergen County Engineering office and discussed the functionality of the drainage ditch. Both offices are familiar with the flow regimes and condition of the ditch.

The ditch was sampled for mosquito larvae, and the results show very low numbers of mosquitoes and larvae. The Commission reports that killifish move in and out of the ditch and are eating the larvae, which minimizes the mosquito population. Due to these findings, the Commission has no planned activities for the ditch. Any planned activities will need to be coordinated with the Corp of Engineers.

The Bergen County Engineering office is also familiar with the ditch condition. The Office has no plans for modifying the ditch.

The attached Feasibility Analysis lists the regulations applicable to activities for the ditch. The ditch (aka watercourse) is regulated by the New Jersey Department of Environmental Protection's Division of Land Resource Protection's Coastal Zone Management, Freshwater Wetlands Protection Act, Flood Hazard Area Control Act and Section 404 of the Clean Water Act.

### Parking Lots

The BCHS has control of two parking areas by ownership or easement. The Main Street parking lot was formerly a pizza restaurant, and the BCHS has an easement to allow parking on a portion of the lot. The Bergen County Engineer's office was consulted on the improvements listed below.

LAN's professional land surveyors completed a topographic and site survey of the Main Street parking lot. Currently, the lot is paved and striped for parking. As shown on the plans, the site has utility poles, a BCHS sign in a planter, a monitoring well, traffic signs and depressed curbs. The asphalt surface is in fair condition. The topographic survey shows drainage flowing away from the parking area. No drainage problems are known for this area. If desired, the parking area can be top sealed to enhance its appearance; it can also be milled and repaved.

For safety and ADA requirements, portions of the parking lot should be painted to show the handicapped parking spaces and turning lanes. A new depressed curb has been added as an exit leading to the jughandle on the east side. Signs for all these features should be installed as shown on the plans.

Landscaping and a fence are recommended at the perimeter of the Main Street lot. The landscaping, signs and fence will direct pedestrians to the crosswalk at the northwest corner of the parking lot where there is a traffic light. Directing pedestrians to the crosswalk will improve safety. These features will improve stormwater management and the appearance of the site.

There are two raised dividers in Main Street to the north of this parking lot. Those two raised dividers should be connected with a divider of similar size and material.

The former PSE&G area can be used as a parking lot. Currently, the site has a stone surface surrounded by concrete curbs. The current surface can be improved by paving or replacing the existing stone. Paving may require land development and NJDEP permits because the site is within the Flood Hazard Area and Floodway (see Feasibility Analysis). Alternatively, the existing surface can be improved by replacing the ballast stone with a stone bed that is conducive for vehicle traffic. A new stone surface is not anticipated to require permits. Proposed handicapped parking spaces are shown on the plans.

### Main Street Drainage

Runoff from rainfall is trapped at the east end of Main Street because the runoff cannot drain to the inlet in the circle. The runoff is blocked by the grading and landscaping. The attached plan shows proposed

grading which will allow the rainwater to reach the inlet; this will eliminate ponding. The pavement around the circle also needs to be repaired and graded, as shown.

Previously, river water came into NBL through existing pipes. The Bergen County Planning and Engineering office surveyed the NBL area and studied the flooding. Flooding was caused by high tides from the Hackensack River. The river water flowed up gradient through two outfall pipes, then to stormwater inlets including the inlet in the traffic circle. The water then ponded in the traffic circle and between the Campbell Christie and Demarest Houses. The County installed backflow preventers in the outfall pipes to eliminate the tidal backflow. The locations of the backflow preventers are shown on the attached plans.

There is erosion-caused by heavy rainfall-along the north side of the walkway which leads from the circle to the pedestrian bridge over the Hackensack River. Although the erosion is minor, this area may benefit from the addition of a lined channel. The plans show the location and construction detail for a Belgian block channel which has the appearance of a historic swale.

### Summary

The improvements herein and in the Feasibility Analysis address the five topics listed in the proposal. The improvements were selected because they are low-cost, environmentally sensitive, and easily implemented. The improvements can be built individually or as part of the Museum project.

LAN's staff of engineers, architectures and surveyors are available to meet with your staff and the volunteers of NBL. We would like to present the findings of the Master Plan and the Feasibility Analysis.

LAN would like to continue to serve the BCHS to improve and preserve NBL. LAN can provide civil and architectural design services for the attached plans and submit the documents required for permitting. Please contact us if we can continue to work with you to keep this significant historic site available for future generations.

It is a pleasure to assist the State and the Bergen County Historic Association to improve this valuable resource. This is a special site which has outstanding national, historic value. We appreciate the opportunity to work with you on the success of preserving this resource.

If you have any question, please contact me by phone or via email at [karenanne.riley@lanassociates.com](mailto:karenanne.riley@lanassociates.com).

Respectfully submitted,

LAN Associates, Engineering, Planning,  
Architecture, Surveying, Inc.

Karen Anne Riley, PhD, PE, LS, PP  
Senior Engineer



KAR:kj/p:\800-Survey\80500-80599\80567\80567.01\Admin\Report\Report\_Master Plan 8\_20\_2024.docx 8/21/2024 11:06:00 AM

Attachments: #1 – Feasibility Analysis;  
#2 – Master Plan.

cc Deborah Powell, w/atts. (Via Email: [deborahknowsbest@gmail.com](mailto:deborahknowsbest@gmail.com))  
Eric Pain, w/atts. (Via Email: [Eric.Pain@dep.nj.gov](mailto:Eric.Pain@dep.nj.gov))  
James Smith, w/atts. (Via Email: [bchs1902@gmail.com](mailto:bchs1902@gmail.com))  
Mark Texel, w/atts. (Via Email: [mark.texel@dep.nj.gov](mailto:mark.texel@dep.nj.gov))  
Bergen County Department of Planning and Engineering  
SR/KAR/KLY, w/atts. (Via Email)  
File #2.20462.21 w/atts. (Digital)

**ATTACHMENT 1**

**FEASIBILITY ANALYSIS**

LAN Job #2.20462.21

# **FEASIBILITY ANALYSIS**

## **Future Developments at the Historic New Bridge Landing**

**Block 1304, Lots 1, 2, & 3**

**Block 1305, Lots 1-5**

**Block 1306, Lot 3**

**Township of River Edge**

**Bergen County, NJ**

### **Submitted To:**

New Jersey State Park Service

North Reion Office

199 Goodale Road

Newton, NJ 07860

Attn: Mr. James Scholts

### **Prepared By:**

LAN Associates, Engineering, Planning, Architecture, Surveying, Inc.

445 Godwin Avenue

Midland Park, NJ 07432

P: 201-447-6400

F: 201-447-1233

LAN Job #2.80567.01

March 6, 2024

# **EXHIBIT 'C'**

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## FIGURES

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2. Topographic Map
3. Limits of the Waterfront Development Area
4. Menlo Engineering Associates, Inc. Wetlands Map 12/8/2016
5. FEMA FIRMette

# FEASIBILITY ANALYSIS

## DESKTOP REVIEW



PROJECT OWNER		LAN JOB #	
PROJECT ADDRESS		DATE OF REVIEW	
BLOCK, LOT			

### SCOPE OF WORK

Analyze potential NJDEP DLRP regulations pertaining to future improvements:

1. Improvements to the functionality of the drainage ditch that runs through the norther portion of the Historic New Bridge Landing property.
2. Re-use the former PSEG property for parking for Historic New Bridge Landing.
3. Improvements to the stormwater drainage in the cul-de-sac area at the eastern end of Main Street. With the previous vacation of the need of main street, the cul-de-sac appears to be located partially on park property and partially on NJ State property.

### EXECUTIVE SUMMARY

LAN Associates (LAN) reviewed applicable regulations, namely Coastal Zone Management Rules (CZMR) at N.J.A.C. 7:7, Freshwater Wetland Protection Act Rules (FWPAR) at N.J.A.C. 7:7A, Flood Hazard Area Control Act Rules (FHACAR) at N.J.A.C. 7:13 and the applicable general permits available through the US Army Corps of Engineers.

1. Drainage Ditch Improvements will require Waterfront Development Individual Permit (WFDIP), Freshwater Wetlands General Permit (FWWGP) and USACE General Permit.
2. Project can be designed outside of CZMR; Flood Hazard Area Individual Permit (FHAIP) will be required.
3. Stormwater improvements in cul-de-sac will likely require a WFDIP but if exempt (by design) will require a FHAIP.

### APPLICABLE AGENCY MAPS & REGULATORY ANALYSIS



#### NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION

Once the site has been defined, the environmental constraints must be determined and reviewed for any part of the "site" that is regulated by the Division of Land Resource Protection under one of the applicable DEP Land Use Statutes and Rules

**Rule:** N.J.A.C. 7:7, N.J.A.C. 7:7A, N.J.A.C. 7:13

**Instrument for Authorization:** Letter of Interpretation; General Permit-By-Certification, General Permit, Transition Area Waiver, or Individual Permit

**Threshold:** Level of Environmental Impact

**HOW IT APPLIES:** The NJDEP has assumed jurisdiction over wetlands in delegable waters. In non-delegable waters both the NJDEP and USACE maintain jurisdiction. The NJDEP regulates water in two distinct ways, flood hazard areas and riparian zones. The NJDEP also assumes jurisdiction of tidal waters.



#### FEMA FLOOD MAP SERVICE CENTER

Provides maps studied by FEMA and flood profiles.

**Rule:** N.J.A.C. 7:13

**Instrument for Authorization:** Applicability Determination, Flood Hazard Area Verification, Permit-by-Rule, General Permit-by-Certification, General Permit Individual Permit.

**Threshold:** Applicable activities conducted within the flood hazard area which consists of flood fringe and/or floodway

**HOW IT APPLIES:** FEMA has studied the flood elevations along the Hackensack River. FEMA mapping and profiles are utilized to understand the base flood elevations and translate into the current New Jersey Design Flood Elevation.



#### UNITED STATES ARMY CORPS OF ENGINEERS

Research available Nationwide Permits and their Regional Conditions We can cover the North Jersey and New York area up to Buffalo and the South Jersey and Pennsylvania area up to Philadelphia.

**Rule:** Section 10 of the Rivers and Harbors Act, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection, Research and Sanctuaries Act of 1972

**Instrument for Authorization:** Jurisdictional Determination, Nationwide Permit, Individual Permit

**Threshold:** Level of Environmental Impact

**HOW IT APPLIES:** The NJDEP has assumed jurisdiction over delegable waters, including wetlands, however USACE maintains jurisdiction over non-delegable waters, including wetlands, which were previously, are currently or could potentially be navigable waters; subject to ebb/flow.

## **1.0 INTRODUCTION:**

The property, or “Site” as referred to in this report, is the Historic New Bridge Landing located at 1205 Main Street, Block 1304, Lots 1, 2, & 3, the parking lot where the old pizza restaurant used to be at 488 Hackensack Avenue, Block 1305, Lots 1-5, and the PSE&G parking lot at 1190 Main Street, Block 1306, Lot 3, each in the Borough of River Edge, Bergen County, New Jersey.

LAN Associates was retained by New Jersey State Park Service (“Owner”) to analyze potential New Jersey Department of Environmental Protection (NJDEP), Division of Land Resource Protection (DLRP) regulations pertaining to future improvements at the subject property. Based upon the current projects under consideration for implementation, a detailed feasibility study to help the park to determine the feasibility of several future improvements, include the following:

1. Improvements to the functionality of the drainage ditch that runs through the northern portion of the Historic New Bridge Landing property.
2. Re-use the former PSEG property for parking for Historic New Bridge Landing.
3. Improvements to the stormwater drainage in the cul-de-sac area at the eastern end of Main Street. With the previous vacation of the end of Main Street, the cul-de-sac appears to be located partially on park property and partially on NJ State property. Because this area appears to be located in the regulated floodway, NJDEP permitting is anticipated to be required.

## **2.0 LAWS AND REGULATIONS EXAMINED:**

The following regulations relative to the subject site were reviewed:

- N.J.A.C. 7:7 Coastal Zone Management Rules - This chapter establishes the rules of the NJDEP DLRP regarding the use and development of coastal resources. The rules are used in reviewing applications for coastal permits under the Coastal Area Facility Review Act, N.J.S.A. 13:19-1 et seq. (CAFRA permits), the Wetlands Act of 1970, N.J.S.A. 13:9A-1 et seq. (coastal wetlands permits), and the Waterfront Development Law, N.J.S.A. 12:5-3 (waterfront development permits).
- N.J.A.C. 7:7A Freshwater Wetlands Protection Act Rules - This chapter constitutes the rules governing the implementation of the Freshwater Wetlands Protection Act, N.J.S.A. 13:9B-1 et seq.
- N.J.A.C. 7:13 Flood Hazard Area Control Act Rules - This chapter sets forth requirements governing human disturbance to the land and vegetation in the following areas: The flood hazard area of a regulated water and riparian zone of a regulated water.
- USACE Nationwide Permit Program and New Jersey 2021 Nationwide Permit Regional Conditions.

## **3.0 REGULATORY REVIEW:**

This regulatory review includes an assessment of the anticipated NJDEP DLRP permitting that would be required for each of the three identified projects as listed in the proposal. Since the subject site is located along non-delegable waters, authorization from the U.S. Army Corps of Engineers is also required.

1. Improvements to the functionality of the drainage ditch that runs through the northern portion of the Historic New Bridge Landing property.
2. Re-use the former PSEG property for parking for Historic New Bridge Landing.
3. Improvements to the stormwater drainage in the cul-de-sac area at the eastern end of Main Street. With the previous vacation of the end of main street, the cul-de-sac appears to be located partially on park property and partially on NJ State property. Because this area appears to be in the regulated floodway, NJDEP permitting is anticipated to be required.

### 3.1 N.J.A.C. 7:7 Coastal Zone Management Rules

The property is located along the Hackensack River, a tidal waterway also known as a non-delegable water, outside of the Hackensack Meadowlands District (HMD) and CAFRA Zone. This waterfront area includes all tidal waterways and lands lying thereunder, up to and including the mean high-water line; and adjacent upland areas within 100 feet of the mean high-water line. For properties within 100 feet of the mean high water line that extend beyond 100 feet from the mean high water line, the regulated waterfront area shall extend inland to the less of the following distances: (1) 500 feet from the mean high water line; or (2) to the first paved public road, railroad, or surveyable property line that (A) existed on September 26, 1980; and (B) Generally parallels the waterway. According to Historic Aerials, Main Street existed in 1979, therefore, the waterfront area extends inland from the mean high-water line to Main Street on the southeast portion of Block 1304, Lot 2. However, the waterfront area extends from the mean high water to 500 feet towards New Bridge Road almost the entirety of the northeast portion Block 1304, Lot 2.

According to Coastal Zone Management Rules at N.J.A.C. 7:7-2.4(d) a permit shall be required for the construction, reconstruction, alteration, expansion, or enlargement of any structure, or for the excavation or filling of any area, any portion of which is in the waterfront area as defined. "Structure" is defined as any assembly of materials above, on, or below the surface of the land or water, including, but not limited to, buildings, fences, dams, pilings, footings, breakwaters, culverts, pipes, pipelines, piers, roads, railroads, and bridges and includes floating structures.

1. Improvements to the functionality of the drainage ditch that runs through the northern portion of the Historic New Bridge Landing property.

Bank and/or shoreline stabilization activities are conducted to protect eroding shorelines from experiencing further erosion. Within coastal areas these activities generally require a permit. The current regulations do not provide any exemptions or Permits-by-rule for bank and/or shoreline stabilization activities.

Stream cleaning includes sediment, debris, and garbage removal from a channel or stream in an effort to eliminate flow obstructions and/or desnag the stream. There are no exemptions, Permits-by-rule, General Permits-by-Certification, or General Permits specific to stream cleaning activities.

Dredging is the removal of wetlands using mechanical, hydraulic, or pneumatic tools in an effort to restore or maintain original bottom contours of waterbodies. Dredging of sediment from a state open water such as a lake or pond is not regulated provided there are no disturbances to wetlands for access to the lake and the sediment is staged and dewatered outside of regulated areas. In some cases, dredging activities are regulated by the Department's Office of Dredging and Sediment Technology and the Division of Land Use Regulation. Therefore, authorization(s) from both entities may be required.

Pursuant to the Coastal Zone Management rules at N.J.A.C. 7:7, dredging is the removal of sediment located waterward of the spring high water line and dredging does not include excavation. Dredged material is the sediment removed from below the spring high water line.

The proposed project does not meet the requirements of one of the available General Permits for dredging, a Waterfront Development Individual Permit may be required.

2. Re-use the former PSEG property for parking for Historic New Bridge Landing.

Road and driveway construction, repair, and/or reconstruction within the coastal areas may qualify for an exemption as described below. If the proposed project does not meet the requirements a Waterfront Development Individual Permit may be required.

#### **Potentially Applicable Exemptions:**

Please see applicable rule for complete requirements.

- The reconstruction or enlargement of any existing structure (such as driveways) within Upland Waterfront Development jurisdiction located more than 100' landward of the mean

high-water line, provided no change in land use occurs, and the enlargement is less than 5,000 sq. ft. per N.J.A.C. 7:7-2.4(d)2.

- The minor addition or changes to existing structures (such as driveways) within Upland Waterfront Development jurisdiction that do not result in adverse impacts to special areas defined at N.J.A.C.7:7-9, are located on an existing cleared area of the site, are set back a minimum of 15' landward of the mean high water line, and do not result in a change of land use per N.J.A.C. 7:7-2.4(d)3.
3. Improvements to the stormwater drainage in the cul-de-sac area at the eastern end of Main Street. With the previous vacation of the end of main street, the cul-de-sac appears to be located partially on park property and partially on NJ State property. Because this area appears to be located in the regulated floodway, NJDEP permitting is anticipated to be required.

Linear development within coastal areas generally requires a permit. There are no coastal Permits-by-rule, General Permits-by-Certification, or General Permits available for linear development. However, the below exemptions may apply. If the below exemptions do not apply, the project may require a Waterfront Development Individual Permit.

Potentially applicable Exemptions:

The construction of a new road, sanitary sewer pipeline, petroleum pipeline or natural gas pipeline of less than 1,200' in length or the extension of a road, sanitary sewer pipeline, stormwater management facility, petroleum pipeline or natural gas pipeline of less than 1,200' in length, not to exceed a cumulative total of 1,200' in any one municipality at any one site, provided the construction is not located within a development requiring a CAFRA permit per N.J.A.C. 7:7-2.2(b)3i.

The reconstruction, conversion, alteration, or enlargement of any existing structure within Upland Waterfront Development jurisdiction and located more than 100' landward of the mean high water line provided no change in land use results and the enlargement is not greater than 5,000 sq. ft. per N.J.A.C. 7:7-2.4(d)2.

The minor addition to or changes in existing structures within Upland Waterfront Development jurisdiction which do not result in adverse environmental impacts to special areas provided the addition is located in an existing cleared area of the site, is set back a minimum of 15' from the mean high water line and such changes do not result in a change in land use per N.J.A.C. 7:7-2.4(d)3.

### **3.2 N.J.A.C. 7:7A Freshwater Wetlands Protection Act Rules**

Regulated wetlands areas are known to exist on the northern parcels; however the parking lot appears to be sufficiently far from the freshwater wetlands and transition areas. As such, wetlands permitting is not anticipated for the parking lot improvements.

1. Improvements to the functionality of the drainage ditch that runs through the northern portion of the Historic New Bridge Landing property.

Bank stabilization within freshwater wetlands, transition areas, and/or State open waters requires a Freshwater Wetlands (FWW) permit.

A FWW General Permit 20 — Bank stabilization is available for this type of activity. To be eligible for a GP20, the total length of bank stabilization proposed can be no more than 150 feet of riprap or gabion baskets or no more than 300 feet of soil-bioengineering (i.e. a combination of hard armoring and vegetative methods). There is no length limit for a project that will consist only of vegetative planting measures.

If the bank stabilization project cannot comply with the criteria for a GP20, the applicant would need to apply for an Individual Permit (IP). An IP application would need to include a description as to why the project cannot be minimized to satisfy the General Permit criteria described under the GP20.

Stream Cleaning is normally considered a regulated activity within State open waters and/or Freshwater Wetlands. Depending on the scope of the project, however, simple hand removal of debris within a stream such as snags and fallen trees, garbage, etc. using hand tools does not require a Freshwater Wetlands permit. If you are considering this option, please be aware that disturbance of the stream channel or banks, including sediment removal may require a permit, as does removal of debris with machinery.

If machinery is required, cutting live wetland vegetation and/or disturbing soils such as the stream channel or banks, then it is likely that a Freshwater Wetlands permit would be required.

If the proposed stream cleaning is being performed by a municipality or other government agency, then a General Permit 25 – Minor channel or stream cleaning for local government agencies is required.

If the proposed stream cleaning is NOT being performed by a municipality or other government agency, or if your activity does not conform to the requirements of a GP25, then you would need to apply for an Individual Permit (IP). An IP application would need to include a description as to why the project cannot be minimized to satisfy the General Permit criteria described in GP25.

### 3.3 N.J.A.C. 7:13 Flood Hazard Area Control Act Rules

According to FEMA Flood Insurance Rate Map, Panel 191 of 332, Map number 34003C0191H, Map Revised August 28, 2019, the entirety of the site is located within the Special Flood Hazard Area in Zone AE with a Base Flood Elevation 8 (NAVD88) and portions within the Floodway. The NJDEP verified the Flood Hazard Area on October 3, 2022, under File No. 0252-10-0001.1 LUP220003 on Block 1303, Lot 2 and Block 1304, Lot 2 prepared by Menlo Engineering Associates. The verified New Jersey Flood Hazard Area Design Flood Elevation under Method 2 (FEMA Tidal Method) is 9 feet (NAVD88).

Note that Permits-by-Rule (PBR) is discussed below, however, if the project is determined to be a “major development” as defined in N.J.A.C. 7:8; one acre of disturbance or ¼ acre of increased impervious surface or the creation of ¼ acres or more of regulated motor vehicle surface, PBRs and General Permits are not available. An Individual Permit will be required.

1. Improvements to the functionality of the drainage ditch that runs through the northern portion of the Historic New Bridge Landing property.

There is one permit-by-rule that may be associated with streambank stabilization. Permit-by-rule 6 at N.J.A.C. 7:13-7.6 is for the use of machinery to remove a major obstruction from regulated water. Please note that this permit-by-rule does not authorize the disturbance of trees within the riparian zone, nor does it authorize the removal of accumulated sediment from regulated water.

All other activities that do not qualify for a permit-by-rule must apply for a Flood Hazard Area Individual Permit in accordance with standards at N.J.A.C. 7:13-10, 11 and 12. N.J.A.C. 7:13-11.2(i) and 12.14 set forth specific requirements for bank stabilization activities.

It is important to note that streams are dynamic in nature. As such, any proposed design should be based on stressors that are watershed-based, not local. Vegetation-based measures are preferred over hard armoring (see N.J.A.C. 7:13-12.4(c) for the bank stabilization hierarchy).

2. Re-use the former PSEG property for parking for Historic New Bridge Landing.

The construction of a road or driveway will usually require a formal permit. However, it can potentially qualify for Permit by Rule (a) 2 if it is located in a grassed riparian zone (or outside the riparian zone) and will be located at or below grade in the flood hazard area (or be located outside the flood hazard area).

Permit-by-rule 8 allows construction at or below grade in a fluvial flood hazard area provided no disturbance within 25 feet of any top of bank. Note that the above-mentioned verified Flood Hazard Area is associated with tidal waters.

Permit-by-rule 40 authorizes the milling, repaving, and/or resurfacing of existing pavement. These activities cannot expand the area of pavement and cannot raise the surface of the pavement at all in a floodway. Pavement in a fluvial flood fringe or in an area mapped as within a fluvial 100-year floodplain cannot be raised more than a cumulative total of three inches. Disturbance to riparian zone vegetation is limited to actively disturbed areas within 20 feet of the pavement.

If the above conditions cannot be met, then an Individual Permit will be required for the construction of a road or driveway.

3. Improvements to the stormwater drainage in the cul-de-sac area at the eastern end of Main Street. With the previous vacation of the end of main street, the cul-de-sac appears to be located partially on park property and partially on NJ State property. Because this area appears to be in the regulated floodway, NJDEP permitting is anticipated to be required.

There are many potential permitting options for linear development under the Flood Hazard Area Control Act Rules at N.J.A.C. 7:13. This focuses on roadways.

Permit-by-rule 40 authorizes the milling, repaving, and/or resurfacing of existing pavement. These activities cannot expand the area of pavement and cannot raise the surface of the pavement at all in a floodway. Pavement in a fluvial flood fringe or in an area mapped as within a fluvial 100-year floodplain cannot be raised more than a cumulative total of three inches. Disturbance to riparian zone vegetation is limited to actively disturbed areas within 20 feet of the pavement.

If the proposed project is regulated pursuant to the Coastal Zone Management rules at N.J.A.C. 7:7, then no separate Flood Hazard approval is required. In these instances, the applicant need only submit a report and plans demonstrating compliance with the Flood Hazard Area Control Act rules as part of the coastal permit application.

### 3.4 US Army Corps of Engineers

The on-site wetlands meet the hydrophytic vegetation, hydric soils and wetland hydrology criteria established in the 1987 Corps of Engineers Wetlands Delineation Manual, "Technical Report Y-87-1. The onsite wetland is considered adjacent to a Traditional Navigable Waterway (TNW) of the Hackensack River. Therefore, the wetlands are part of the surface water tributary system of a navigable water of the United States and are jurisdictional. Effective March 2, 1994, the State of New Jersey assumed the Federal Section 404 permit program from the U.S. Army Corps of Engineers (USACE) for delegable waters. Regulated activities in non-delegable waters require authorization from the NJDEP and the USACE under the Federal 404 program. Regulated freshwater wetlands areas are known to exist on the northern parcels, the parking lot improvements and stormwater improvements do not occur in wetlands and therefore, not subject to Section 404 permit program.

1. Improvements to the functionality of the drainage ditch that runs through the northern portion of the Historic New Bridge Landing property.

The USACE provides authorization under a general permit for maintenances activities within streams provided only minor deviations for maintenance; and bank stabilization activities provided the activities do not exceed 500 linear feet in length, and less than one cubic yard per running foot, as measured along the treated bank.

### 4.0 **SUMMARY OF FINDINGS:**

1. Improvements to the functionality of the drainage ditch that runs through the northern portion of the Historic New Bridge Landing property.

The watercourse (aka drainage ditch) is regulated by the New Jersey Department of Environmental Protection (NJDEP) Division of Land Resource Protection's CZMR, FWPAR, and FHACAR. Activities are also regulated by the US Army Corps of Engineers. Based on our review of the regulations analyzed above, it is our opinion that the project would require a Waterfront Development Individual permit pursuant to CZMR, potentially a General Permit pursuant to FWPAR

and Flood Hazard Area Individual Permit pursuant to FHACAR. The project would also require a general permit pursuant to Section 404 of the Clean Water Act.

2. Re-use the former PSEG property for parking for Historic New Bridge Landing.

The PSEG parking improvements could potentially be exempt from CZMR if designed less than 5,000 square feet and greater than 100 feet from the MHWL. The PSEG parking lot is not located in a freshwater wetland, transition area or State open water. Therefore, the FWPAR is not applicable. The parking facility is in the Flood Hazard Area and the Floodway and may qualify for associated permits-by-rule, however the NJDEP is likely to ascertain that all of the project proposed on the adjacent sites count as complete projects which requires the disturbance quantities to be aggregated. Therefore, the proposed improvements will likely require a Flood Hazard Area Individual Permit.

3. Improvements to the stormwater drainage in the cul-de-sac area at the eastern end of Main Street. With the previous vacation of the end of main street, the cul-de-sac appears to be located partially on park property and partially on NJ State property. Because this area appears to be in the regulated floodway, NJDEP permitting is anticipated to be required.

Improvements to the stormwater drainage in the cul-de-sac may be exempt from CZMR if designed in accordance with the thresholds identified above. Otherwise, a Waterfront Development Individual Permit would be required. The cul-de-sac appears to not be in a freshwater wetland, transition area or State open water. Therefore, the FWPAR is not applicable. As identified above, this area is in the Waterfront Development and regulated according to the CZMR.

### 5.0 Approximate Permitting Costs & Application Fees:

The below table identifies the costs to submit a complete application to the NJDEP and NJDEP’s application fees per their Regulatory Fee Schedule. Under each Program administered by the Division of Land Resource Protection, there is also a separate fee for the review of stormwater management calculations for any project that qualifies as a “major development”. A “major development” is defined under the Stormwater Management rules at N.J.A.C. 7:8-1.2, last amended July 17, 2023. These rules are anticipated to be updated July 2024. A major development means an individual development, as well as multiple developments that individually or collectively result in:

1. The disturbance of one or more acres of land since February 2, 2004;
2. The creation of one-quarter acre or more of regulated impervious surface since February 2, 2004;
3. The creation of one-quarter acre or more of regulated motor vehicle surface since March 2, 2021; or
4. A combination of 2 and 3 above that totals an area of one-quarter acre or more. The same surface shall not be counted twice when determining if the combination area equals one-quarter acre or more.

Also Note that an “Agency of the State” is not subject to application fees for authorizations sought under the Freshwater Protection Act Rules at N.J.A.C. 7:7A-18.1(b)1.

Activity	Regulation	Type of Authorization	Cost to prepare application	Application Fee
<b>Improvements to the functionality of the drainage ditch that runs through the northern portion of the Historic New Bridge Landing property</b>	Coastal Zone Management Act	WFDIP	\$12,000	\$3,000 per acre of the site
	Freshwater Wetlands Protection Act Rules	LOI	\$4,500	\$1,000 plus \$100 per acre
		GP	\$5,500	\$1,000
	Flood Hazard Area Control Act Rules	FHAIP	\$10,500	Base Fee \$3,000 Bank Stabilization: \$4,000 plus \$400 per LF of regulated water. Stormwater \$3,000
<b>Re-use the former PSEG property for parking for Historic New Bridge Landing.</b>	Coastal Zone Management Act	May qualify for exemption	\$0.00	\$0.00
	Flood Hazard Area Control Act Rules	PBR or FHAIP	\$0.00 \$10,500	\$0.00 or Base Fee \$3,000 Stormwater \$3,000

Activity	Regulation	Type of Authorization	Cost to prepare application	Application Fee
<b>Improvements to the stormwater drainage in the cul-de-sac area at the eastern end of Main Street. With the previous vacation of the end of main street, the cul-de-sac appears to be located partially on park property and partially on NJ State property. Because this area appears to be in the regulated floodway, NJDEP permitting is anticipated to be required.</b>	Coastal Zone Management Act	May qualify for exemption or WFDIP	\$0.00 \$10,500	\$0.00 \$3,000 per acre of the site
	Flood Hazard Area Control Act Rules	PBR	\$0.00	\$0.00

Applications to the NJDEP require public notification to the Municipal Clerk, and town and county officials as well as to property owners within 200 feet of the site. The costs of mailing fees are not included in the above. The costs identified above do not include engineering, only the preparation of the application(s).

**6.0 Approximate Timelines:**

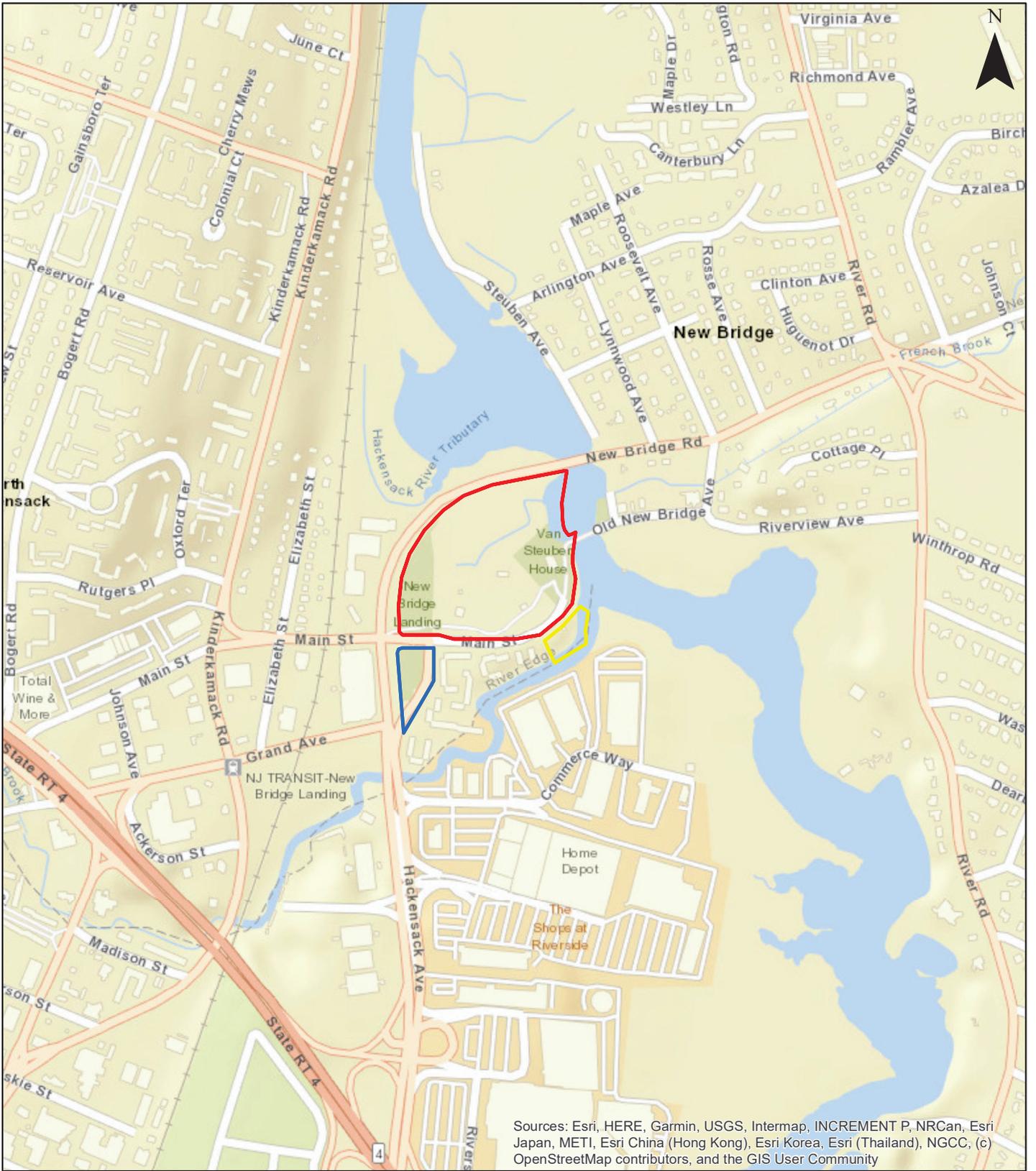
Preparation of a submittal of verifications requires surveys and preparation of submittal of general permits and or individual permits require site plans which include all existing features and all proposed regulated activities. Generally, the NJDEP application review timeline consists of publishing notice of the application in the NJDEP bulletin for a 30-day public comment period; a 20-day completeness review and 90-day decision. An additional timeline is provided under N.J.A.C. 7:7A-19.4 for General Permit 25 for minor channel or stream cleaning for local government agencies. A 60 calendar if sediment is removed the NJDEP follows the requirement for administrative and technical completeness review. Under General Permit 25 if the NJDEP does not decide to approve or deny an application, project authorization to commence stream cleaning activities is assumed. Otherwise, NJDEP applications require within 90 calendar days after an application is declared complete for review the NJDEP to approve or deny the application. Note that if this decision is not made, the project cannot move forward.

The Flood Hazard Area Control Act Rules are not much different; Publish in NJDEP bulletin to allow for 30-calendar day public comment period; administrative review/complete for review; and 90 days from completeness review, technical review to approve/deny application.

These application deadlines can be extended for an additional 30-day period. Consider, however, that the NJDEP is severely backlogged and while the Flood Hazard Control Act Rules requires a hard deadline of 90 days from completeness review, which can be extended an additional 30 days, the Freshwater Wetlands Protection Act Rules and the Coastal Zone Management Rules do not apply a hard deadline. It has been LAN's experience that general permits have taken over a year to obtain approvals and Waterfront Development Individual Permits to take approximately 9 months for approvals.

Karen L. Young, PWS  
Environmental Scientist

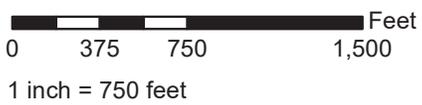
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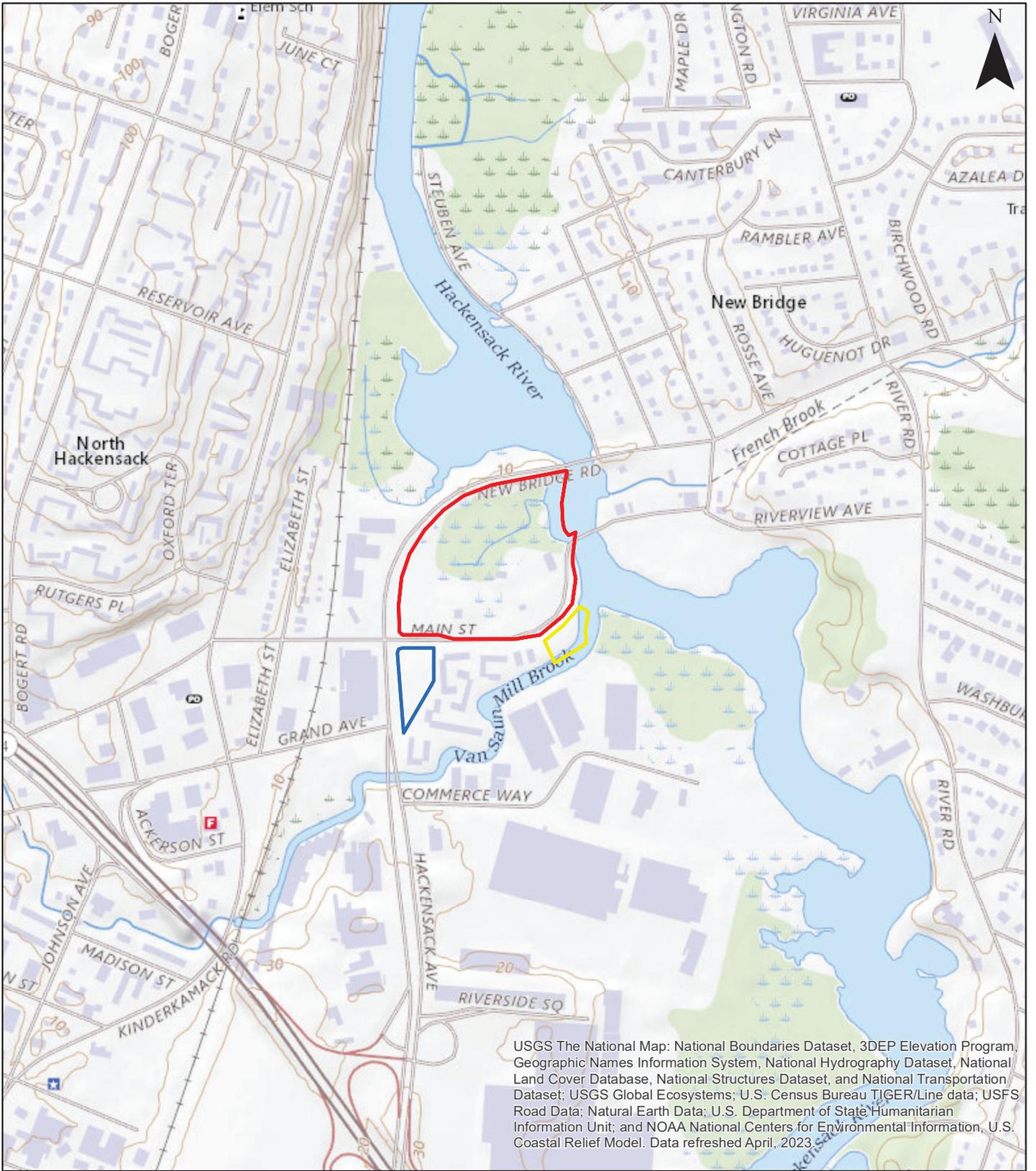
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

- Block 1304, Lots 1-3
- Block 1305, Lots 1-5
- Block 1306, Lot 3

Historic New Bridge Landing  
 Block 1305, Lots 1, 2, & 3  
 Block 1305, Lots 1-5  
 Block 1306, Lot 3  
 Township of River Edge  
 Bergen County, NJ



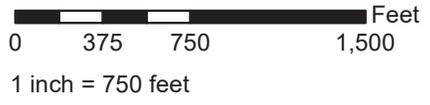
# EXHIBIT 'C'



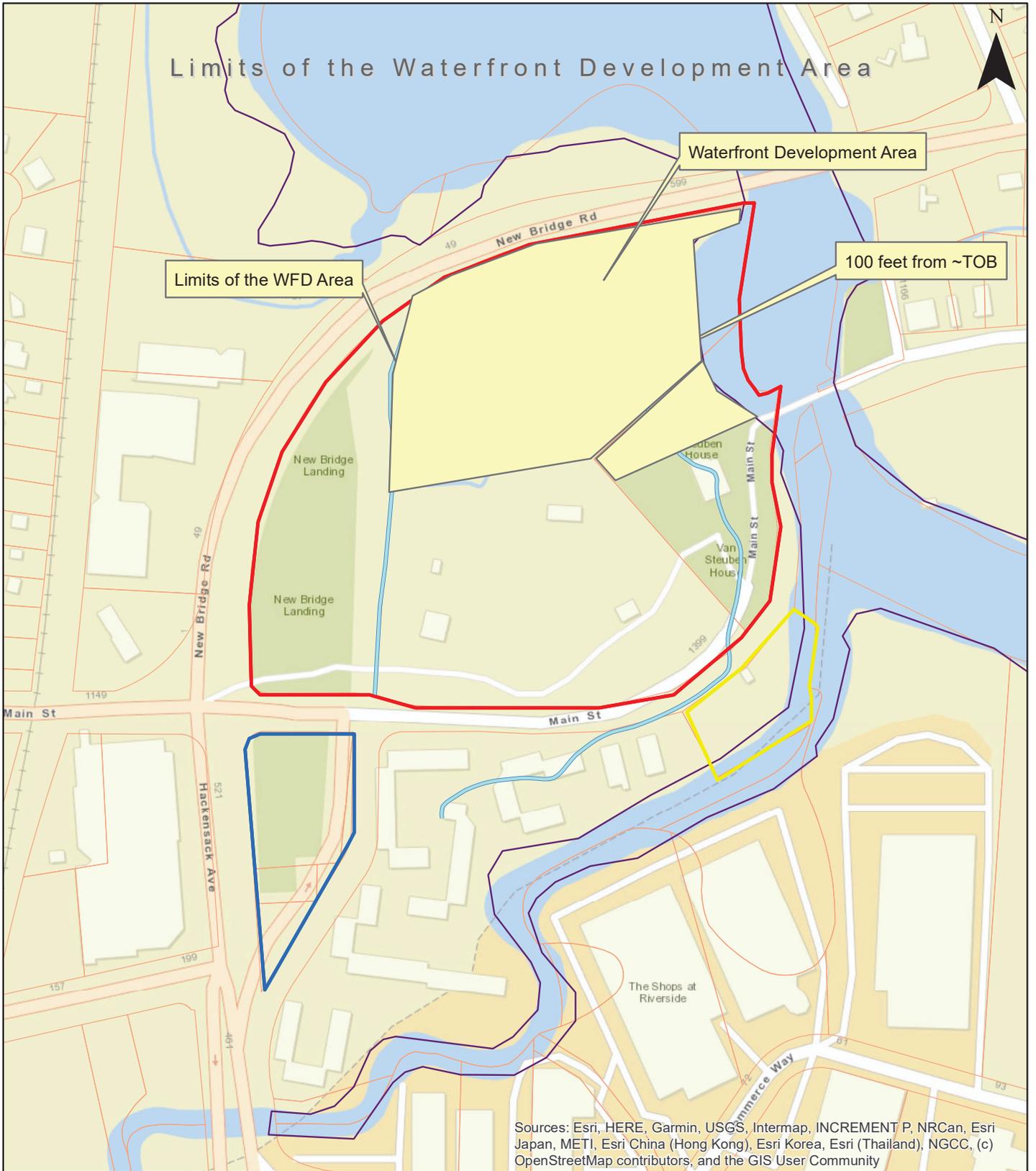
USGS The National Map: National Boundaries Dataset, 3DEP Elevation Program, Geographic Names Information System, National Hydrography Dataset, National Land Cover Database, National Structures Dataset, and National Transportation Dataset; USGS Global Ecosystems; U.S. Census Bureau TIGER/Line data; USFS Road Data; Natural Earth Data; U.S. Department of State Humanitarian Information Unit; and NOAA National Centers for Environmental Information, U.S. Coastal Relief Model. Data refreshed April, 2023.

- Block 1304, Lots 1-3
- Block 1305, Lots 1-5
- Block 1306, Lot 3

Historic New Bridge Landing  
 Block 1305, Lots 1, 2, & 3  
 Block 1305, Lots 1-5  
 Block 1306, Lot 3  
 Township of River Edge  
 Bergen County, NJ



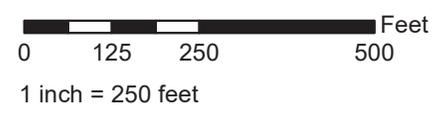
# EXHIBIT 'C'



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

- ParcelLimitWFDArea
- uwb\_uwl
- Block 1304, Lots 1-3
- Block 1305, Lots 1-5
- Block 1306, Lot 3
- WFD\_100FtLimit

**Historic New Bridge Landing**  
 Block 1305, Lots 1, 2, & 3  
 Block 1305, Lots 1-5  
 Block 1306, Lot 3  
 Township of River Edge  
 Bergen County, NJ



# EXHIBIT 'C'



# National Flood Hazard Layer FIRMette



74°21'2"W 40°55'N

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

## Legend

**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE) Zone A, V, A99
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

**OTHER AREAS OF FLOOD HAZARD**

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

**OTHER AREAS**

- NO SCREEN Area of Minimal Flood Hazard Zone X
- Effective LOWRS
- Area of Undetermined Flood Hazard Zone D

**GENERAL STRUCTURES**

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

**OTHER FEATURES**

- Cross Sections with 1% Annual Chance Water Surface Elevation
  - 20.2
  - 17.5
  - 8
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

**MAP PANELS**

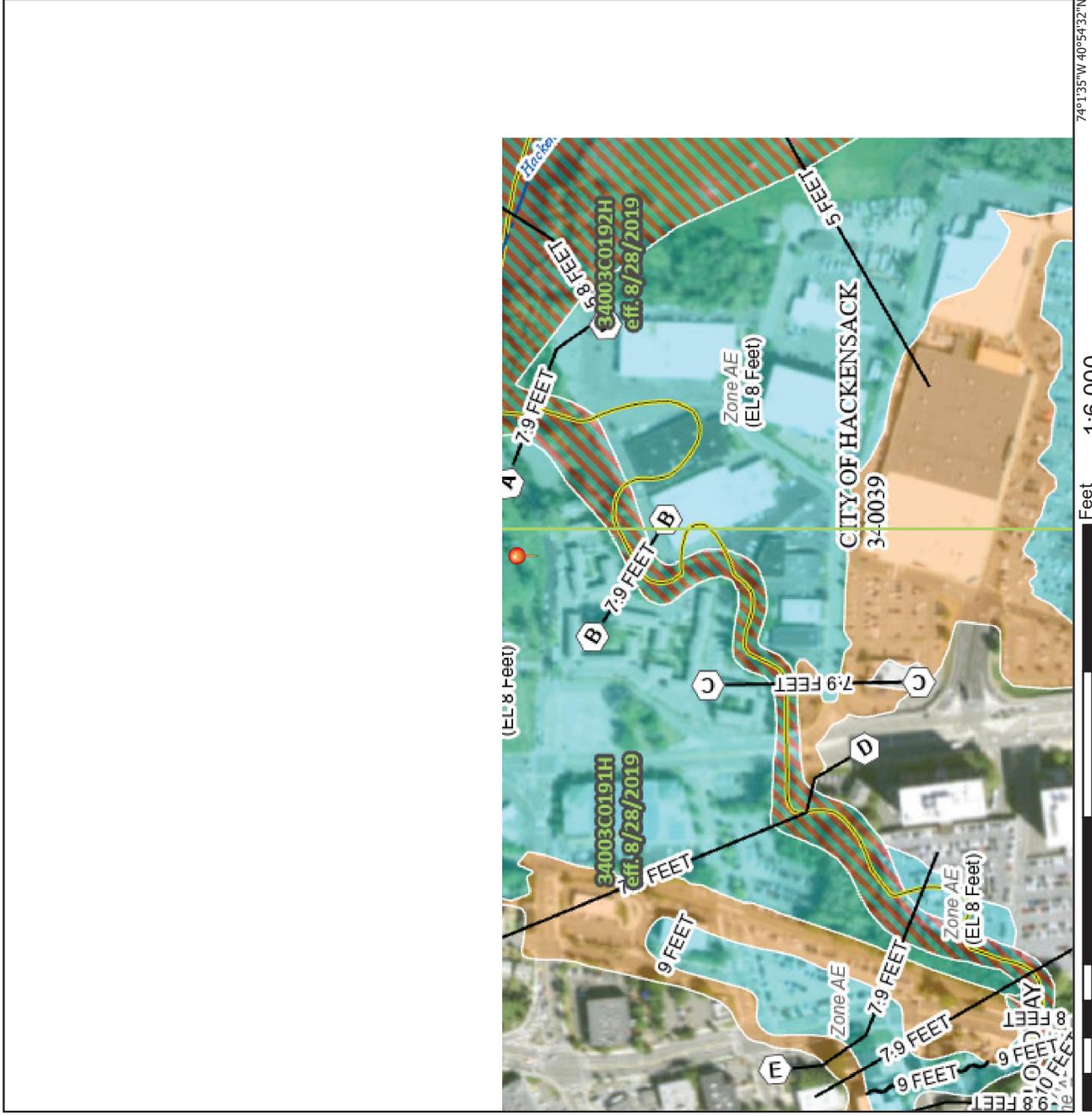
- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **1/30/2024 at 11:35 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Basemap Imagery Source: USGS National Map 2023

EXHIBIT 'C'

**ATTACHMENT 2**

**MASTER PLAN**

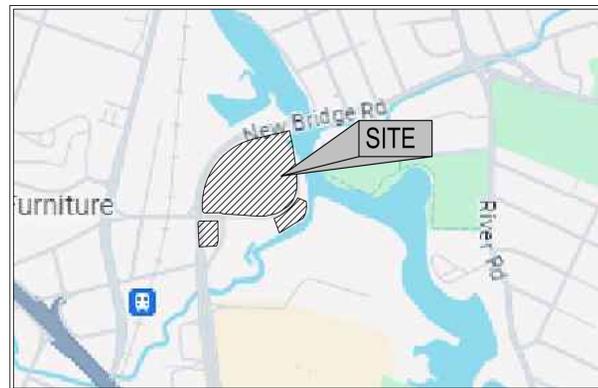
LAN Job #2.20462.21

# HISTORIC NEW BRIDGE LANDING MASTER PLAN BOROUGH OF RIVER EDGE

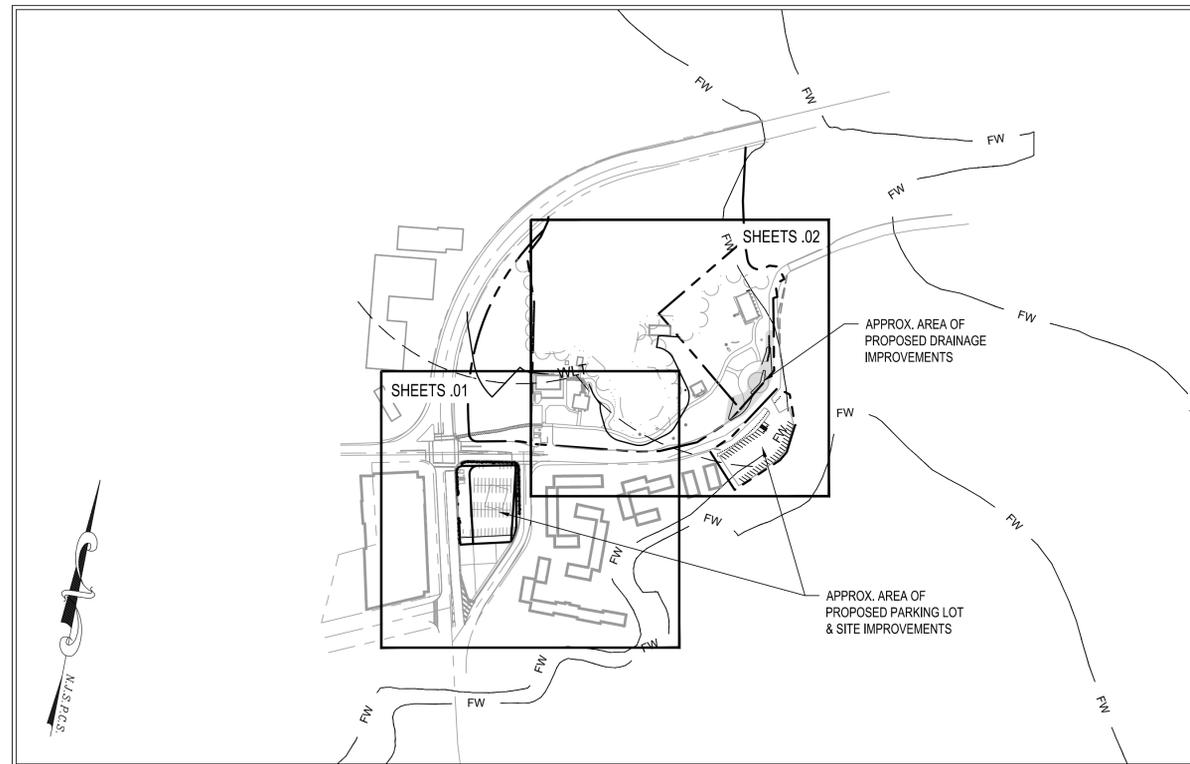
RIVER EDGE  
BERGEN COUNTY, NEW JERSEY  
BLOCK 1304: LOTS 1, 2, & 3  
BLOCK 1305: LOTS 1 & 2  
BLOCK 1306: LOT 3



**AERIAL MAP**  
NORTH N.T.S. RIVER EDGE BERGEN COUNTY, NEW JERSEY



**VICINITY MAP**  
NORTH N.T.S. RIVER EDGE BERGEN COUNTY, NEW JERSEY



**KEY PLAN**  
SCALE: 1 INCH = 200 FEET

SCALE: 1 INCH = 200 FEET

DRAWING INDEX	
SHEET NO.	DESCRIPTION
C0.01	TITLE SHEET
C1.01	EXISTING BASE PLAN
C1.02	EXISTING BASE PLAN
C2.01	PROPOSED MASTER PLAN
C2.02	PROPOSED MASTER PLAN
C9.01	CONSTRUCTION DETAILS
C9.02	CONSTRUCTION DETAILS

NJ Certificate of Authorization	
Eng'g. No.	245A27937500
Arch. No.	21A200012400
Date	8/19/24
Checked	KAR/SR
Drawn	NP

**STEVEN J. RAMIZA, P.E.**  
The PROFESSIONAL ENGINEER  
License No. 24GE04672300

**Revisions:**

Engineering,  
Planning,  
Architecture,  
Surveying Inc.  
**LAN ASSOCIATES**  
445 Geddes Ave. Ste. 9, Millland Park, NJ 07432 | T: 201-447-6400 | F: 201-447-1233

**TITLE SHEET**  
MASTER PLAN  
HISTORIC NEW BRIDGE LANDING  
BOROUGH OF RIVER EDGE  
BERGEN COUNTY, NEW JERSEY

Job No. 80567.01  
File No. 8056701C1

**C0.01**

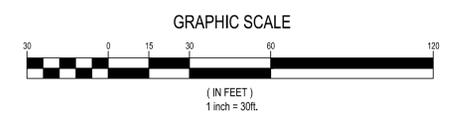




- REFERENCES**
- FLOOD HAZ. RIPARIAN ZONE, WETLAND AND WETLAND TRANSITION SURVEY FROM PLANS ENTITLED "DRAINAGE IMPROVEMENT - BLOCK 1304 LOT 5 CONSTRUCTION PLAN" PREPARED FOR HISTORIC SOCIETY OF NEW BRIDGE LANDING, LLC AS PREPARED BY STEPHEN T. BOSWELL, P.L.S., (NJ LICENSE NO. 34680) AND CHRISTOPHER J. NASH, P.L.S., (NJ LICENSE NO. 31605) OF BOSWELL ENGINEERING, LLC DATED 04/07/2020.
  - PLANS TITLED BERGEN COUNTY HISTORIC SOCIETY FULL SET PREPARED BY SCOTT H. TURNER P.L.S. (NJ LICENSE NO. 43811) OF MENDO ENGINEERING ASSOCIATES, INC. FIRST DATED 02/07/2019, LAST REVISION DATED 07/10/2020.

**LEGEND**

PROPOSED		EXISTING		PROPOSED		EXISTING	
WATER VALVE		WATER METER		WATER METER		WATER METER	
FIRE HYDRANT		FIRE SHUT OFF		FIRE SHUT OFF		FIRE SHUT OFF	
GAS VALVE		GAS METER		GAS METER		GAS METER	
UTILITY POLE		IRRIGATION CONT. VALVE		IRRIGATION CONT. VALVE		IRRIGATION CONT. VALVE	
CATCH BASIN		ELECTRIC METER		ELECTRIC METER		ELECTRIC METER	
SEEPAGE PIT		LIGHT POLE		LIGHT POLE		LIGHT POLE	
SANITARY MANHOLE		WALL-MOUNTED LIGHT		WALL-MOUNTED LIGHT		WALL-MOUNTED LIGHT	
ELECTRICAL MANHOLE		BOLLARD		BOLLARD		BOLLARD	
STORM MANHOLE		TREE		TREE		TREE	
MONITORING WELL		ROCK / BOULDER		ROCK / BOULDER		ROCK / BOULDER	
UNKNOWN MANHOLE		FLAGPOLE		FLAGPOLE		FLAGPOLE	
HEADWALL		MAILBOX		MAILBOX		MAILBOX	
SAN. CLEAN OUT		DUMPSTER		DUMPSTER		DUMPSTER	
HANDICAP SYMBOL		SIDEWALK		SIDEWALK		SIDEWALK	
SIGN		CURB LINE		CURB LINE		CURB LINE	
PROPERTY LINE (PO)		WATER LINE		WATER LINE		WATER LINE	
PROPERTY LINE		GAS LINE		GAS LINE		GAS LINE	
SETBACK LINE		ELECTRIC LINE		ELECTRIC LINE		ELECTRIC LINE	
WETLANDS BOUNDARY		TELEPHONE LINE		TELEPHONE LINE		TELEPHONE LINE	
STREAM/BROOK		OVERHEAD WIRES		OVERHEAD WIRES		OVERHEAD WIRES	
TREE LINE		SANITARY SEWER		SANITARY SEWER		SANITARY SEWER	
CHAINLINK FENCE		STORM SEWER		STORM SEWER		STORM SEWER	
WOOD FENCE		GUIDE RAIL		GUIDE RAIL		GUIDE RAIL	
WETLANDS TRANSITION		RIPARIAN ZONE		RIPARIAN ZONE		RIPARIAN ZONE	
FLOODWAY		WETLANDS		WETLANDS		WETLANDS	



NJ Certificate of Authorization

Eng'g. No.	24527937500
Arch. No.	214200012400
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Drawn	NP

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 License No. 24527937500

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**LAN ASSOCIATES**  
 445 Geddes Ave. Ste. 9, Millland Park, NJ 07432 | T: 201-447-6400 | F: 201-447-1233

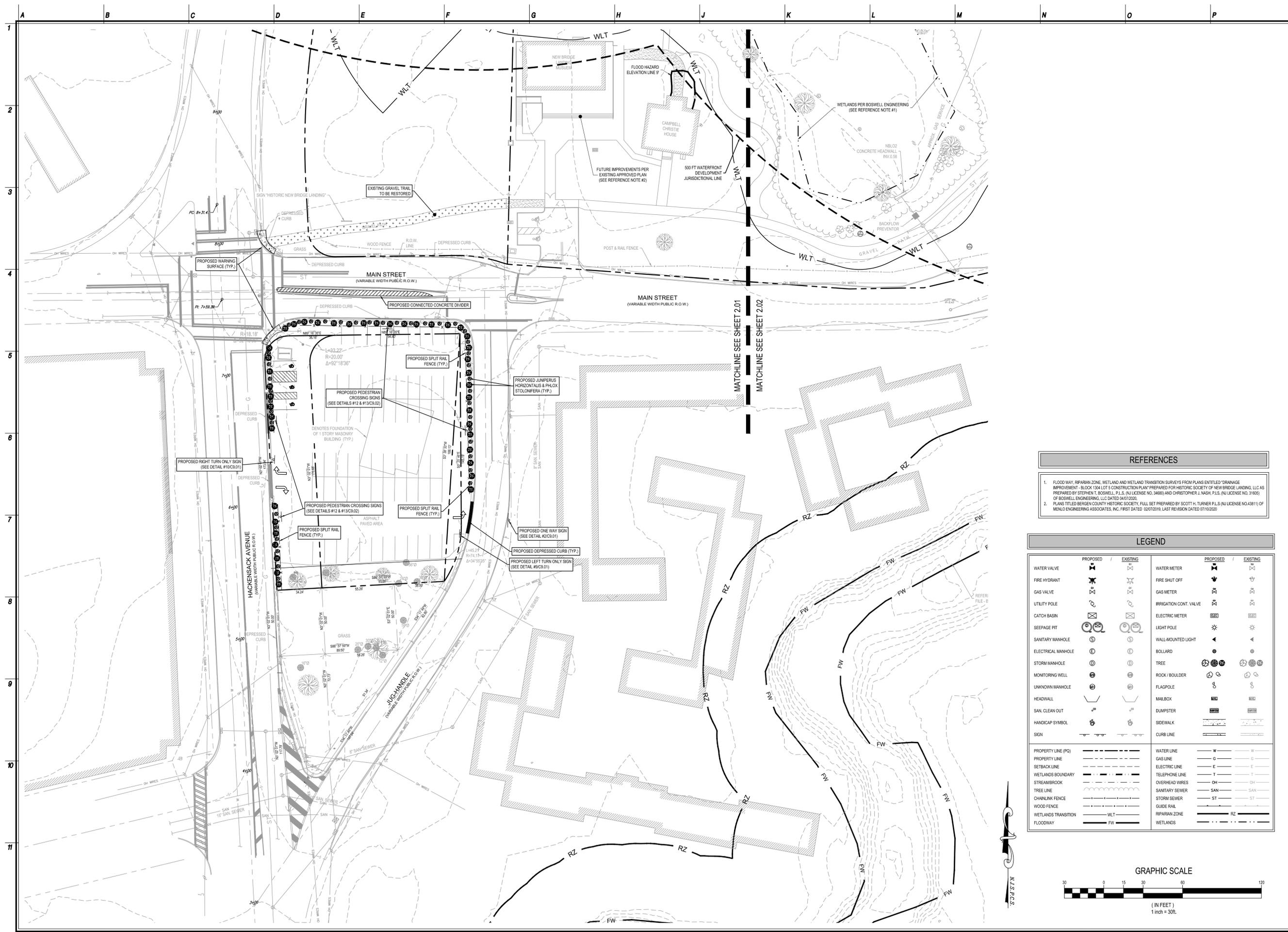
**EXISTING BASE PLAN**  
 MASTER PLAN  
 HISTORIC NEW BRIDGE LANDING  
 BOROUGH OF RIVER EDGE  
 BERGEN COUNTY, NEW JERSEY

Job No. 80567.01  
 File No. 8056701C1

**C1.02**

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**EXHIBIT 'C'**



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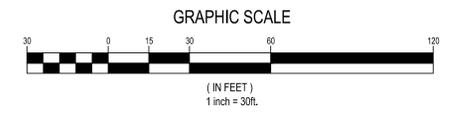
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**LEGEND**

PROPOSED	EXISTING	PROPOSED	EXISTING
WATER VALVE		WATER METER	
FIRE HYDRANT		FIRE SHUT OFF	
GAS VALVE		GAS METER	
UTILITY POLE		IRRIGATION CONT. VALVE	
CATCH BASIN		ELECTRIC METER	
SEEPAGE PIT		LIGHT POLE	
SANITARY MANHOLE		WALL-MOUNTED LIGHT	
ELECTRICAL MANHOLE		BOLLARD	
STORM MANHOLE		TREE	
MONITORING WELL		ROCK / BOULDER	
UNKNOWN MANHOLE		FLAGPOLE	
HEADWALL		MAILBOX	
SAN. CLEAN OUT		DUMPSTER	
HANDICAP SYMBOL		SIDEWALK	
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PROPERTY LINE (PD)		WATER LINE	
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STREAMBROOK		OVERHEAD WIRES	
TREE LINE		SANITARY SEWER	
CHAINLINK FENCE		STORM SEWER	
WOOD FENCE		GUIDE RAIL	
WETLANDS TRANSITION		WETLANDS	
FLOODWAY			



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 445 Geddes Ave. Ste. 9, Millland Park, NJ 07432 | t. 201-447-6400 | f. 201-447-1233

**PROPOSED MASTER PLAN**  
 MASTER PLAN  
 HISTORIC NEW BRIDGE LANDING  
 BOROUGH OF RIVER EDGE  
 BERGEN COUNTY, NEW JERSEY

Job No. 80567.01  
 File No. 8056701C1

**C2.01**

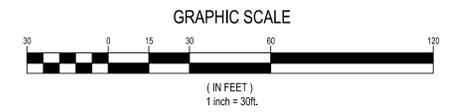
**EXHIBIT 'C'**



- ### REFERENCES
- FLOODWAY, RIPARIAN ZONE, WETLAND AND WETLAND TRANSITION SURVEYS FROM PLANS ENTITLED "DRAINAGE IMPROVEMENT - BLOCK 1304 LOT 5 CONSTRUCTION PLAN" PREPARED FOR HISTORIC SOCIETY OF NEW BRIDGE LANDING, LLC AS PREPARED BY STEPHEN T. BOSWELL, P.L.S., (NJ LICENSE NO. 34680) AND CHRISTOPHER J. NASH, P.L.S., (NJ LICENSE NO. 31605) OF BOSWELL ENGINEERING, LLC DATED 04/07/2020.
  - PLANS TITLED BERGEN COUNTY HISTORIC SOCIETY FULL SET PREPARED BY SCOTT H. TURNER P.L.S., (NJ LICENSE NO. 43811) OF MENLO ENGINEERING ASSOCIATES, INC. FIRST DATED 02/07/2019, LAST REVISION DATED 07/19/2020.

### LEGEND

PROPOSED	EXISTING	PROPOSED	EXISTING
WATER VALVE		WATER METER	
FIRE HYDRANT		FIRE SHUT OFF	
GAS VALVE		GAS METER	
UTILITY POLE		IRRIGATION CONT. VALVE	
CATCH BASIN		ELECTRIC METER	
SEEPAGE PIT		LIGHT POLE	
SANITARY MANHOLE		WALL-MOUNTED LIGHT	
ELECTRICAL MANHOLE		BOLLARD	
STORM MANHOLE		TREE	
MONITORING WELL		ROCK / BOULDER	
UNKNOWN MANHOLE		FLAGPOLE	
HEADWALL		MAILBOX	
SAN. CLEAN OUT		DUMPSTER	
HANDICAP SYMBOL		SIDEWALK	
SIGN		CURB LINE	
PROPERTY LINE (PO)		WATER LINE	
PROPERTY LINE		GAS LINE	
SETBACK LINE		ELECTRIC LINE	
WETLANDS BOUNDARY		TELEPHONE LINE	
TREE LINE		OVERHEAD WIRES	
CHAIN-LINK FENCE		SANITARY SEWER	
WOOD FENCE		STORM SEWER	
WETLANDS TRANSITION		GUIDE RAIL	
FLOODWAY		WETLANDS	



NJ Certificate of Authorization	
Eng'g. No.	24527937500
Arch. No.	214020012400
Date	8/19/24
Checked	KAR/SR
Drawn	NP

**STEVEN J. RAMIZA, P.E.**  
 THE PROFESSIONAL ENGINEER  
 License No. 24504672300

### Revisions:

Engineering,  
 Planning,  
 Architecture,  
 Surveying Inc.  
**LAN ASSOCIATES**  
 445 Geddes Ave. Ste. 9, Midland Park, NJ 07432 | T. 201-447-6400 | F. 201-447-1233

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 HISTORIC NEW BRIDGE LANDING  
 BOROUGH OF RIVER EDGE  
 BERGEN COUNTY, NEW JERSEY

Job No. 80567.01  
 File No. 8056701C1

**C2.02**

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EXHIBIT 'C'

NJ Certificate of Authorization	
Eng'g. No.	245427937500
Arch. No.	214200012400
Date	8/19/24
Checked	KAR/SR
Drawn	NP

**STEVEN J. RAMIZA, P.E.**  
 License No. 245604672300  
 THE PROFESSIONAL ENGINEER

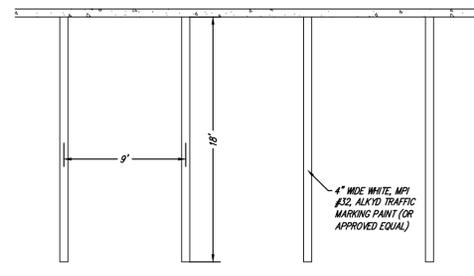
**Revisions:**

Engineering,  
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**LAN ASSOCIATES**  
 445 Gedwin Ave. Ste. 9, Millland Park, NJ 07432 | 1-201-447-6400 | 1-201-447-1233

**CONSTRUCTION DETAILS**  
 MASTER PLAN  
 HISTORIC NEW BRIDGE LANDING  
 BOROUGH OF RIVER EDGE  
 BERGEN COUNTY, NEW JERSEY

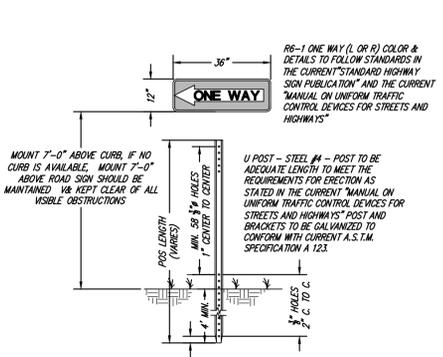
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 File No. 8056701C1

**C9.01**



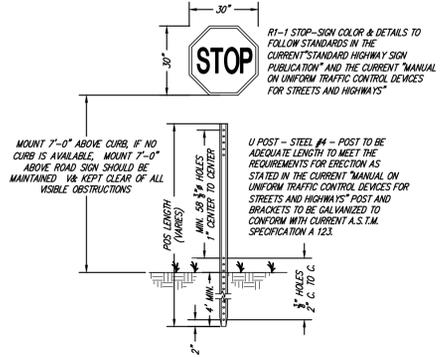
**TYP. PARKING STALL DETAIL**

1  
C9.01  
NTA



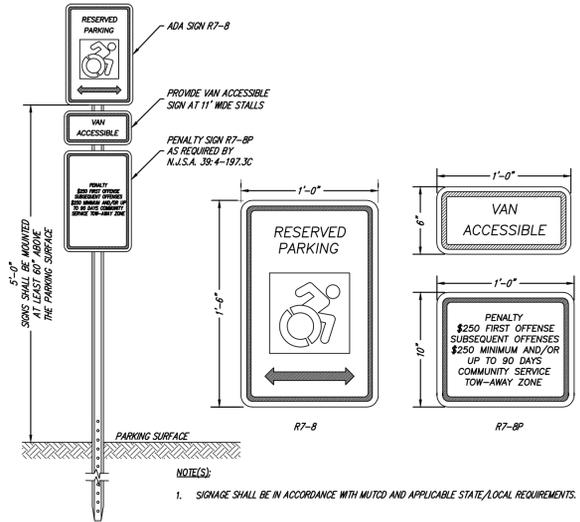
**TYP. ONE WAY SIGN DETAIL**

2  
C9.01  
NTA



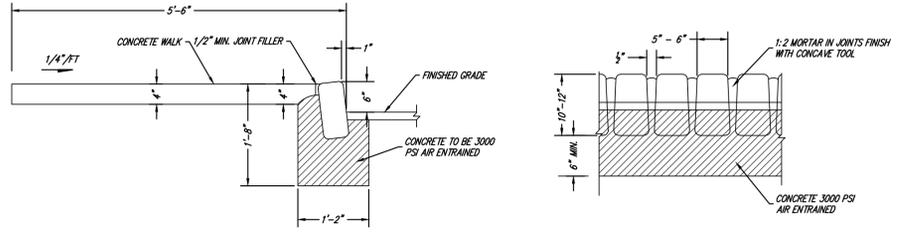
**TYP. STOP SIGN DETAIL**

3  
C9.01  
NTA



**TYP. ADA SIGNAGE & POST INSTALLATION DETAIL**

4  
C9.01  
NTA

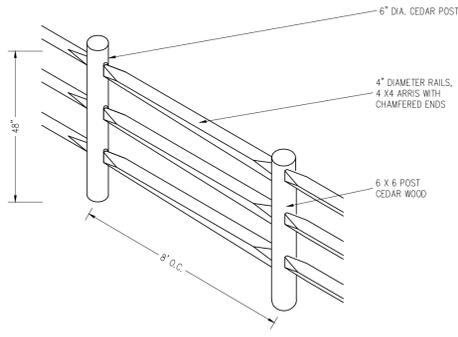


**BELGIAN BLOCK CURB**

5  
C9.01  
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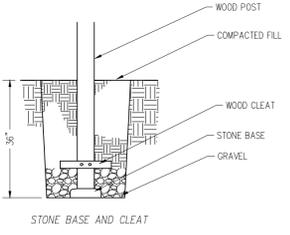
**BELGIAN BLOCK CHANNEL DETAIL**

7  
C9.01  
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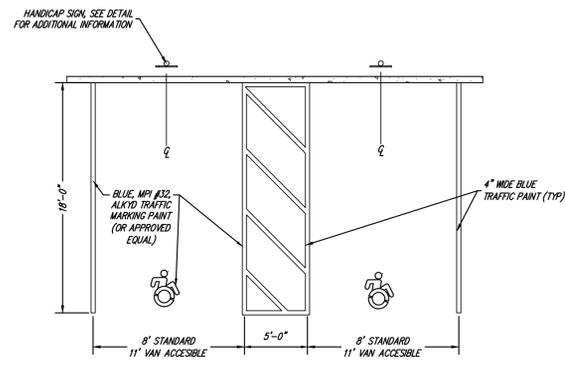
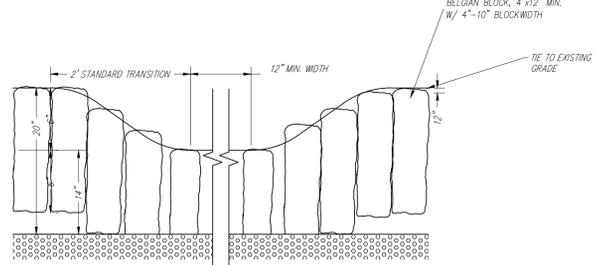


**POST & RAIL FENCE DETAIL**

6  
C9.01  
NTA



**STONE BASE AND CLEFT**



**TYP. ADA PARKING STALL LAYOUT DETAIL**

8  
C9.01  
NTA



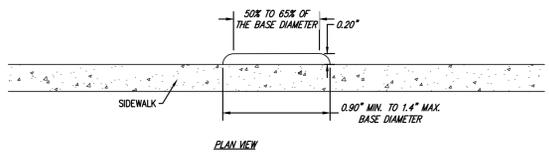
**LEFT TURN ONLY SIGN DETAIL**

9  
C9.01  
NTA



**RIGHT TURN ONLY SIGN DETAIL**

10  
C9.01  
NTA



**DETECTABLE WARNING SURFACE (DWS) DETAIL**

11  
C9.01  
NTA

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**PEDESTRIAN CROSSING SIGN DETAIL**  
NTA

**ARROW SIGN DETAIL**  
NTA

NJ Certificate of Authorization	
Eng'g. No.	245A27937500
Arch. No.	21A200012400
Date	8/19/24
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Drawn	NP
<b>STEVEN J. RAMIZA, P.E.</b> The PROFESSIONAL ENGINEER License No. 24GE04672300	
<b>Revisions:</b>	
<b>LAN ASSOCIATES</b> Engineering, Planning, Architecture, Surveying Inc. 445 Geddes Ave. Ste. 9, Millland Park, NJ 07432   T: 201-447-5400   F: 201-447-1333	
<b>CONSTRUCTION DETAILS</b> MASTER PLAN HISTORIC NEW BRIDGE LANDING BOROUGH OF RIVER EDGE BERGEN COUNTY, NEW JERSEY	
Job No.	80567.01
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<b>C9.02</b>	